



## CITY PLANNING COMMISSION

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October 6, 2021/Calendar No. 26

C 210428 PPM

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**IN THE MATTER OF** an application submitted by the New York City Department of Housing Preservation and Development (HPD) pursuant to Section 197-c of the New York City Charter, for the disposition of City-owned property located at 303 East 102nd Street (Block 1674, Lot 104), 338 East 117th Street (Block 1688, Lot 34), 505-507 East 118th Street (Block 1815, Lots 5 and 6), 1761-1763 Park Avenue (Block 1771, Lots 1 and 2) for four new buildings containing approximately 81 affordable dwelling units and community facility space, Borough of Manhattan, Community District 11.

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This application (C 210428 PPM) for the disposition of six City-owned lots was filed by Department of Housing Preservation and Development (HPD) on May 10, 2021. This application would facilitate the development of four residential buildings containing approximately 81 affordable rental units and approximately 10,000 square feet of community facility space in East Harlem, Manhattan Community District 11.

### **BACKGROUND**

HPD, seeks approval of the disposition of six City-owned lots. The project area is comprised of the following four development sites, all located in East Harlem:

- *Development Site A* – 303 East 102nd Street (Block 1674, Lot 104)
- *Development Site B* – 338 East 117th Street (Block 1688, Lot 34)
- *Development Site C* – 505-507 East 118th Street (Block 1815, Lots 5 & 6)
- *Development Site D* – 1761-1763 Park Avenue (Block 1771, Lots 1 & 2)

Development Site A is located at 303 East 102nd Street (Block 1674, Lot 104), between First and Second avenues and is currently vacant. The 1,898 square-foot lot has 25 feet of frontage on East 102nd Street and extends for a depth of approximately 76 feet. The lot is in an R8A zoning district, which permits a maximum Floor Area Ratio (FAR) of 6.02, and up to 7.2 FAR for developments that incorporate inclusionary housing. In an R8A districts, Quality Housing regulations are mandatory and typically produce high lot coverage, 12- to 14-story apartment buildings, within a contextual building envelope. Site A would be developed with an approximately five-story, 54-foot-tall building containing six affordable housing units and ground-floor community facility

space. The proposed building would have approximately 6,386 square feet of floor area, with an FAR of 3.42. The building would include approximately 5,031 square feet of residential space and approximately 1,355 square feet of community facility space on the ground floor. Due to its small size, Site A cannot fully achieve the maximum allowed FAR. Site A is located two blocks from the East 103rd Street and Lexington Avenue station that is served by the No. 6 subway line and six blocks from the East 96th Street and Second Avenue station that is served by the Q subway line.

Development Site B is located at 338 East 117th Street (Block 1688, Lot 34), between First Avenue and Second Avenue and is currently vacant. The 2,523 square foot lot has 25 feet of frontage on East 117th Street and extends for a depth of approximately 101 feet. The lot is in an R7B zoning district, which permits a maximum FAR of 3.0. In an R7B districts, Quality Housing regulations are mandatory and typically produce high lot coverage, four- to six-story residential buildings, within a contextual building envelope. Site B would be developed with an approximately five-story, 53-foot-tall building containing seven affordable housing units and a ground-level courtyard. The proposed building would have approximately 7,378 square feet of floor area, with an FAR of 2.94. Site B is located two blocks from the East 116th Street and Lexington Avenue station that is served by the No. 6 subway line.

Development Site C is located at 505-507 East 118th Street (Block 1815, Lots 5 and 6), between Pleasant Avenue and Franklin D. Roosevelt (FDR) Drive. The two tax lots contain 4,827 square feet of total lot area and have 48 feet of frontage on East 118th Street and extend for a depth of approximately 101 feet. The lots contain an interim GreenThumb garden (Pleasant Village Community Garden), which has been in operation since 2011. The lots are in an R7B zoning district. Site C would be developed with an approximately six-story, 62-foot-tall building containing 18 affordable housing units and a ground-level courtyard. The proposed building would be 14,481 square feet, with an FAR of 2.99. The site is located six blocks from the East 116th Street and Lexington Avenue station, served by the No. 6 subway line, and also served by the M116, M15, and M15 SBS bus lines, which provide service along First and Second avenues and along East 116<sup>th</sup> Street and Pleasant Avenue.

Development Site D is located at 1761 Park Avenue (Block 1771, Lots 1 and 2), between East 122nd and 123rd streets. The two tax lots comprise 4,583 square feet of total lot area and have 51 feet of frontage on Park Avenue and extend for a depth of 90 feet. Site D is in an M1-6/R10 zoning district and is the only site that falls within the Special East Harlem Corridor District (C 170358 ZMM) and a designated Mandatory Inclusionary Housing (MIH) area. The M1-6/R10 district within the Special East Harlem Corridor District permits residential uses up to 10.0 FAR and commercial uses up to 10.0 FAR. Buildings may be developed pursuant to height factor regulations or Quality Housing with a maximum height of 275 feet, within a contextual building envelope. Site D currently contains an interim GreenThumb garden (Jackie Robinson Community Garden) that has been in operation since 2007. Site D would be developed with an approximately 13-story building that would contain approximately 52 affordable housing units. The proposed building would have approximately 48,187 square feet of floor area with a total FAR of 9.91. The building would include approximately 38,798 square feet of residential space, 6,795 square feet of community facility space on the ground and second floors, and a rooftop terrace for building residents. It is located three blocks from the East 125th Street and Lexington Avenue station that is served by the Nos. 4, 5, and 6 subway lines, and three blocks from the Metro-North station at East 125<sup>th</sup> Street and Park Avenue.

Sites C and D contain community gardens under the GreenThumb program, which operate under a temporary HPD license agreement that allows garden-related activities until the lots are set to develop. The GreenThumb program was established in 1978 with the goal to transform unattractive and sometimes unsafe spaces into green havens, providing open space in especially underserved areas. After 40 years the program is now the nation's largest urban gardening initiative with more than 550 community gardens. The interim gardens are extensions of the Department of Parks and Recreation (DPR) community gardens of the same name whose existence preceded the temporary extension gardens. The portion of the community gardens under DPR jurisdiction would remain in place. The Pleasant Village Community Garden would continue to operate on Block 1815, Lot 2 (DPR's portion) with a lot area of 16,723 square feet. The adjacent Lots 5 and 6 would be developed as part of Site C. The Jackie Robinson Community Garden would continue to operate on Block 1771, Lot 5 (DPR's portion) with a lot area of 2,523 square feet. The adjacent Lots 1 and 2 would be developed as part of Site D.

The surrounding area includes residential, commercial, industrial, community facilities (public and private), and recreational uses. It is predominantly developed with five- to 10-story multifamily buildings with ground-floor commercial, with some single- and two-family residential buildings. Industrial and manufacturing uses, and vacant properties are scattered throughout the surrounding area, predominantly located closer to FDR Drive. Commercial overlays are mapped along the major corridors (East 125th Street, and First, Second, Third and Lexington avenues) and allow for local retail. The surrounding area is well-served by public transit, including the Nos. 4,5, 6, and Q subway lines and thoroughfare roadways. All four development sites and the surrounding area are located within a Transit Zone.

Several open spaces and recreational facilities serve the surrounding area. Cherry Tree Park, a 0.95-acre playground, is located one block to the south of Site A. The Pleasant Village Community Garden is located directly adjacent to Site C, and the Los Amigos Community Garden is located one block to the south. Marcus Garvey Park, a 20.16-acre open space, is located two blocks to the west of Site D.

#### **Disposition of City-owned property – C 210428 PPM**

As proposed, HPD would dispose of six City-owned lots: 303 East 102nd Street (Block 1674, Lot 104), 338 East 117th Street (Block 1688, Lot 34), 505-507 East 118th Street (Block 1815, Lots 5 and 6), 1761-1763 Park Avenue (Block 1771, Lots 1 and 2). The requested action would facilitate the development of four buildings containing approximately 81 affordable rental units, two on-site superintendent units and approximately 10,000 square feet of community facility space. The proposed buildings would be developed pursuant to underlying zoning regulations. The affordable units would be provided through HPD's Neighborhood Construction Program (NCP). Pursuant to Section 25-251 of the Zoning Resolution, no accessory off-street parking spaces are required for income-restricted housing units for developments within the Transit Zone. Accordingly, no accessory parking would be provided.

## **ENVIRONMENTAL REVIEW**

This application (C 210428 PPM) was reviewed pursuant to the New York State Environmental Quality Review Act (SEQRA), and the SEQRA regulations set forth in Volume 6 of the New York Code of Rules and Regulations, Section 617.00 et seq. and the City Environmental Quality Review (CEQR) Rules of Procedure of 1991 and Executive Order No. 91 of 1977. The designated CEQR number is 20HPD002M. The lead agency is HPD.

It was determined that this application may have significant adverse effects on the environment and that an Environmental Impact Statement would be required. A Positive Declaration was issued on February 17, 2021, and subsequently distributed, published, and filed. Together with the Positive Declaration, a Draft Scope of Work for the Draft Environmental Impact Statement (DEIS) was issued on February 17, 2021. A public scoping meeting was held on March 31, 2021 and the Final Scope of Work was issued on May 14, 2021.

A DEIS was prepared, and a Notice of Completion for the DEIS was issued on February 17, 2021. Pursuant to SEQRA regulations and the CEQR procedures, a joint public hearing was held on September 1, 2021, in conjunction with the public hearing on the related Uniform Land Use Review Procedure (ULURP) items (C 210428 PPM). A Final Environmental Impact Statement (FEIS) reflecting comments made during the public review process was completed, and a Notice of Completion for the FEIS was issued on September 24, 2021.

As analyzed in the FEIS, the proposed project identified significant adverse shadow impacts on the Jackie Robinson Community Garden, which is also an open space impact. As disclosed in Chapters 3 and 4, “Open Space” and “Shadows”, respectively, this would constitute a shadows impact on an open space resource. The identified significant adverse impacts and proposed mitigation measures under the proposed actions are summarized in Chapter 10, “Mitigation” of the FEIS.

## **UNIFORM LAND USE REVIEW**

This application (C 210428 PPM) was certified as complete by the Department of City Planning on May 17, 2021 and was duly referred to Manhattan Community Board 11 and the Manhattan Borough President in accordance with Title 62 of the Rules of the City of New York, Section 2-02(b).

### **Community Board Public Hearing**

Manhattan Community Board 11 held two public hearings on this application (C 210428 PPM) on April 14, 2021, and July 7, 2021. On July 13, 2021, by a vote of 28 in favor and none opposed, the board adopted a resolution to approve the application.

### **Borough President Recommendation**

This application (C 210428 PPM) was considered by the Manhattan Borough President, who, on August 18, 2021, issued a recommendation to approve the application and ask the applicant to meet the following conditions:

“

- Mitigation measures that enable Pleasant Village Community Garden and Jackie Robinson Community Garden to help gardens resume existing operations on the Development Sites.
- A robust marketing process, engaging local organizations in East Harlem to ensure equitable selection of tenants.
- Exploring options to increase the number of 3-bedroom units in the Proposed Developments and future affordable housing projects.”

### **City Planning Commission Public Hearing**

On August 18, 2021 (Calendar No. 11), the Commission scheduled September 1, 2021, for a public hearing on this application (C 210428 PPM). The hearing was duly held on September 1, 2021 (Calendar No. 53) and was held open by the Commission’s Chair to September 13, 2021 for comments on the DEIS.

Six speakers testified in favor of the application and none in opposition. All speakers in favor of the proposal represented the applicant team, including representatives from HPD, representatives from the selected developer and the project architect. The applicant team provided an overview of the proposed development and their previous work in East Harlem, a breakdown of the proposed residential and community facility spaces, and further detail on building design and other elements of the proposed development program.

The applicant noted that the proposed development would provide 81 housing units. The project is intended to help address East Harlem's need for deeply affordable housing, citing the Manhattan Community District's Fiscal Year 2021 Statement of Community District Needs, where affordable housing was identified as the most pressing issue facing Community Board 11. The applicant team provided a detailed breakdown of the project's housing program, which highlighted the proposed project's deep affordability percentages ranging from 30 percent to 80 percent of area median income (AMI) and provide units for the formerly homeless, extremely low income and low-income residents. In response to the call to increase the number of family housing units (three bedrooms), the applicant team presented a unit size breakdown and noted that there are five three-bedroom units currently proposed.

The applicant team noted that the project would create about 10,740 square feet of community facility space between the four new buildings. Approximately 4,380 square feet would be located on the ground level and the rest divided between amenities in the four proposed buildings, including courtyards, rooftops, laundry, and bike rooms. The applicant presented their updated building design for all four proposed buildings in response to the public review and the CPC Review Session feedback from May 17, 2021. Among these updates was the inclusion of a public art initiative in partnership with a locally based non-profit (Thrive Collective) to identify locations for murals in all four buildings to enhance the design and activate the streetscape.

There were no other speakers, and the hearing was closed.

## **CONSIDERATION**

The Commission believes that this application for the disposition of City-owned property is appropriate.

This application will facilitate the disposition of six City-owned lots to develop four residential buildings comprising 81 permanently affordable units and approximately 10,000 square feet of community facility space.

The Commission notes that the proposed residential development will contribute to the economic diversity of the neighborhood and aligns with HPD's NCP, which will develop 100 percent affordable housing on 87 vacant City-owned lots. The Commission is pleased that HPD has taken steps to broaden the range of unit size and affordability levels and believes that including such units will enable a wide range of households to find apartments that meet their needs.

The Commission recognizes the efforts of the applicant team to mitigate the impacts to the existing GreenThumb community gardens on Sites C and D. These efforts also respond to concerns raised at the Community Board and the Borough President's recommendation to explore mitigation strategies for the community gardens. Interim community gardens on City-owned lots under the GreenThumb program, like the Pleasant Village and Jackie Robinson Community Gardens, are managed by neighborhood residents and provide important green space, thus improving air quality, biodiversity, and residents' well-being. HPD and the applicant team have met with leadership from both community gardens and the DPR. Using the feedback from the meetings, the applicant team will be working with a landscape architect to develop a scope of work to allow the gardens to continue to operate for as much time as is feasibly possible. The current scope of work considers such mitigation efforts as providing electricity to the gardeners, solar panels for electricity generation, accessibility improvements, rainwater and greywater reuse systems, and thoughtful and appropriate fence design.

The Commission also notes the inclusion of a public art initiative in partnership with a locally based non-profit (Thrive Collective) to identify locations for murals in all four buildings to



enhance the design and activate the streetscape. The commission commends the applicant's efforts in this regard.

The proposed development of affordable housing is consistent with the City's housing policy goals and ongoing planning initiatives such as Housing New York, the 2016 East Harlem Neighborhood Plan, and the 2017 East Harlem Neighborhood rezoning, which aim to expand affordable housing opportunities throughout the City.

With publicly owned property becoming an increasingly scarce resource, the Commission believes that it is critical for the City to effectively leverage its dwindling stock of underutilized vacant land to maximize opportunities for affordable housing development. The proposed developments will provide much needed affordable housing and community facility space for the East Harlem community and amplify the City's broader efforts to provide more permanent affordable housing. The Commission, therefore, believes that this application for the disposition of City-owned property is appropriate.

## **RESOLUTION**

**RESOLVED**, that having considered the Final Environmental Impact Statement (FEIS) for which a Notice of Completion was issued on September 24, 2021, with respect to this application (CEQR No. 20HPD002M), the City Planning Commission finds that the requirements of the New York State Environmental Quality Review Act and Regulations have been met and that

1. Consistent with social, economic, and other essential considerations, from among the reasonable alternatives thereto, the action is one which minimizes or avoids adverse impacts to the maximum extent practicable; and
2. The adverse environmental impacts disclosed in the FEIS will be minimized or avoided to the maximum extent practicable by incorporating mitigation measures that were identified as practicable.

The report of the City Planning Commission, together with the FEIS, constitutes the written statement of facts and of social, economic, and other factors and standards that form the basis of the decision, pursuant to Section 617.11(d) of the SEQRA regulations; and be it further;

**RESOLVED**, that the City Coastal Commission finds that the action will not substantially hinder the achievement of any Waterfront Revitalization Program (WRP) policy and hereby determines that this action is consistent with WRP policies; and be it further,

**RESOLVED**, that the City Planning Commission, pursuant to Section 197-c of the New York City Charter, that based on the environmental determination and the consideration described in its report, the application submitted by the Department of Housing Preservation and Development (HPD), for the disposition of City-owned property located at 303 East 102nd Street (Block 1674, Lot 104), 338 East 117th Street (Block 1688, Lot 34), 505-507 East 118th Street (Block 1815, Lots 5 and 6), 1761-1763 Park Avenue (Block 1771, Lots 1 and 2), for four new buildings containing approximately 81 affordable dwelling units and community facility space, Borough of Manhattan, Community District 11, is approved.

The above resolution (C 210428 PPM), duly adopted by the City Planning Commission on October 6, 2021 (Calendar No. 26), is filed with the Office of the Speaker, City Council, and the Manhattan Borough President in accordance with the requirements of Section 197-d of the New York City Charter.

**ANITA LAREMONT**, *Chair*  
**KENNETH J. KNUCKLES, ESQ.**, *Vice Chairman*  
**DAVID BURNEY, ALFRED C. CERULLO III,**  
**JOSEPH DOUEK, RICHARD W. EADDY, HOPE KNIGHT,**  
**ANNA HAYES LEVIN, ORLANDO MARIN,**  
**LARISA ORTIZ, RAJ RAMPERSHAD**, *Commissioners*





# COMMUNITY/BOROUGH BOARD RECOMMENDATION

<b>Project Name:</b> Las Raices	
<b>Applicant:</b> HPD - NYC Dept of Housing Preservation & Development	<b>Applicant's Primary Contact:</b> Joan Huang
<b>Application #</b> 210428PPM	<b>Borough:</b>
<b>CEQR Number:</b> 20HPD002M	<b>Validated Community Districts:</b> M11

**Docket Description:**

IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD) pursuant to Section 197-c of the New York City Charter, for the disposition of a city owned property located at 303 East 102nd Street (Block 1674, Lot 104), 338 East 117th Street (Block 1688, Lot 34), 505-507 East 118th Street (Block 1815, Lots 5 and 6), 1761-1763 Park Avenue (Block 1771, Lots 1 and 2) for four new buildings containing approximately 81 affordable dwelling units and community facility space, Borough of Manhattan, Community District 11.

*Please use the above application number on all correspondence concerning this application*

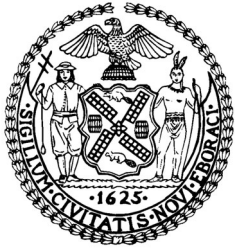
<b>RECOMMENDATION: Favorable</b>			
<b># In Favor:</b> 28	<b># Against:</b> 0	<b># Abstaining:</b> 0	<b>Total members appointed to the board:</b> 50
<b>Date of Vote:</b> 7/13/2021 12:00 AM		<b>Vote Location:</b> 1991 Second Avenue, NY NY 10029	

*Please attach any further explanation of the recommendation on additional sheets as necessary*

<b>Date of Public Hearing:</b> 6/9/2021 6:30 PM	
<b>Was a quorum present?</b> Yes	<i>A public hearing requires a quorum of 20% of the appointed members of the board but in no event fewer than seven such members</i>
<b>Public Hearing Location:</b>	zoom.us/webinar/register/WN_wdMJhp3yQNCzoahFh18k-A

**CONSIDERATION:** Approve

Recommendation submitted by	MN CB11	Date: 7/19/2021 12:46 PM
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# COMMUNITY BOARD ELEVEN

BOROUGH OF MANHATTAN  
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Nilsa Orama  
Chair

Angel D. Mescain  
District Manager

July 19, 2021

Marisa Lago  
Director  
New York City Department of City Planning  
120 Broadway, 31st Floor  
New York, NY 10271

**Re: Recommendation on Land Use Application # C 210428 PPM – Las Raices**

Dear Director Lago,

Community Board 11 (CB11) appreciates the opportunity to review and comment on the Department of Housing Preservation and Development (HPD)'s application for disposition of four city-owned properties to facilitate the proposed "Las Raices" scattered site residential development project.

The New York City Department of Housing Preservation and Development ("HPD") proposes disposition of City-owned land to facilitate the development of four new construction affordable rental developments including two with ground-floor community facility space ("Proposed Development") located in the East Harlem neighborhood of Manhattan, Community District 11. The Proposed Development will be developed on six lots (collectively "Project Area"). The Project Area consists of four development sites defined as:

- Development Site A – 303 East 102nd Street (Block 1674, Lot 104)
- Development Site B – 338 East 117th Street (Block 1688, Lot 34)
- Development Site C – 505-507 East 118th Street (Block 1815, Lots 5 & 6)
- Development Site D – 1761-1763 Park Avenue (Block 1771, Lots 1 & 2)

## Description of the Proposed Development

The Proposed Development includes four new mixed-use buildings on the development sites. The new approximately five-story, six-story, and 13-story buildings will contain approximately 81 affordable dwelling units, plus two superintendents' units, and approximately 8,150 zoning square feet ("zsf") of community facility space.

The proposed building on Development Site A would be approximately five stories and would contain approximately six affordable housing units and ground-floor community facility space. The proposed building would be approximately 6,386 zsf, with an FAR of 3.42. The building

will include approximately 5,031 square feet of residential space and approximately 1,355 square feet of community facility space on the ground floor. The building will be approximately 54 feet high. The proposed building complies with all bulk requirements of Zoning Resolution Section (“ZRS”) 23-00 for residential developments in an R8A zoning district and ZRS 35-00 for mixed buildings in a C1-5 zoning district.

The proposed building on Development Site B would be approximately five stories and would contain approximately seven affordable housing units. The proposed building would be approximately 7,378 zsf, with an FAR of 2.94. The building will be approximately 53 feet high. The proposed building complies with all bulk requirements of ZRS 23-00 for residential developments in an R7B zoning district.

The proposed building on Development Site C would be approximately six stories and would contain approximately 18 affordable housing units. The proposed building would be approximately 14,481 zsf, with an FAR of 2.99. The building will be approximately 62 feet high. The proposed building complies with all bulk requirements of ZRS 23-00 for residential developments in an R7B zoning district.

The proposed building on Development Site D would be approximately 13 stories and would contain approximately 52 affordable housing units. The proposed building would be approximately 48,187 zsf, with a total FAR of 9.91. The building will include approximately 41,392 square feet of residential space and approximately 6,795 square feet of community facility space on the ground and second floors. The building will be approximately 125 feet high. The proposed building complies with all bulk requirements of ZRS 23-00 for residential developments in an R10 zoning district, ZRS 24-00 for community facility developments in an R10 zoning district, and ZRS 43-00 for developments in an M1-6 zoning district.

The Proposed Development will include several residential amenities. Laundry rooms and bike storage areas will be provided in all four buildings. The proposed buildings at Development Site B and Development Site C will have ground-level courtyards, while the proposed building at Development Site D will have a rooftop terrace that can be accessed by residents.

As set forth in ZRS 25-251, as directed to from ZRS 36-35, for developments within the Transit Zone, no accessory off-street parking spaces are required for income-restricted housing units.

#### Actions Necessary to Facilitate the Proposal

The Project Area is proposed for disposition to a developer to be selected by HPD.

#### Community Board Recommendation

Community Board 11 met on July 13, 2021 and voted to recommend that this application be approved.

Full Board Vote: In Favor: 28; Opposed: 0; Abstentions: 0; Present not Voting: 1

If you have any questions regarding our recommendation, please contact Angel Mescaín, District Manager, at 212-831-8929 or amescain@cb11m.org.

Sincerely,

A handwritten signature in black ink that reads "Nilsa Orama". The signature is fluid and cursive, with the first name "Nilsa" being larger and more prominent than the last name "Orama".

Nilsa Orama  
Chair

cc: Hon. Gale A. Brewer, Manhattan Borough President (via email)  
Hon. Diana Ayala, New York City Council (via email)  
Hon. Bill Perkins, New York City Council (via email)  
Hon. Ben Kallos, New York City Council (via email)  
Hon. Keith Powers, New York City Council (via email)  
Hon. Brian Benjamin, New York State Senate (via email)  
Hon. Jose M. Serrano, New York State Senate (via email)  
Hon. Robert J. Rodriguez, New York State Assembly (via email)  
Hon. Inez Dickens, New York State Assembly (via email)  
Elsie Encarnacion, Community Board 11 (via email)  
Judith Febbraro, Community Board 11 (via email)



# BOROUGH PRESIDENT RECOMMENDATION

<b>Project Name:</b> Las Raices	
<b>Applicant:</b> HPD - NYC Dept of Housing Preservation & Development	<b>Applicant's Administrator:</b> Joan Huang
<b>Application #</b> 210428PPM	<b>Borough:</b> Manhattan
<b>CEQR Number:</b> 20HPD002M	<b>Validated Community Districts:</b> M11

**Docket Description:**

IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD) pursuant to Section 197-c of the New York City Charter, for the disposition of a city owned property located at 303 East 102nd Street (Block 1674, Lot 104), 338 East 117th Street (Block 1688, Lot 34), 505-507 East 118th Street (Block 1815, Lots 5 and 6), 1761-1763 Park Avenue (Block 1771, Lots 1 and 2) for four new buildings containing approximately 81 affordable dwelling units and community facility space, Borough of Manhattan, Community District 11.

*Please use the above application number on all correspondence concerning this application*

**RECOMMENDATION:** Conditional Favorable

*Please attach any further explanation of the recommendation on additional sheets as necessary*

**CONSIDERATION:**

Recommendation submitted by	MN BP	Date: 8/18/2021 5:51 PM
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OFFICE OF THE PRESIDENT  
BOROUGH OF MANHATTAN  
THE CITY OF NEW YORK

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**Gale A. Brewer, Borough President**

August 18, 2021

**Recommendation on the ULURP Application No. 210428PPM  
Las Raices  
by New York City Department of Housing Preservation & Development**

**PROPOSED ACTIONS**

The New York City Department of Housing Preservation & Development (“HPD”, the “Applicant”) in partnership with developers Ascendant Neighborhood Development and MDG Construction is seeking a disposition of City-owned land in order to facilitate the development of four new affordable residential buildings with ground floor community facility space included in two of the buildings. The properties are located in the East Harlem neighborhood in Manhattan Community Board 11 (the “Proposed Developments”). The Proposed Developments are located on six lots, which are defined as follows (collectively “Project Area”):

- Development Site A – 303 East 102<sup>nd</sup> Street (Block 1674, Lot 104)
- Development Site B – 338 East 117<sup>th</sup> Street (Block 1688, Lot 34)
- Development Site C – 505-507 East 118<sup>th</sup> Street (Block 1815, Lots 5 & 6)
- Development Site D – 1761-1763 Park Avenue (Block 1771, Lots 1 & 2)

The Manhattan Borough President has a charter-mandated role in the Universal Land Use Review Process (“ULURP”) to make recommendations on land use applications that consider the land use and environmental impacts of a given development or action. Recently, similar applications for city disposition of city land have been opined on by the Borough President such as an approval with conditions of the Harlem Open Door Cluster (ULURP Application No. C200276 HAM) and an approval with conditions of HPD Haven Green Senior Housing (ULURP Application No. C 190184 HAM).

Development Site D is located within the East Harlem Corridor Special District, which was created to facilitate affordable housing, preserve existing neighborhood character, improve the pedestrian experience, and steward new job creating commercial and manufacturing space.

**BACKGROUND**

East Harlem was one of the first neighborhoods that was identified for a potential rezoning under Mayor Bill de Blasio’s Housing New York Plan which aimed to expand affordable housing opportunities throughout the City of New York.



In response to concerns about the potential impacts of a rezoning, a group of stakeholders including the Office of then-City Council Speaker Melissa Mark-Viverito, Manhattan Community Board 11, Community Voices Heard, and the Manhattan Borough President’s Office, formed the East Harlem Neighborhood Plan Project Partners. After an extensive community engagement process, in 2016, that group produced the *East Harlem Neighborhood Plan* (“EHNP”)<sup>1</sup>, which highlighted the need for affordable housing among other concerns, including energy independence and resiliency, policing alternatives, the ability of seniors to age in place, support for local artists, youth empowerment, air quality, protecting cultural heritage, quality employment opportunities, protection of small businesses, public and open space, healthy food, NYCHA security and repairs, and affordable goods and services.

The final report emphasized that housing developed on public land “should be built with 100% affordable units, and that these units should be required to reach deep and varied levels of affordability up to 130% of AMI. The report also recommended that at least 20% of the units be at or below 30% of AMI. However, it also concluded that “[n]umerous community gardens are threatened and underresourced, and in some cases are not open or programmed for wider public use. Loss of these open spaces is a threat to the community.”

In October 2016, the New York City Department of City Planning (“DCP”) released The East Harlem Neighborhood Planning Study which identified needs for the neighborhood under the categories of affordable housing, economic development, community resources, and land use & zoning. This zoning framework identified potential zoning map and zoning text amendments along corridors in the East Harlem Neighborhood to help meet these needs.

Manhattan Community Board 11 issued a disapproval with conditions of the East Harlem rezoning on June 20, 2016 stressing a need for further emphasis on housing affordability and stability. On August 2, 2017, the Manhattan Borough President issued a disapproval of the application without conditions.

In 2017, the East Harlem Rezoning was approved by the City Planning Commission (“CPC”) and the City Council. These actions included a rezoning (L.U. No 773; C170358ZMM) which created the East Harlem Corridor Special District, a designation of Mandatory Inclusionary Housing (“MIH”) area (L.U. No 774; N170359ZRM), and an amendment to the Milbank Frawley Circle-East Urban Renewal Plan to address bulk and use regulations and the plan’s expiration date (L.U. No. 775; C170360HUM). The rezoning was voted on and approved by City Council on November 30, 2017. For the Proposed Developments, only Development Site D is affected by the East Harlem Corridor Special District and the designated MIH area.

Development Site D is also located within the Upper Park Avenue Urban Renewal Area, which was adopted in 1993 (C920660HUM), amended once in 2006 (C060502HUM), and expired in

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<sup>1</sup> East Harlem Community Partners. [The East Harlem Neighborhood Plan](#). February 2016.

2008. The intention of the urban renewal area was to restrict industrial development and encourage residential uses.

Sites that make up the Proposed Developments have also been subject to previous dispositions. Parts of Development Site A and Development Site B were previously approved for disposition by the CPC in 1982<sup>2</sup> and 1994<sup>3</sup> respectively.

CPC approved a rezoning on May 7, 2003<sup>4</sup> that included Development Site A, Development Site B, and Development Site C. In this action, C1-4 and C2-4 districts were removed from the existing R7-2 district; R7-2, C4-4, M1-4; M3-2 districts were changed to R7A, R7B, R7X, R8A, C4-4D, and M1-4 districts; and new C1-5 and C2-5 districts were added to the proposed R7A, R7X, and R8A districts. Specifically, Development Site A was rezoned from an R7-2 to an R8A district and Development Site B and Development Site C were rezoned from R7-2 to R7B districts. The purpose of the rezoning was to apply contextual zoning in order to maintain neighborhood character.

### **HPD NIHOP/NCP program**

In 2014, HPD released an RFQ for the New Infill Homeownership Opportunities Program (NIHOP) and Neighborhood Construction Program (NCP), which aimed to develop 100% affordable housing on 87 vacant City-owned lots. In February 2018 the selected developers were announced by HPD, including Ascendant Neighborhood Development and MDG Construction to build 4 developments in the East Harlem Neighborhood within Community District 11.

## **PROPOSED DEVELOPMENT**

### **Area Context**

The Project Area is located completely within Community District 11 in the East Harlem neighborhood of Manhattan. The four development sites are surrounded by areas primarily filled with residential, commercial, and community facility uses, interspersed with some industrial uses and parking.

Development Site A is located at 303 East 102<sup>nd</sup> Street, between First and Second Avenues on the north side of East 102<sup>nd</sup> Street on the First Avenue side. The area is primarily defined by mid-rise mixed-use buildings mostly ranging from 5-10 stories. The primary zoning districts in the surrounding area are R7A, R7-2, and R8A with C1-5 and C2-5 commercial overlays along First and Second Avenues. Nearby religious and institutional uses include The House of Prayer Pentecostal Church, the Church of the Resurrection, East Harlem Church and Community Center, East Ward Missionary Baptist Church, P.S. 38 Roberto Clemente School, Harlem Prep Middle School, and the East Harlem School. The site is well served by transit, with 4, 5, and 6

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<sup>2</sup> City Planning Commission. C 820574 PPM. April 12, 1982

<sup>3</sup> City Planning Commission. C 940219 PCM. September 13, 1994

<sup>4</sup> City Planning Commission. C 030234(A) ZMM. May 7, 2003

subway line service at the 103<sup>rd</sup> Street Station, Q subway line service at the 96<sup>th</sup> Street Station, and M15 and M15SBS bus service along First and Second Avenues.

Development Site B is located at 338 East 117<sup>th</sup> Street, between First and Second Avenues on the south side of East 117<sup>th</sup> Street. This area is primarily defined by mid- to high-rise mixed-use buildings, with most ranging from 5-10 stories. The primary zoning districts in the surrounding area are R7B, R7X and R9A, with C1-5 and C2-5 commercial overlays along First and Second Avenues. Nearby religious and institutional facilities in the area include the Greater Emmanuel Baptist Church, Iglesia Pentecostal Las Santa Ciudad Church, The Bowery Mission, and P.S. 155 William Paca School. The site is well served by transit, with 4, 5, and 6 subway line service at the 116<sup>th</sup> Street Station, M15 and M15SBS bus service along First and Second Avenues, and M116 along East 116<sup>th</sup> Street and First Avenue.

Development Site C is located at 505-507 East 118<sup>th</sup> Street, west of Pleasant Avenue on the north side of East 118<sup>th</sup> Street. This area is primary defined by mid-rise mixed-use buildings, with most ranging from 3-10 stories. The primary zoning districts in the surrounding area are R7A, R7-2, and R8A, with C1-5 and C2-5 commercial overlays along First and Second Avenues. Institutional, religious, and public uses in the area include Holy Rosary Church, Mt. Carmel-Holy Rosary School New York City Department of Parks and Recreation (“Parks”) sponsored Pleasant Village Community Garden adjacent to Development Site C, and Los Amigos Community Garden. The site is well served by transit with M15 and M15SBS bus service along First Avenue, and M116 bus service along First Avenue, Paladino Avenue, Pleasant Avenue, and East 116<sup>th</sup> Street.

Development Site D is located at 1761-1763 Park Avenue on the east side of Park Avenue between East 122<sup>nd</sup> Street and East 123<sup>rd</sup> Street. The area is primarily defined by 4-10 story low- and mid-rise residential buildings and commercial buildings. The primary zoning districts in the surrounding area are R7B, R7-2, R8, R10, and M1-6 with C2-4, C2-5, and C6-4 commercial overlays along Park Avenue and Lexington Avenue. Special districts in the area include the Special 125<sup>th</sup> Street District, the Special East Harlem Corridor District (“EHC”), and the Special Transit Land Use District (“TA”). Public facilities include the NYC Health + Hospitals Henry J. Carter Specialty Hospital and Nursing Facility, New York College of Podiatric Medicine, Northern Manhattan Rehab and Nursing Center, P.S. 79 Horan School, Marcus Garvey Park, and the Parks sponsored Jackie Robinson Community Garden adjacent to Development Site D. The site is well served by transit with 4, 5, and 6 subway line service at the 125<sup>th</sup> Street station, MetroNorth service at the Harlem-125<sup>th</sup> Street station, M101 and M103 bus service along Lexington and Third Avenues, M98 bus service along Lexington Avenue, 120<sup>th</sup> Street, and Park Avenue.

### **Site Description**

Development Site A is located at 303 East 102<sup>nd</sup> Street (Block 1674, Lot 104). It has an area of 1,898 square feet and is currently a vacant lot owned by HPD.

Development Site B is located at 338 East 117<sup>th</sup> Street (Block 1688, Lot 34). It has an area of 2,523 square feet and is currently a vacant lot owned by HPD.

Development Site C is located at 505-507 East 118<sup>th</sup> Street (Block 1815, Lots 5 and 6). It has an area of 4,827 square feet. The site is currently occupied by Pleasant Village Community Garden under a temporary license agreement between the NYC Parks GreenThumb program and HPD.

Development Site D is located at 1761 Park Avenue (Block 1771, Lots 1 and 2). It has an area of 4,583 square feet. The site is currently occupied by Jackie Robinson Community Garden under a temporary license agreement between the NYC Parks GreenThumb program and HPD.

### Project Description

In accordance with the result of the NIHOP/NCP selection process by HPD, Ascendant Neighborhood Development and MDG Construction are set to develop 83 units of affordable housing on the development sites. The unit mix and affordability levels are as follows:

Unit Size	Development Site A	Development Site B	Development Site C	Development Site D	Total Apartments	% of Total
Studio	4	1	5	11	21	25%
1-Bedroom	0	4	6	25	35	42%
2-Bedroom	2	0	4	16	22	27%
3-Bedroom	0	2	3	0	5	6%
Total	6	7	18	52	83	100%

Rent Restrictions	Development Site A	Development Site B	Development Site C	Development Site D	Total	% of Total
Formerly Homeless	1	1	2	8	12	14%
27% AMI	1	1	1	6	9	11%
37% AMI	1	1	1	6	9	11%
47% AMI	1	1	1	5	8	10%
57% AMI	0	0	1	8	9	11%
80% AMI	2	3	12	17	34	41%
Super Units	0	0	0	2	2	2%
Total	6	7	18	52	83	100%

Development Site A is anticipated to be 63 feet tall and contain 5 stories. The building would also include ground floor community facility space, a laundry room in the cellar, a green roof, and ground floor mural artwork.

Development Site B is anticipated to be 63 feet tall and contain 5 stories. The building would also include a ground floor laundry room, rear yard for residents, a green roof, and ground floor mural artwork.

Development Site C is anticipated to be 72 feet tall and contain 6 stories. The building would also include an elevator, laundry room on the 6th floor, rear yard for residents, a green roof, and ground floor mural artwork.

Development Site D is anticipated to be 125 feet tall and contain 14 stories. The building would also include 2 elevators, community facility space on the first two floors, rooftop terrace, and ground floor mural artwork.

All proposed buildings are allowed as-of-right under the existing zoning.

## **COMMUNITY BOARD RECOMMENDATIONS**

The Project Area is located within the jurisdiction of Manhattan Community Board 11. HPD, Ascendant Neighborhood Development, and MDG Construction presented their application to Community Board 11 on April 14th and July 7th, 2021.

During their July 13, 2021 meeting, Manhattan Community Board 11 voted to approve ULURP application No. 210428PPM with no conditions by a unanimous vote of 28 in favor, 0 opposed, and 0 abstentions.

## **BOROUGH PRESIDENT'S COMMENTS**

The construction and preservation of affordable housing is one of the most urgent issues facing the neighborhood of East Harlem. Since the 2017 East Harlem Rezoning, the neighborhood has faced additional development pressure and rents have increased. According to the Furman Center, the median rent for Manhattan Community District 11 increased from \$720 per month in 2006 to \$910 per month in 2019 and 24.7% of renter households in the district are considered severely rent burdened.<sup>5</sup>

Additionally, community groups and Manhattan Community Board 11 have indicated that affordable housing is an urgent priority. Community Board 11 indicated their support for the construction, preservation, and maintenance of affordable housing in their Statement on the FY 2022 Preliminary Budget document.<sup>6</sup> Also, the 2016 East Harlem Neighborhood Plan stressed the need for affordable housing and called for new units to be set at rent levels that are affordable to low-income residents. The plan advocated for City-owned sites to be utilized for 100% affordable housing.

These Proposed Developments are responsive to these needs, and are in accordance with the spirit of the 2016 *East Harlem Neighborhood Plan*. I commend HPD, Ascendant Neighborhood Development, and MDG Construction for committing to 100% affordable housing on these sites.

Development Sites A, B, and C all fall within the FEMA 100-year Flood Plain, and the neighborhood of East Harlem is especially vulnerable to sea-level rise. It is important that any

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<sup>5</sup> Furman Center. [East Harlem Neighborhood Profile](#).

<sup>6</sup> Community Board 11. [FY 2022 Preliminary Budget](#). January 15, 2021

new development in the neighborhood incorporate measures to protect residents and make buildings more resilient. I was pleased to note that flood proofing is planned as part of the Proposed Developments.

With any new development, activation at the street level is important, and therefore I support the stipulation that murals be created at the ground level of the Proposed Developments in partnership with Thrive Collective, and that new street lighting will be installed as part of the development of the sites. Ground floor community facility space will be included at 303 East 102<sup>nd</sup> St and 1761 Park Avenue. This will provide for engaging uses and programming, helping ensure that these sites will be an asset to the community.

My primary reservation is the impact on the two community gardens that occupy the lots at 505-507 East 118<sup>th</sup> Street and 1761 Park Avenue. The use of HPD-owned lots by Pleasant Village Community Garden and Jackie Robinson Community Garden was understood to be temporary from the beginning, but Pleasant Village Community Garden has used the space to expand programming and it is now an important part of the garden's operations. Among other activities, it is utilized to rear chickens, grow food, maintain composting activities, grow native pollinator plants, and hold educational programs. Both gardens are also expected to have new shadows as a result of the construction of the buildings. These shadows could change the growing conditions. The developer or HPD should commit to having further discussions with the gardeners to explore mitigation options.

As with any affordable housing project in the city, HPD and the developer should commit to a robust marketing process that guarantees that eligible community district residents will be informed in a timely manner about the availability of the new units.

Lastly, while there is some variation in the unit mix for this development, there is still a shortage of 3-bedroom units in the city.<sup>7</sup> According to a July 2019 article in City Limits, between 2014 and 2019, only 14,700 three-bedroom units were created out of 156,000 total units of affordable housing. While the Proposed Developments are compliant with relevant HPD term sheets, I strongly recommend that HPD prioritize family-sized units in future affordable housing projects.

## **BOROUGH PRESIDENT'S RECOMMENDATION**

Therefore, the Manhattan Borough President recommends approval with conditions of ULURP application No. 210428PPM. I request that the Applicant commit to:

- Mitigation measures that enable Pleasant Village Community Garden and Jackie Robinson Community Garden to help gardens resume existing operations on the Development Sites;
- A robust marketing process, engaging local organizations in East Harlem to ensure equitable selection of tenants; and
- Exploring options to increase the number of 3-bedroom units in the Proposed Developments and future affordable housing projects.

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<sup>7</sup>City Limits. [“The Disappearing 3-Bedroom: Larger Families Have Few Affordable Options in NYC”](#). July 2, 2019

A handwritten signature in black ink that reads "gale A. Brewer". The signature is written in a cursive style with a large, looping initial "g" and a capital "A".

Gale A. Brewer  
Manhattan Borough President



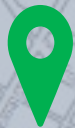
## Las Raices Project Sites



**Development Site D - 1761 Park Avenue**



**Development Site C - 505 E118th Street**



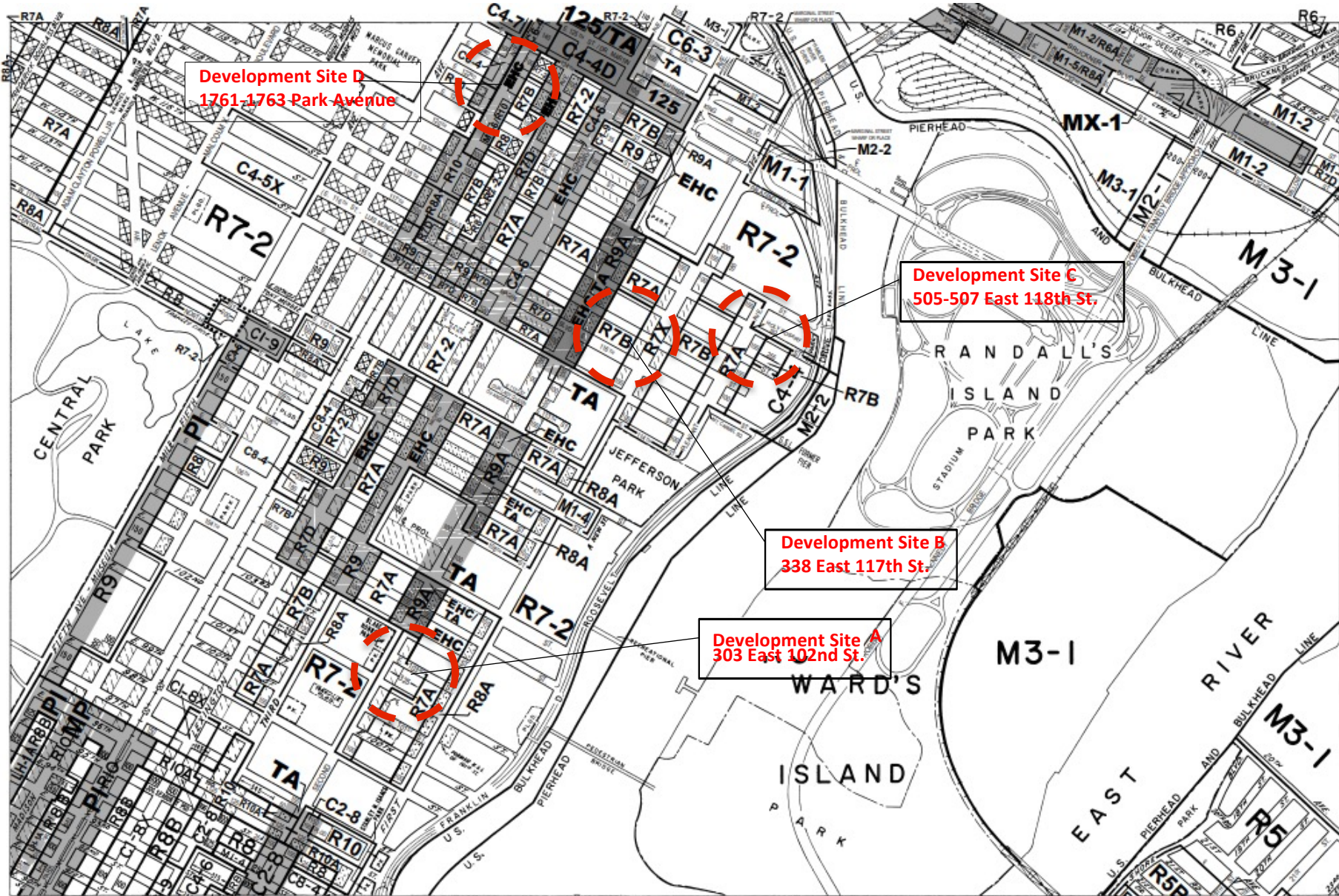
**Development Site B - 338 E117th Street**



**Development Site A - 303 E102nd Street**







Development Site D  
1761-1763 Park Avenue

Development Site C  
505-507 East 118th St.

Development Site B  
338 East 117th St.

Development Site A  
303 East 102nd St.

# ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

**Major Zoning Classifications:**  
The number(s) and/or letter(s) that follows on R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

- R - RESIDENTIAL DISTRICT
- C - COMMERCIAL DISTRICT
- M - MANUFACTURING DISTRICT

SPECIAL PURPOSE DISTRICT  
The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.

AREA(S) REZONED

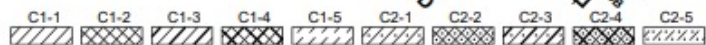
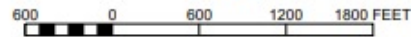
**Effective Date(s) of Rezoning:**  
12-19-2019 C 190434 ZMM

**Special Requirements:**  
For a list of lots subject to CEQR environmental requirements, see APPENDIX C.  
For a list of lots subject to "D" restrictive declarations, see APPENDIX D.  
For Inclusionary Housing designated areas and Mandatory Inclusionary Housing areas on this map, see APPENDIX F.

MAP KEY

5c	6a	6c
5d	<b>6b</b>	6d
8c	9a	9c

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NOTE: Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined in Article VII, Chapter 6 (Location of District Boundaries) of the Zoning Resolution.

NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for this map, visit the Zoning section of the Department of City Planning website: [www.nyc.gov/planning](http://www.nyc.gov/planning) or contact the Zoning Information Desk at (212) 720-3291.

ZONING MAP **6b**

# Development Site A 303 E102 Street Area Map



## Project

- ▭ Project Area
- ▭ Development Site
- ▭ Rezoning Area
- ⋯ 600 Foot Radius

## Zoning

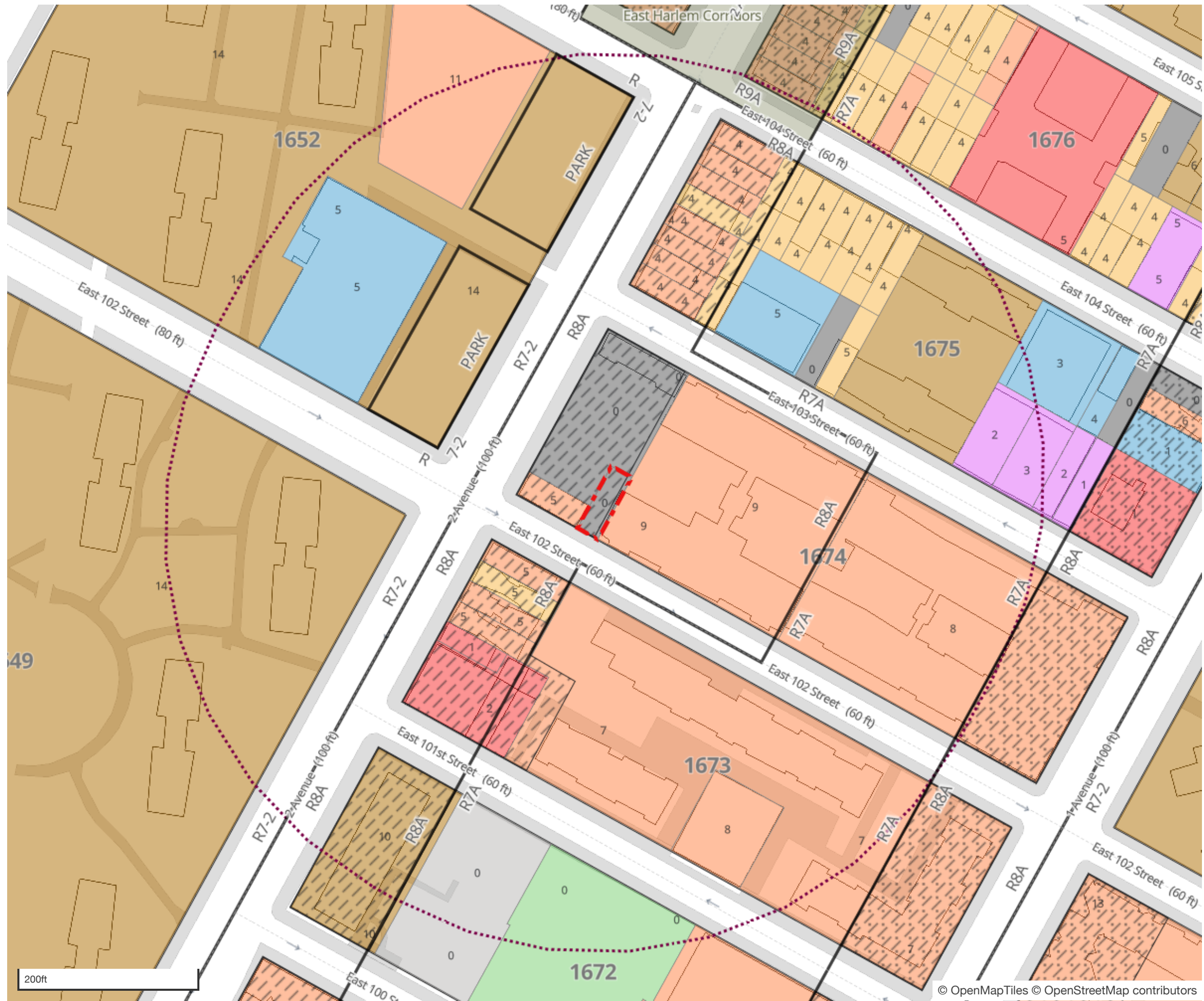
- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li><span style="color: grey;">▭</span> Zoning District</li> <li>C1-1</li> <li>C1-2</li> <li>C1-3</li> <li>C1-4</li> <li>C1-5</li> <li>C2-1</li> <li>C2-2</li> <li>C2-3</li> <li>C2-4</li> <li>C2-5</li> <li><span style="color: green;">▭</span> Special Purpose District</li> </ul> | <h3>Land Use</h3> <ul style="list-style-type: none"> <li><span style="color: yellow;">▭</span> 1-2 Family Residential</li> <li><span style="color: orange;">▭</span> Multifamily Walkup</li> <li><span style="color: brown;">▭</span> Multifamily Elevator</li> <li><span style="color: lightblue;">▭</span> Mixed Commercial/Residential</li> <li><span style="color: red;">▭</span> Commercial &amp; Office</li> <li><span style="color: purple;">▭</span> Industrial &amp; Mfg</li> <li><span style="color: pink;">▭</span> Transportation &amp; Utility</li> <li><span style="color: blue;">▭</span> Public Facilities &amp; Institutions</li> <li><span style="color: green;">▭</span> Open Space &amp; Outdoor Recreation</li> <li><span style="color: grey;">▭</span> Parking</li> <li><span style="color: black;">▭</span> Vacant/No Data</li> <li><span style="color: lightgrey;">▭</span> Other</li> </ul> |
|--|--|

## Transportation

- Subway Stop
- Subway Entrance

Map Created: Apr 30, 2020, 12:56am

Data Sources: [layers-api.planninglabs.nyc/v1/sources](https://layers-api.planninglabs.nyc/v1/sources)  
 pluto MapPLUTO™ 20v3, Bytes of the Big Apple (April 2020); zoning-districts (March 2020); digital-citymap (6 April 2018); planimetrics (26 February 2019); transportation (21 November 2017); supporting-zoning (Dec 2019)





### NYC Digital Tax Map

Effective Date : 11-06-2009 09:44:00

End Date : Current

Manhattan Block: 1674

## Development Site A 303 East 102nd Street

#### Legend

- Streets
- Miscellaneous Text
- Possession Hooks
- Boundary Lines
- Lot Face Possession Hooks
- Regular
- Underwater
- Tax Lot Polygon
- Condo Number
- Tax Block Polygon
- Development Site
- Development area
- Zoning boundary



0 5 10 20 30 40 Feet



Apr 22, 2020  
New York, NY 10029

1. Looking north from midblock of 102<sup>nd</sup> St. toward Development Site.



Apr 22, 2020  
New York, NY 10029

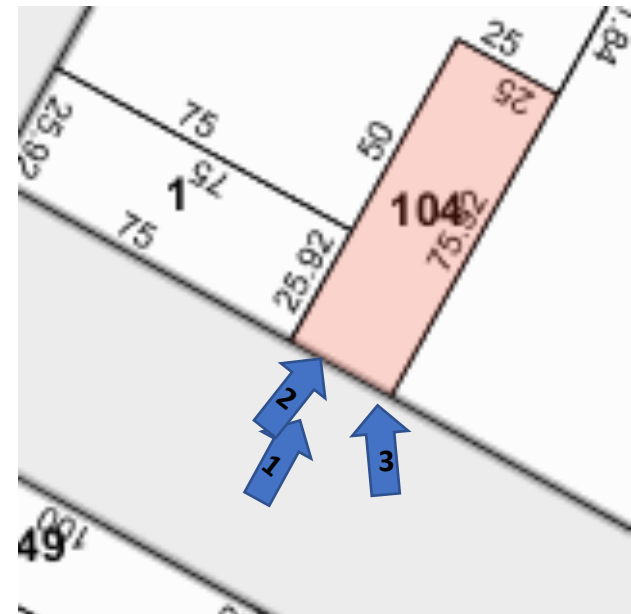
2. Looking north from sidewalk E. 122<sup>nd</sup> St. toward Development Site.

**Development Site A**  
**303 E. 102nd St.**



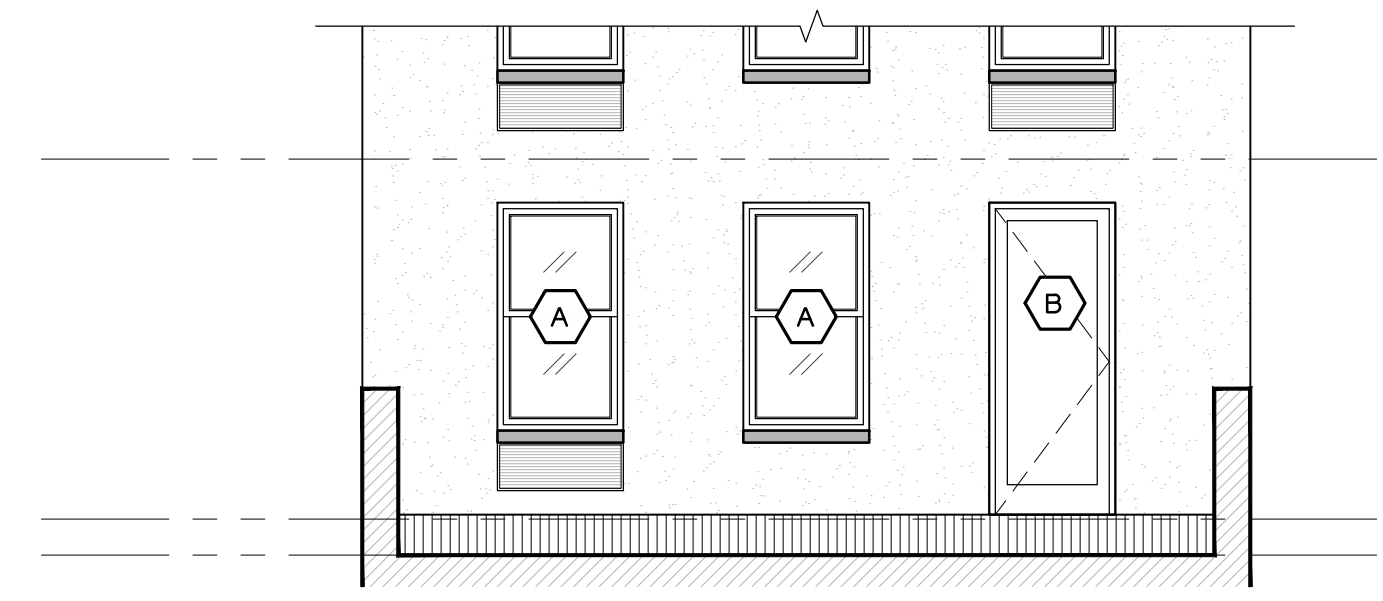
Apr 22, 2020  
New York, NY 10029

3. Looking northwest from sidewalk of E. 102<sup>nd</sup> St. toward Development Site.

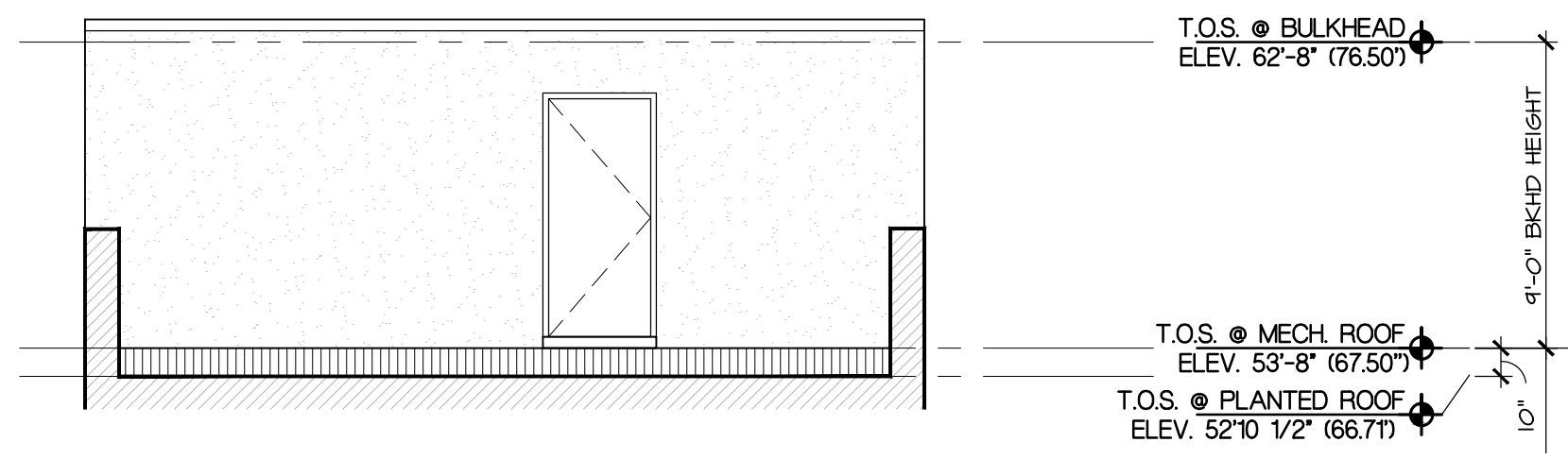


**BUILDING MATERIAL LEGEND**

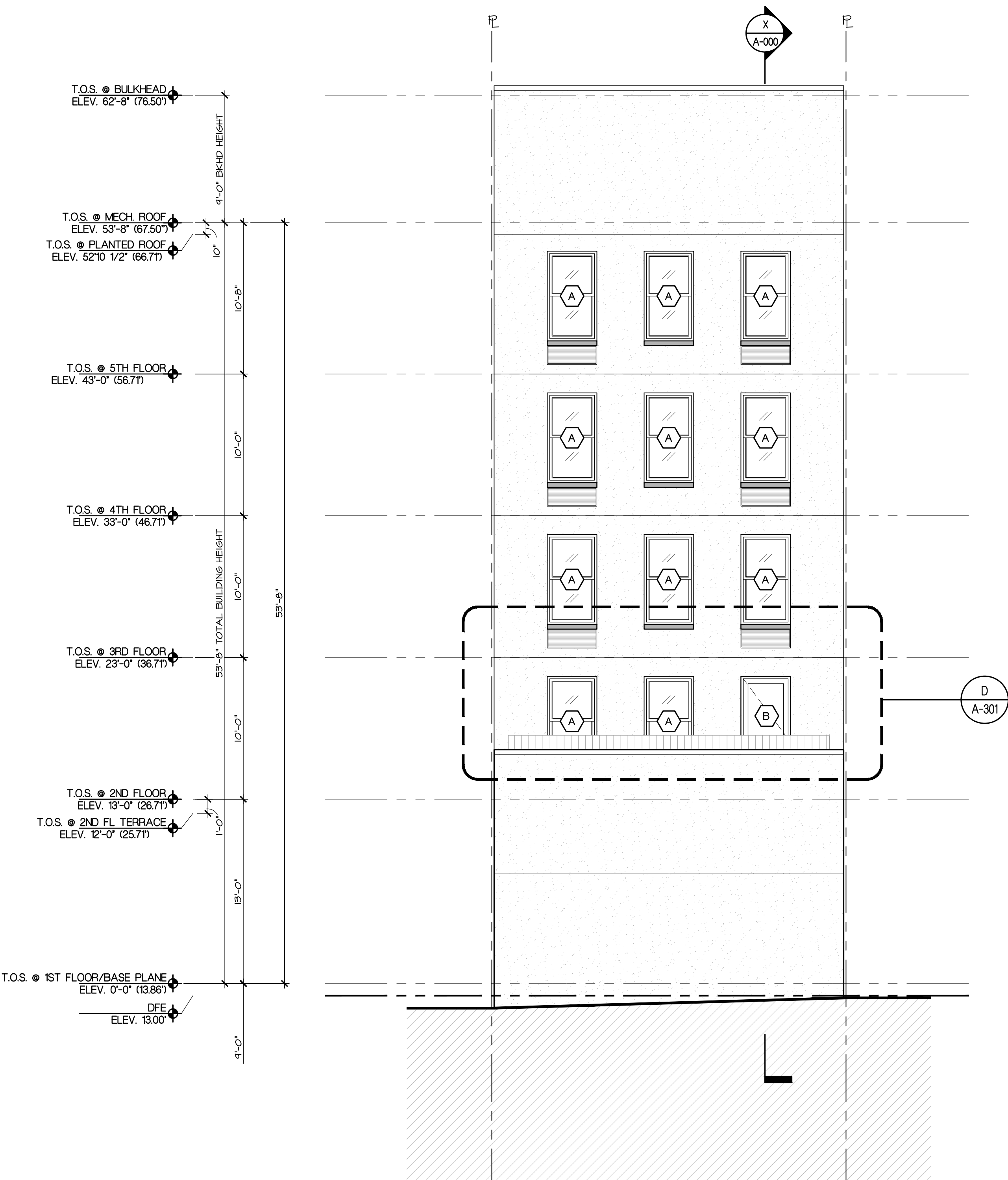
- BRICK VENER
- EIFS - COLOR BY OWNER
- STONE WINDOW HEAD/SILL



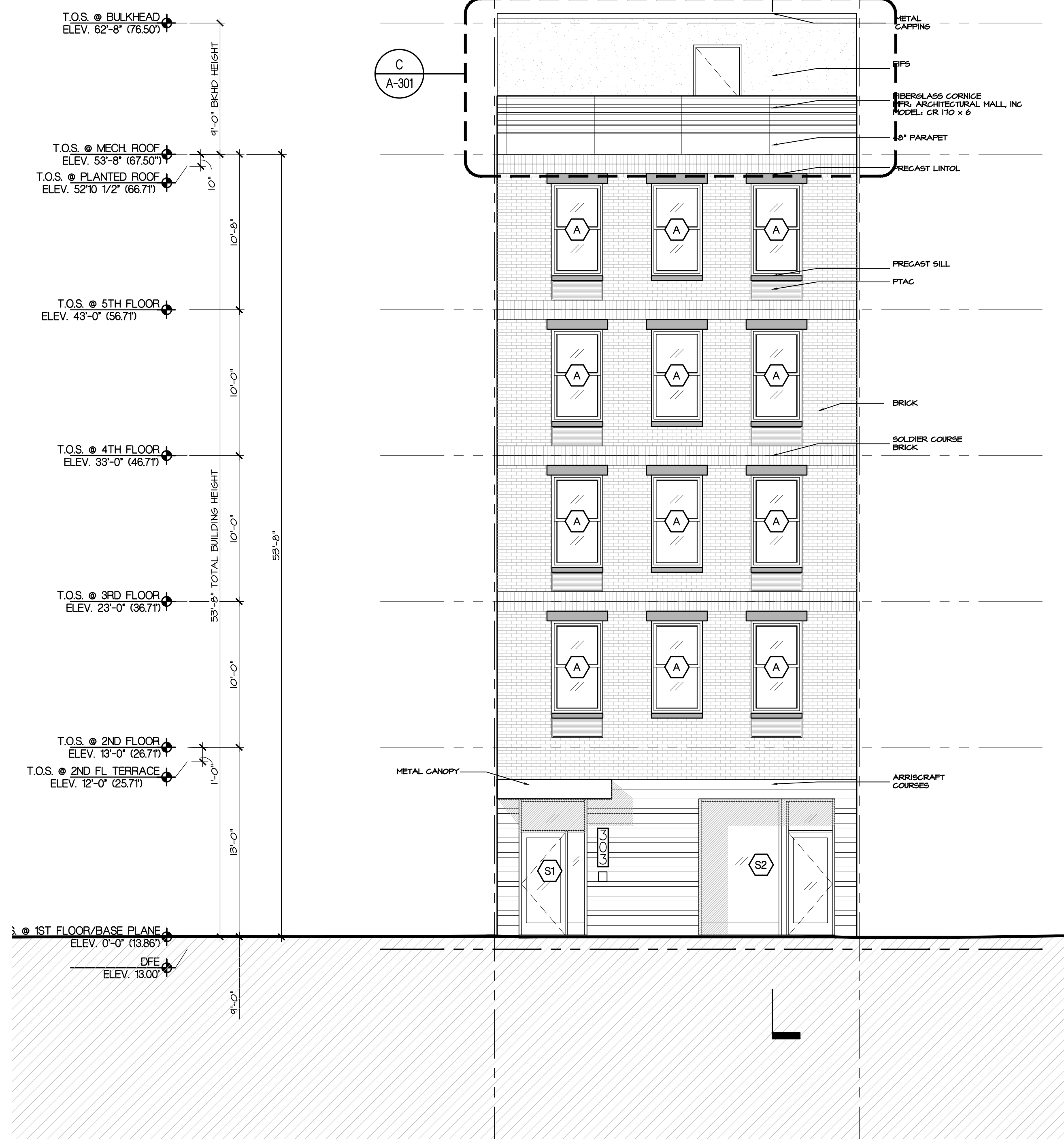
**D BUILDING ELEVATION (PART)**  
 NORTH WEST  
 3/16" = 1'-0"



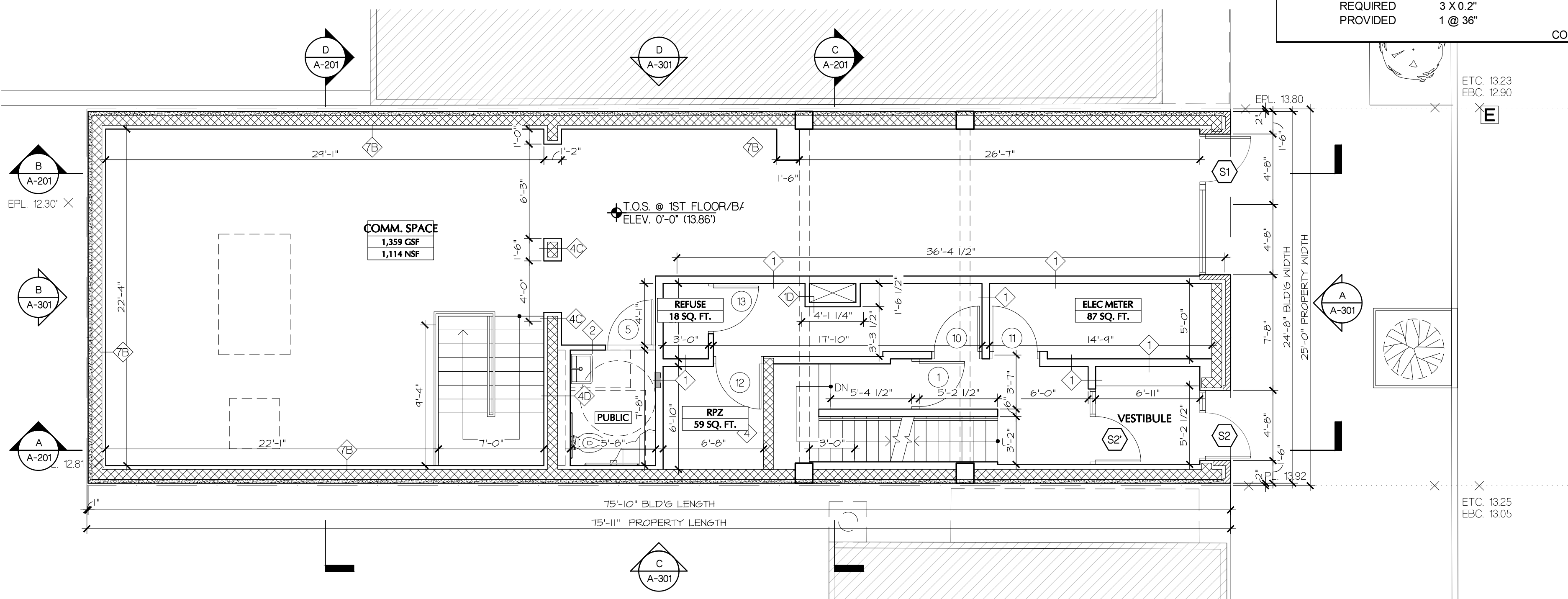
**C BUILDING ELEVATION (PART)**  
 SOUTH-EAST  
 3/16" = 1'-0"



**B BUILDING ELEVATION**  
 NORTH WEST  
 3/16" = 1'-0"



**A BUILDING ELEVATION**  
 SOUTH-EAST  
 3/16" = 1'-0"



1st FLOOR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
ELEC. ROOM	87.0	300	1
REFUSE	18.0	300	1
RPZ	59.0	300	1
TOTAL			3

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
DOORS	REQUIRED	PROVIDED	COMPLIANCE
	0.2' / OCCUPANT	3 X 0.2"	0.6"
		1 @ 36"	36"
			COMPLIES

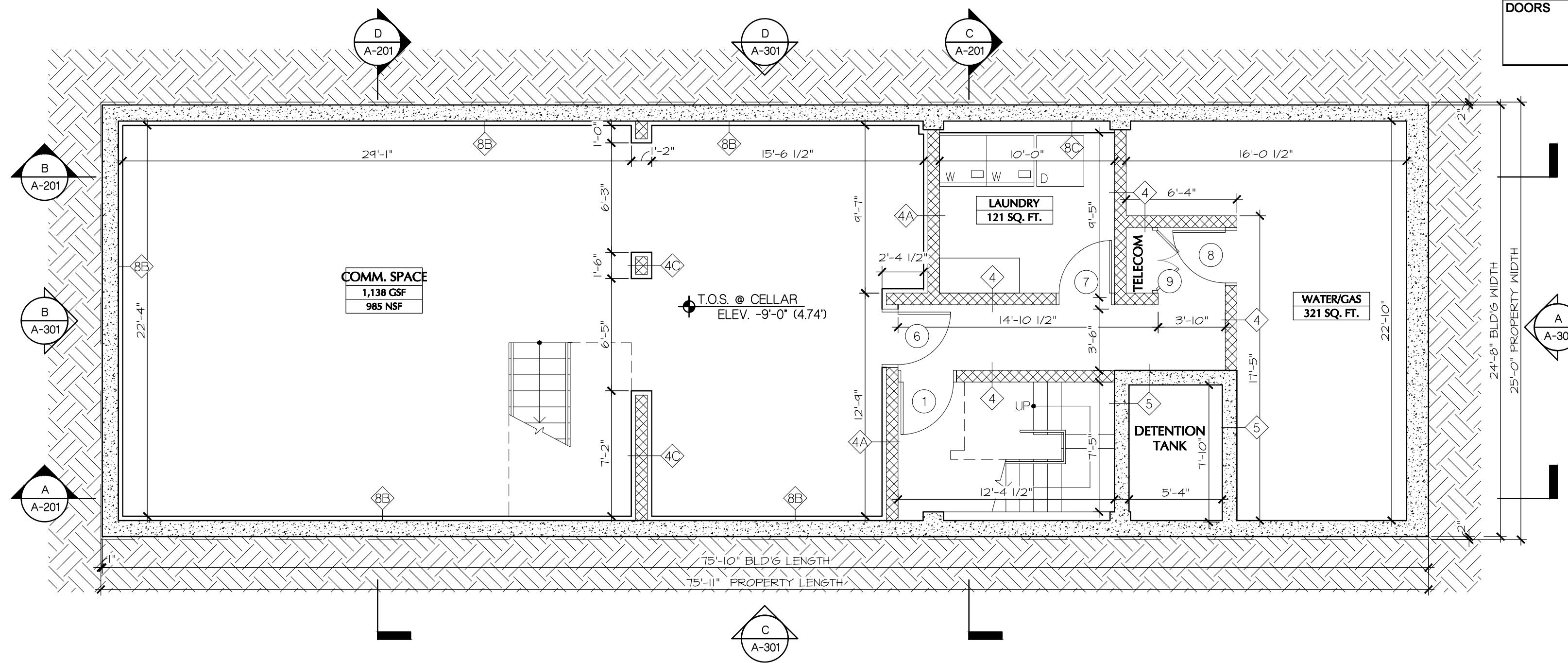
OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
COMMERCIAL	1359.0	30	45
TOTAL			45

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
DOORS	REQUIRED	PROVIDED	COMPLIANCE
	0.2' / OCCUPANT	45 X 0.2"	9.1"
		1 @ 36"	36"
			COMPLIES

**B** FIRST FLOOR PLAN  
COMMERCIAL SPACE & MECH. SPACES

3/16" = 1'-0"



CELLAR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
WATER METER ROOM	321.0	300	1
TELECOM	5.0	300	1
LAUNDRY	121.0	200	1
TOTAL			3

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
STAIRS	REQUIRED	PROVIDED	COMPLIANCE
	0.3' / OCCUPANT	3 X 0.2"	0.9"
		1 @ 36"	36"
			COMPLIES

DOORS			
REQUIRED	PROVIDED	COMPLIANCE	
0.2' / OCCUPANT	3 X 0.2"	0.0"	
	1 @ 36"	36"	COMPLIES

OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
COMMERCIAL	1138.0	30	38
TOTAL			38

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
STAIRS	REQUIRED	PROVIDED	COMPLIANCE
	0.3' / OCCUPANT	38 X 0.3"	11.4"
		2 @ 36"	72"
			COMPLIES

DOORS			
REQUIRED	PROVIDED	COMPLIANCE	
0.2' / OCCUPANT	38 X 0.2"	0.0"	
	1 @ 36"	36"	COMPLIES

PL FIXTURE TABLE OCCUPANCY - BUSINESS (B) OCCUPANT LOAD =				NYC PLUMBING CODE TABLE 403.1	
	REQUIRED	PROVIDED	COMPLIANCE		
WATER CLOSET					
LAVATORY					
DRINKING FOUNTAIN					
SERVICE SINK					

- CONSTRUCTION NOTES**
- ALL DIMENSIONS FINISH TO FINISH
  - REFER TO STAIR DETAIL DRAWINGS FOR STAIR DIMENSIONS AND DETAILS
  - BUILDING TO BE IN FULL COMPLIANCE WITH NYS ENERGY CODE / ASHRAE
  - FOR KITCHEN AND BATHROOM DETAILS AND DIMENSIONS SEE DETAIL DRAWINGS
  - FIRESTOP AND FIRESEAL ALL PENETRATIONS THROUGH RATED WALLS AND RATED FLOORS/SLABS
  - ALL CORRIDOR WALLS TO BE MIN. 2HR RATED
  - GAS RISERS IN DEMISING WALLS TO BE SEPARATED BY A 2 HR RATED INDEPENDENT ENCLOSURE. GAS RISERS MAY NOT BE LOCATED IN CONCEALED SPACES WITHIN RATED WALLS BETWEEN APARTMENTS AND APARTMENTS, AND APARTMENTS AND CORRIDORS

**LEGEND**

**WALL ASSEMBLY**

- CONCRETE WALL
- 8" CMU
- 4" BRICK
- 3" EIFS

**ROOM/SPACE TAGS**

APT #  
RM NAME  
AREA

WINDOW TYPE  
DOOR #  
PARTITION TYPE

SECTION  
ELEVATION  
DETAIL REF.

**A** CELLAR PLAN  
COMMERCIAL SPACE & MECH. SPACES

3/16" = 1'-0"

# Development Site B

## 338 E117 Street - Area Map



### Project

- Project Area
- Development Site
- Rezoning Area
- 600 Foot Radius

### Zoning

- Zoning District
- C1-1
- C1-2
- C1-3
- C1-4
- C1-5
- C2-1
- C2-2
- C2-3
- C2-4
- C2-5
- Special Purpose District

### Land Use

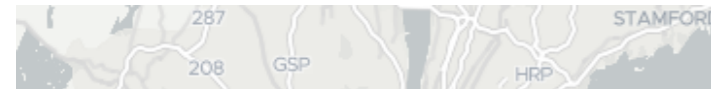
- 1-2 Family Residential
- Multifamily Walkup
- Multifamily Elevator
- Mixed Commercial/Residential
- Commercial & Office
- Industrial & Mfg
- Transportation & Utility
- Public Facilities & Institutions
- Open Space & Outdoor Recreation
- Parking
- Vacant/No Data
- Other

### Transportation

- Subway Stop
- Subway Entrance

Map Created: Apr 30, 2020, 12:53am

Data Sources: [layers-api.planninglabs.nyc/v1/sources](https://layers-api.planninglabs.nyc/v1/sources)  
 pluto MapPLUTO™ 20v3, Bytes of the Big Apple (April 2020); zoning-districts (March 2020); digital-citymap (6 April 2018); planimetrics (26 February 2019); transportation (21 November 2017); supporting-zoning (Dec 2019)



200ft



### NYC Digital Tax Map

Effective Date : 12-09-2008 13:12:04

End Date : Current

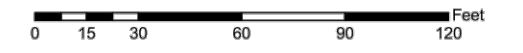
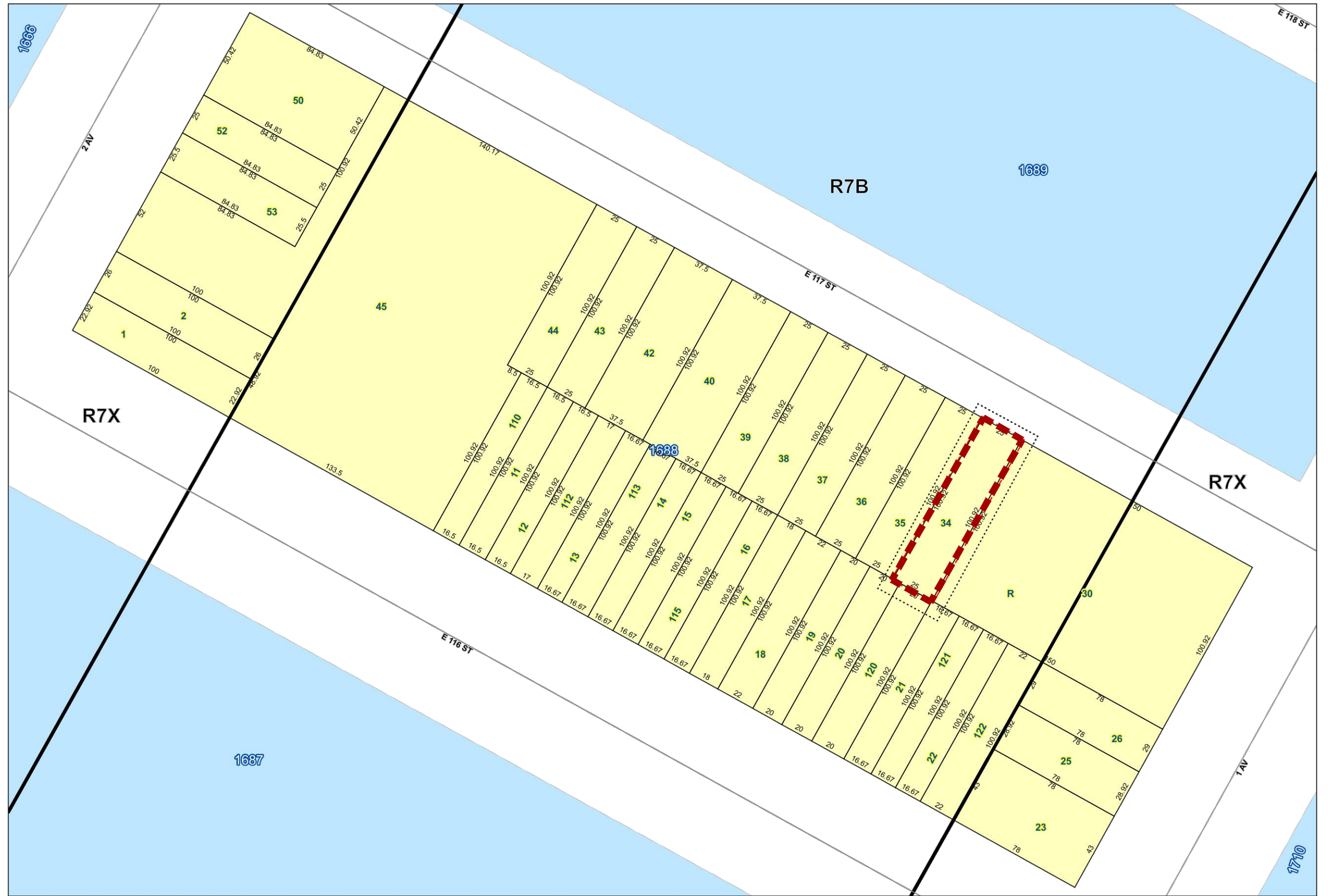
Manhattan Block: 1688

## Development Site B 338 East 117th Street

#### Legend

- Streets
- Miscellaneous Text
- Possession Hooks
- Boundary Lines
- Lot Face Possession Hooks
- Regular
- Underwater
- Tax Lot Polygon
- Condo Number
- Tax Block Polygon

- Development Site
- Development area
- Zoning boundary







Apr 22, 2020  
New York, NY 10035

1. Looking southwest from sidewalk of E. 117<sup>th</sup> St. toward Development Site.



Apr 22, 2020  
New York, NY 10035

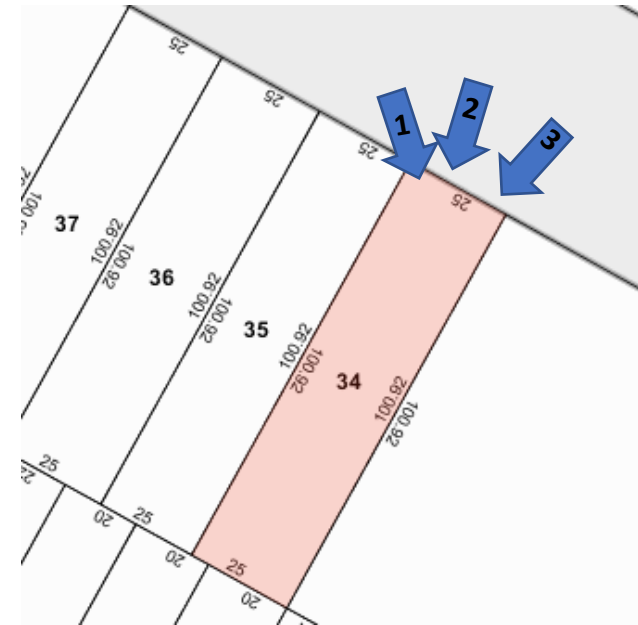
2. Looking southeast from sidewalk E. 117<sup>th</sup> St. toward Development Site.

**Development Site B**  
**388 East 117th St.**



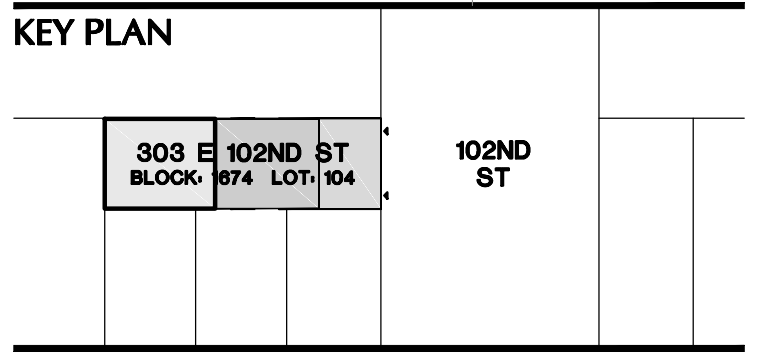
Apr 22, 2020  
New York, NY 10035

3. Looking southwest from sidewalk of E. 117<sup>th</sup> St. toward Development Site.



ISSUE

CONSTRUCTABILITY SET	2/13/2020



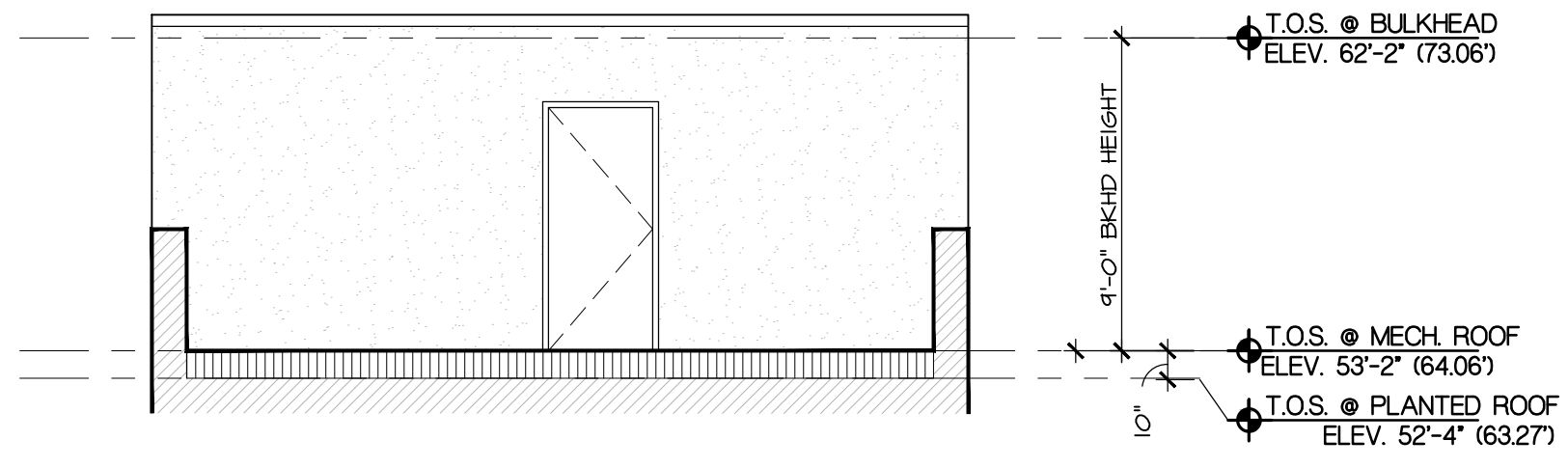
SCALE

DRAWING  
 BUILDING ELEVATIONS

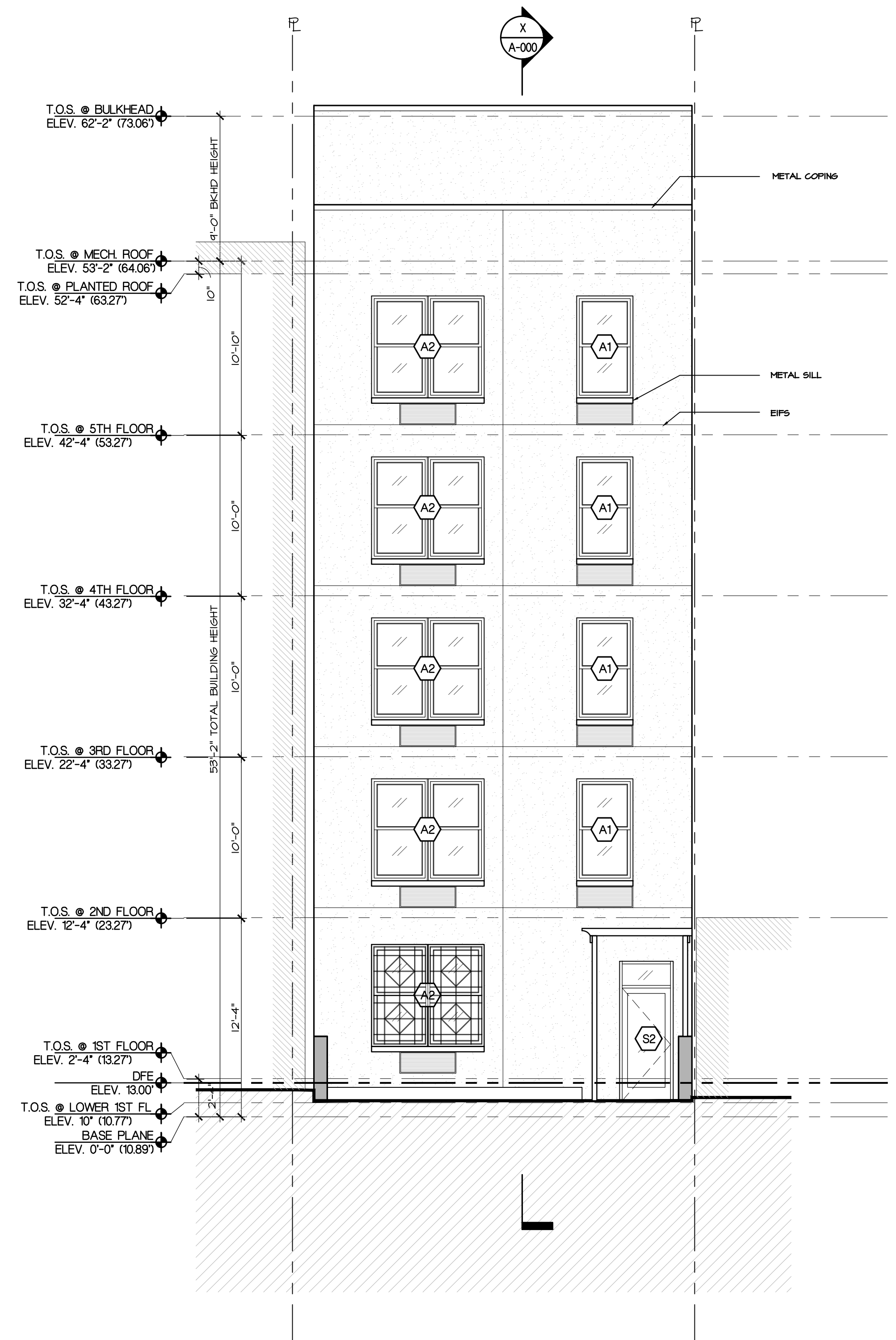
SEAL AND SIGNATURE \_\_\_\_\_ DATE: 9/24/2020  
 PROJECT NO: 1816.00  
 DRAWING BY: \_\_\_\_\_  
 CHK BY: \_\_\_\_\_  
 DWG NO: \_\_\_\_\_  
**A-301.00**  
 SHEET NO: \_\_\_\_\_

**BUILDING MATERIAL LEGEND**

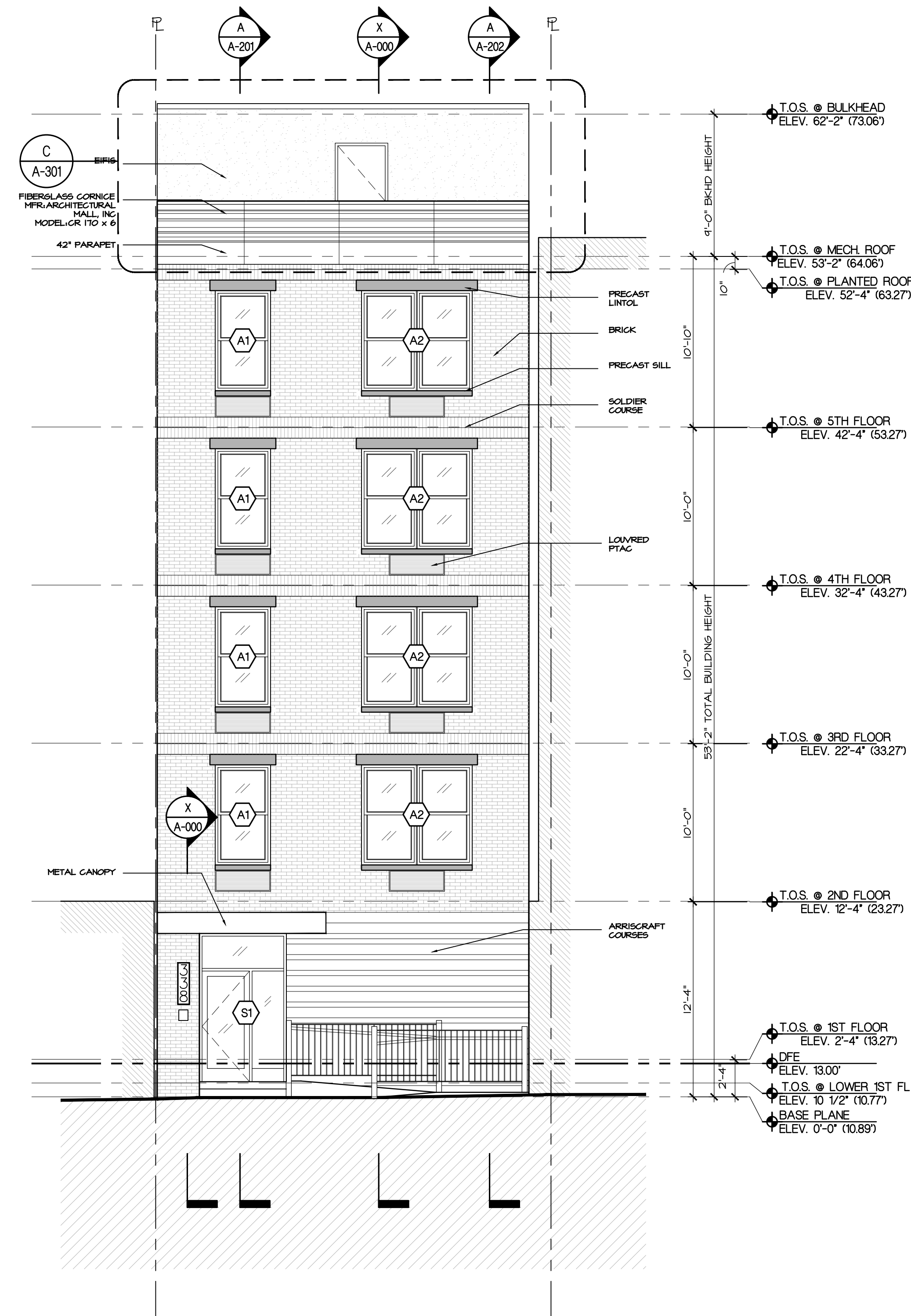
- BRICK VENEER
- EIFS - COLOR BY OWNER
- STONE WINDOW HEAD/SILL



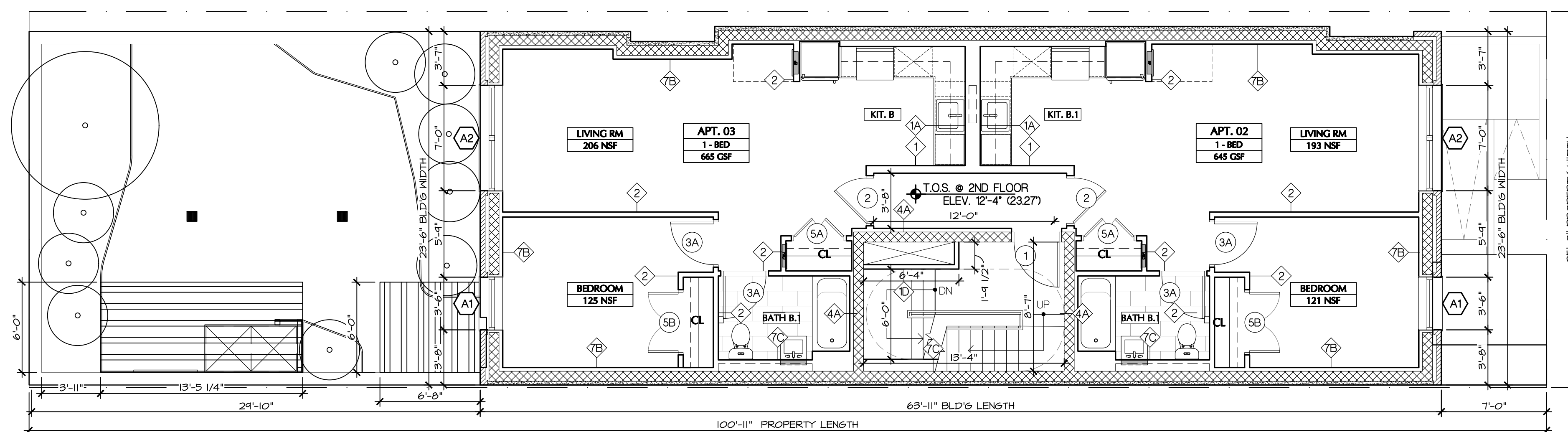
**C BUILDING ELEVATION (PART)**  
 SOUTH-EAST  
 3/16" = 1'-0"



**B BUILDING ELEVATION**  
 SOUTH-WEST  
 3/16" = 1'-0"



**A BUILDING ELEVATION**  
 NORTH-EAST  
 3/16" = 1'-0"



2nd-3RD FLOOR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.1			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
RESIDENTIAL	1310.0	200	7
<b>TOTAL</b>			<b>7</b>

EXIT & ACCESS REQUIREMENTS AS PER TABLE 1005.1			
<b>STAIRS</b>	REQUIRED	0.3' / OCCUPANT 12 X 0.3"	2.0' 36"
	PROVIDED	1 @ 36"	COMPLIES
<b>DOORS</b>	REQUIRED	0.2' / OCCUPANT 12 X 0.2"	1.3' 36"
	PROVIDED	1 @ 36"	COMPLIES

**CONSTRUCTION NOTES**

- ALL DIMENSIONS FINISH TO FINISH
- REFER TO STAIR DETAIL DRAWINGS FOR STAIR DIMENSIONS AND DETAILS
- BUILDING TO BE IN FULL COMPLIANCE WITH NYC ENERGY CODE / ASHRAE
- FOR KITCHEN AND BATHROOM DETAILS AND DIMENSIONS SEE DETAIL DRAWINGS
- FIRESTOP AND FIRESEAL ALL PENETRATIONS THROUGH RATED WALLS AND RATED FLOORS/LABS
- ALL CORRIDOR WALLS TO BE MIN 2HR RATED
- GAS RISERS IN COMMON HALLS TO BE SEPARATED BY A 2 HR RATED INDEPENDENT ENCLOSURE (GAS RISERS MAY NOT BE LOCATED IN CORRIDOR SPACES WITH RATED WALLS BETWEEN APARTMENTS AND APARTMENTS AND APARTMENTS AND CORRIDORS)
- MAINTAIN SISING GAPS AS PER STRUCTURAL DRAWINGS

**LEGEND**

**WALL ASSEMBLY**

- CONCRETE WALL
- 8" CMU
- 4" BRICK
- 3" EPS

**ROOM/SPACE TAGS**

- APT #
- RESIDENTIAL
- NAME
- AREA
- TYPE

**PLAN TAGS**

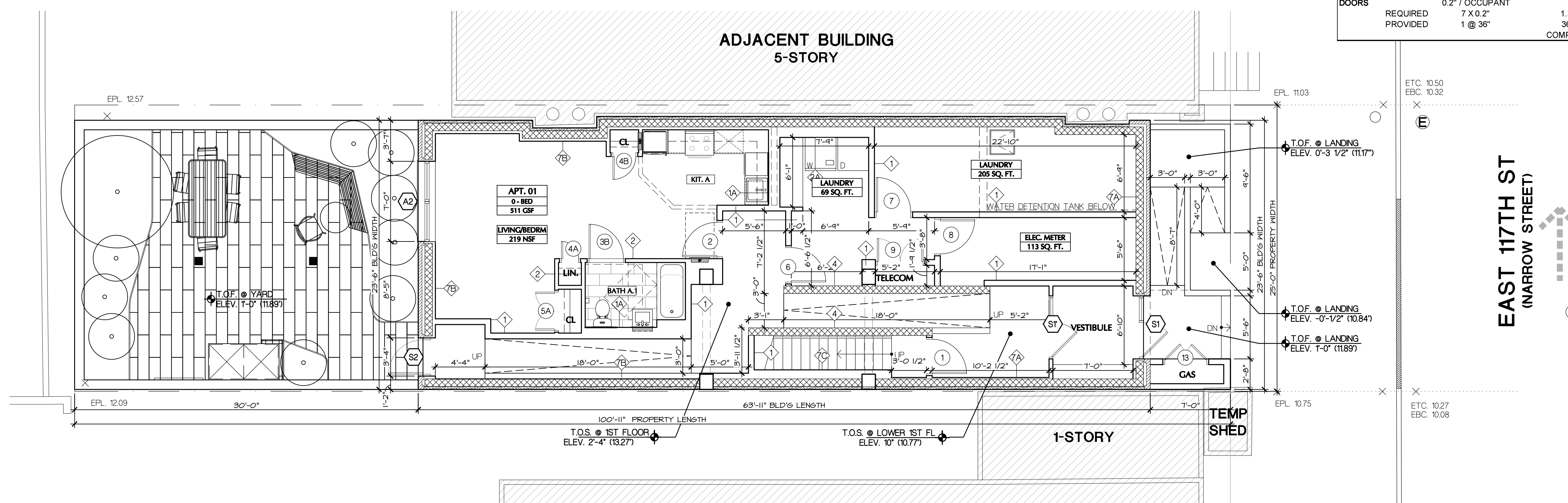
- WINDOW TYPE
- DOOR #
- PARTITION TYPE
- SECTION
- ELEVATION
- DETAIL REF.

**B SECOND FLOOR PLAN**

3/16" = 1'-0"

1st FLOOR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
ELEC. ROOM	113.0	300	1
WATER METER ROOM	205.0	300	1
TELECOM	5.0	300	1
LAUNDRY	69.0	200	1
RESIDENTIAL	511.0	200	3
<b>TOTAL</b>			<b>7</b>

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
<b>DOORS</b>	REQUIRED	0.2' / OCCUPANT 7 X 0.2"	1.3' 36"
	PROVIDED	1 @ 36"	COMPLIES



**A FIRST FLOOR PLAN**

3/16" = 1'-0"

**OWNER**  
MDG NY

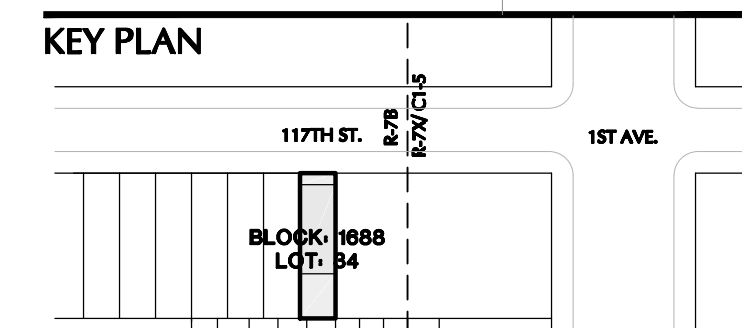
**DESIGN ARCHITECT**  
GF55 Partners, LLP

**MECHANICAL ENGINEER**  
Dagher Engineering

**STRUCTURAL ENGINEER**  
De Nardis Engineering, LLC

**ISSUE**  
Design Development Set

CONSTRUCTABILITY SET 2.13.20



SCALE

**DRAWING**  
1ST - 2ND FLOOR PLAN

**SEAL AND SIGNATURE**

DATE: 9/24/2020  
 PROJECT NO: 1816.00  
 DRAWING BY:  
 CHK BY:  
 DWG NO:  
**A-101.00**  
 SHEET NO: 14

# Development Site C 505 E118 Street Area Map



## Project

- ▬ Project Area
- ▬ Development Site
- ▬ Rezoning Area
- ▬ 600 Foot Radius

## Zoning

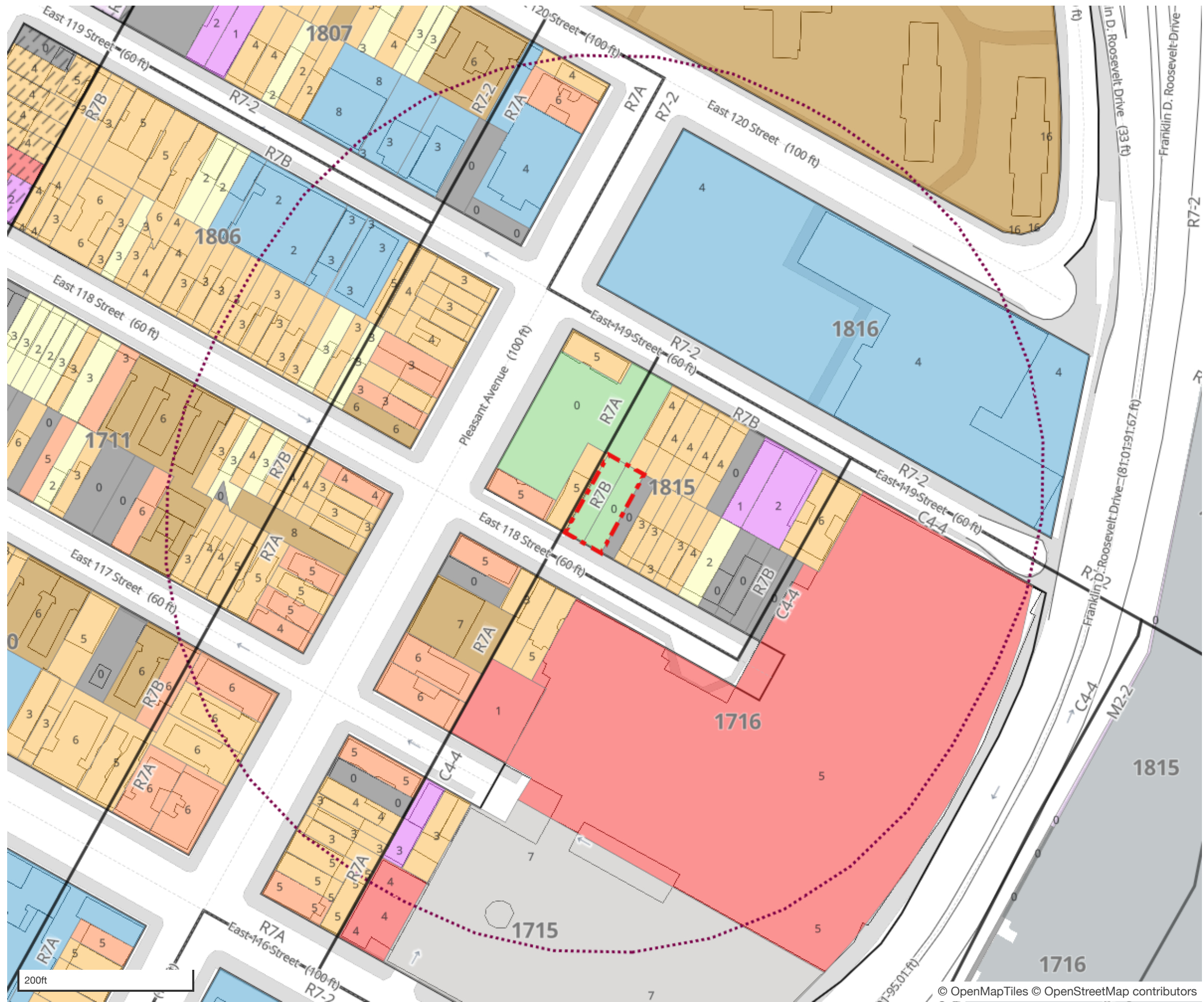
- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li><span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Zoning District</li> <li>C1-1</li> <li>C1-2</li> <li>C1-3</li> <li>C1-4</li> <li>C1-5</li> <li>C2-1</li> <li>C2-2</li> <li>C2-3</li> <li>C2-4</li> <li>C2-5</li> <li><span style="background-color: #d3d3d3; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Special Purpose District</li> </ul> | <h3>Land Use</h3> <ul style="list-style-type: none"> <li><span style="background-color: #ffffcc; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> 1-2 Family Residential</li> <li><span style="background-color: #ffcc99; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Multifamily Walkup</li> <li><span style="background-color: #cc9933; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Multifamily Elevator</li> <li><span style="background-color: #ff9966; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Mixed Commercial/Residential</li> <li><span style="background-color: #ff3333; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Commercial &amp; Office</li> <li><span style="background-color: #ff66ff; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Industrial &amp; Mfg</li> <li><span style="background-color: #ccccff; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Transportation &amp; Utility</li> <li><span style="background-color: #66b3ff; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Public Facilities &amp; Institutions</li> <li><span style="background-color: #99ff99; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Open Space &amp; Outdoor Recreation</li> <li><span style="background-color: #cccccc; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Parking</li> <li><span style="background-color: #666666; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Vacant/No Data</li> <li><span style="background-color: #e0e0e0; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> Other</li> </ul> |
|--|--|

## Transportation

- Subway Stop
- Subway Entrance

Map Created: Apr 30, 2020, 12:51am

Data Sources: [layers-api.planninglabs.nyc/v1/sources](https://layers-api.planninglabs.nyc/v1/sources)  
 pluto MapPLUTO™ 20v3, Bytes of the Big Apple (April 2020); zoning-districts (March 2020); digital-citymap (6 April 2018); planimetrics (26 February 2019); transportation (21 November 2017); supporting-zoning (Dec 2019)



200ft

© OpenMapTiles © OpenStreetMap contributors

<https://applicantmaps.planning.nyc.gov/projects/nOOv2TCBVSeToTT1nw+L/edit/map/edit>



NYC Digital Tax Map

Effective Date : 01-11-2016 16:08:32

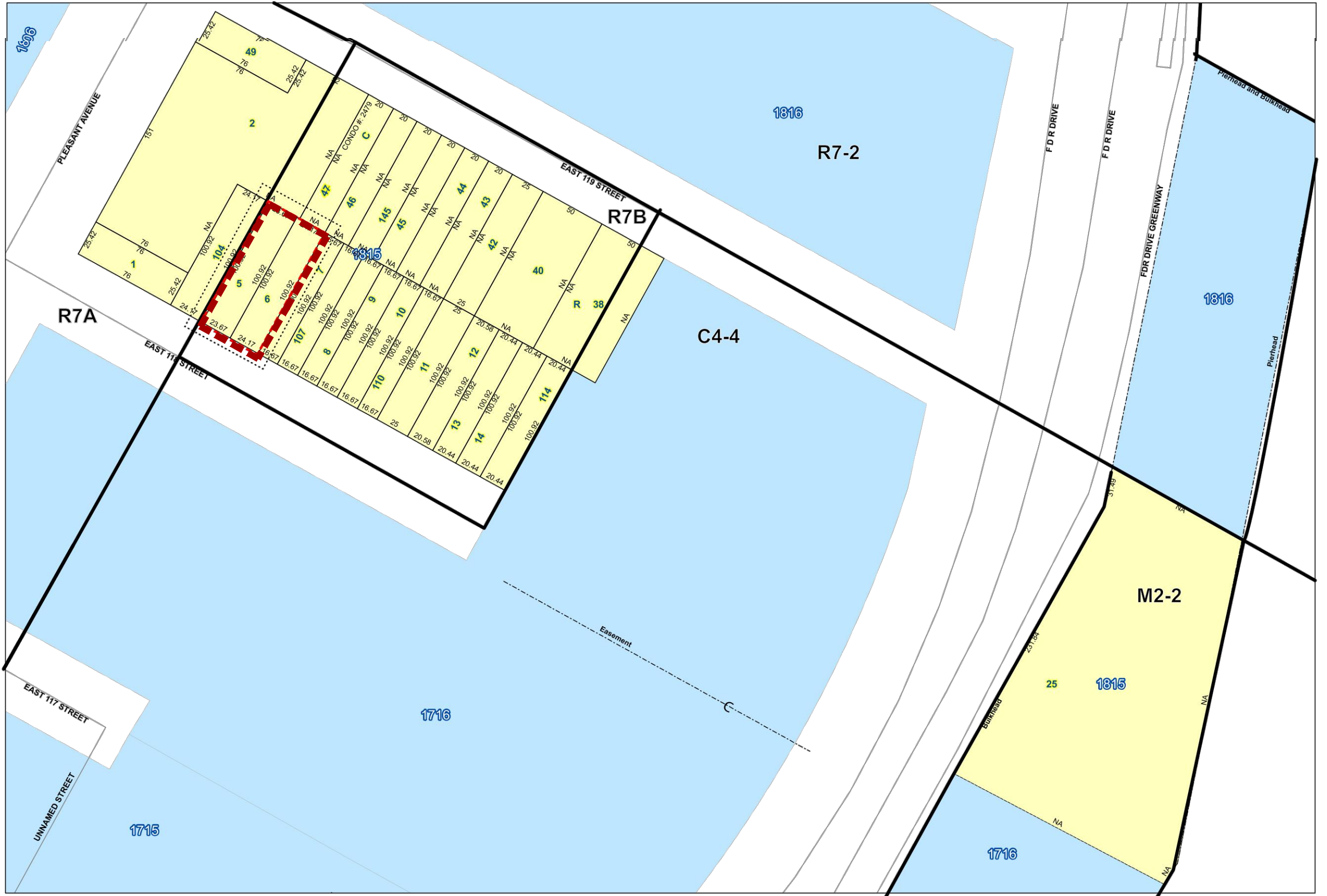
End Date : Current

Manhattan Block: 1815

# Development Site C 505 East 118th Street

- Legend**
- Streets
  - Miscellaneous Text
  - Possession Hooks
  - Boundary Lines
  - Lot Face Possession Hooks
  - Regular
  - Underwater
  - Tax Lot Polygon
  - Condo Number
  - Tax Block Polygon

- Development Site
- Development area
- Zoning boundary





1. Looking northeast from sidewalk of E. 118<sup>th</sup> St. toward Development Site.



2. Looking north from sidewalk E. 118<sup>th</sup> St. toward Development Site.

**Development Site C  
505 East 118<sup>th</sup> St.**

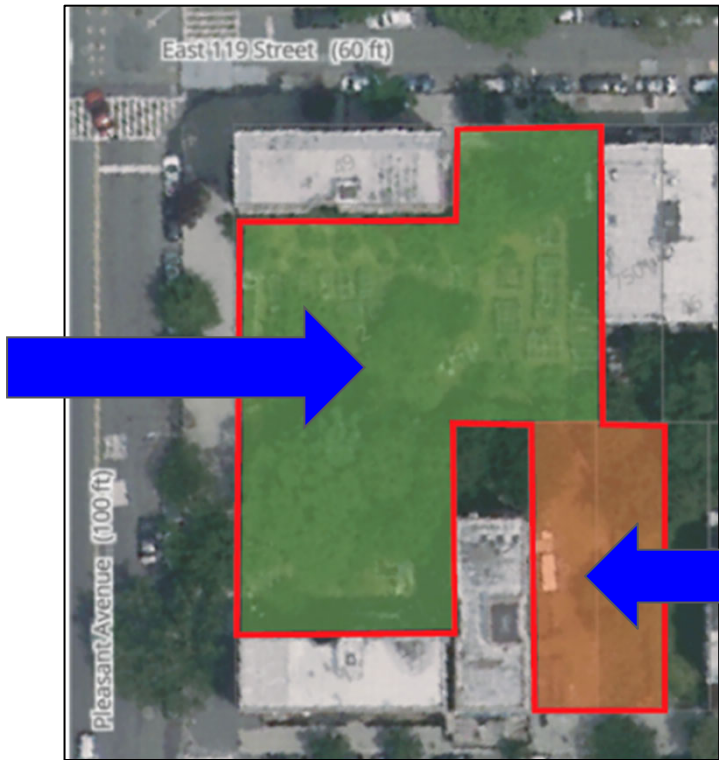


3. Looking northwest from sidewalk of E. 117<sup>th</sup> St. toward Development Site.



# Development Site C - 505 E118th Street

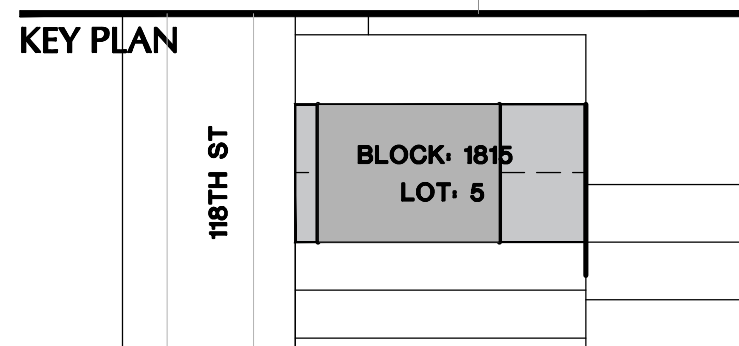
**Pleasant Village  
Community Garden  
site to remain  
shaded green**



**Development Site C  
505 East 118<sup>th</sup> Street  
shaded orange**

OWNER	MDG NY
DESIGN ARCHITECT	GF55 Partners, LLP
MECHANICAL ENGINEER	Dagher Engineering
STRUCTURAL ENGINEER	De Nardis Engineering, LLC
ISSUE	HPD BLDG DESIGN CONSULTATION

HPD BLDG DESIGN CONSULTATION 2/13/20



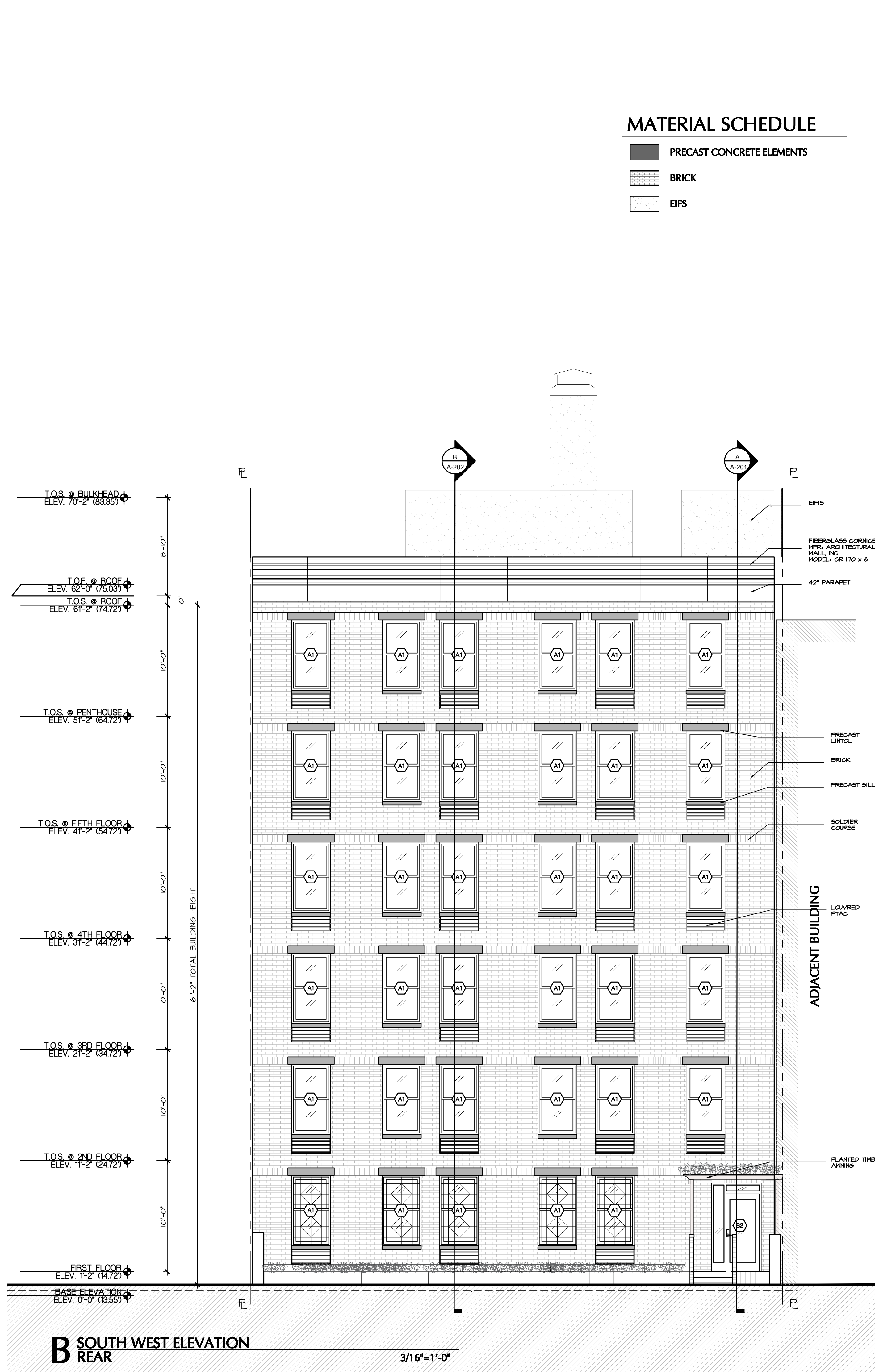
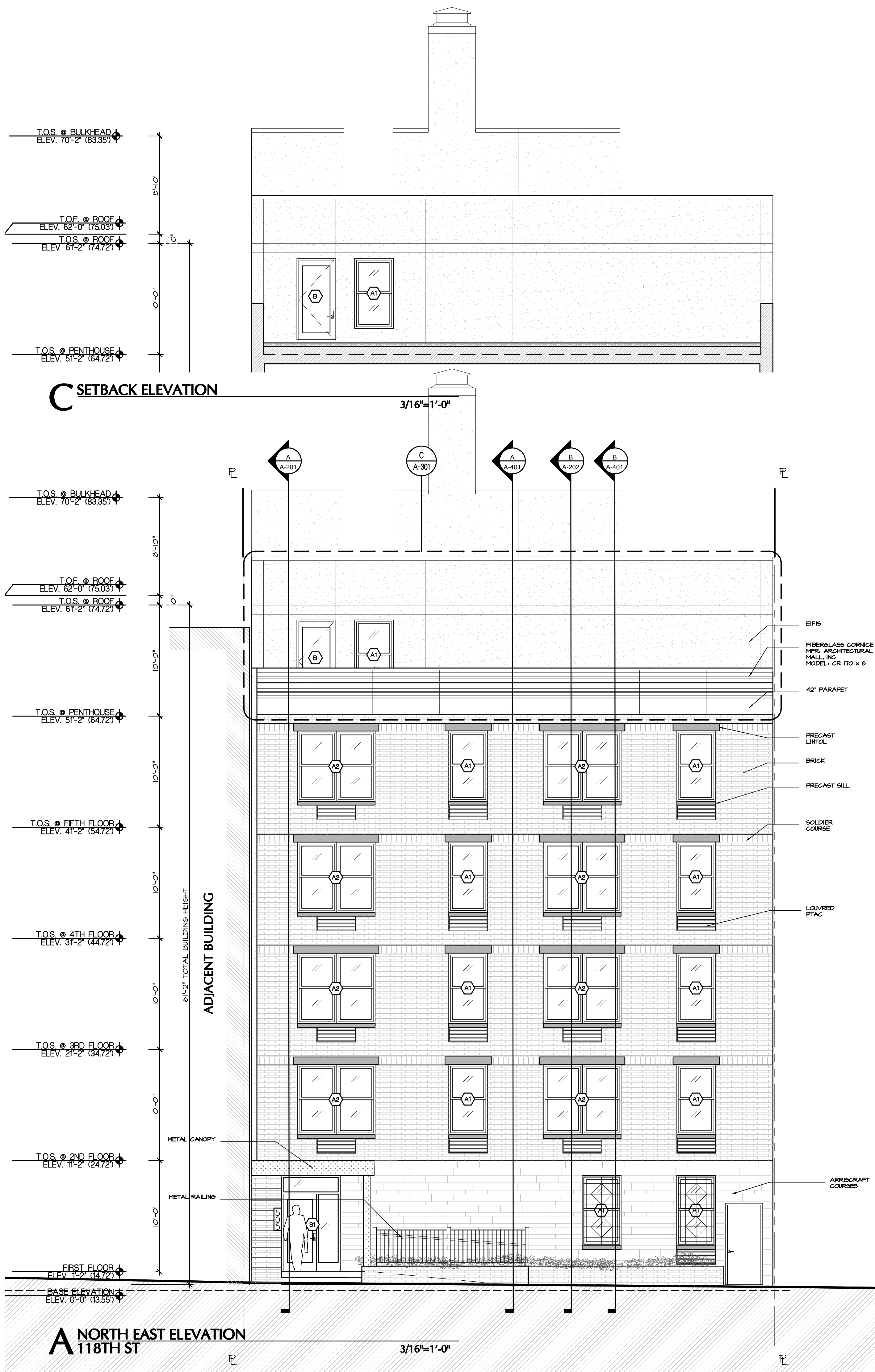
SCALE

DRAWING  
ELEVATIONS

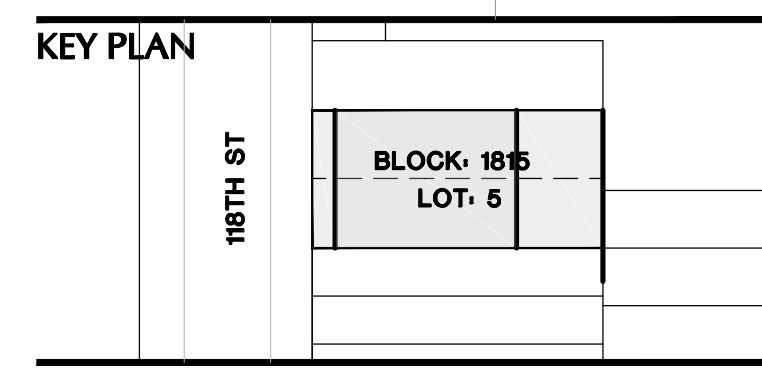
DATE	7/27/2020
PROJECT NO.	1816.00
DRAWING BY:	DM
CHK BY:	MF
DWG NO.	
<b>A-301.00</b>	
SHEET NO.:	28

## MATERIAL SCHEDULE

- PRECAST CONCRETE ELEMENTS
- BRICK
- EIFS





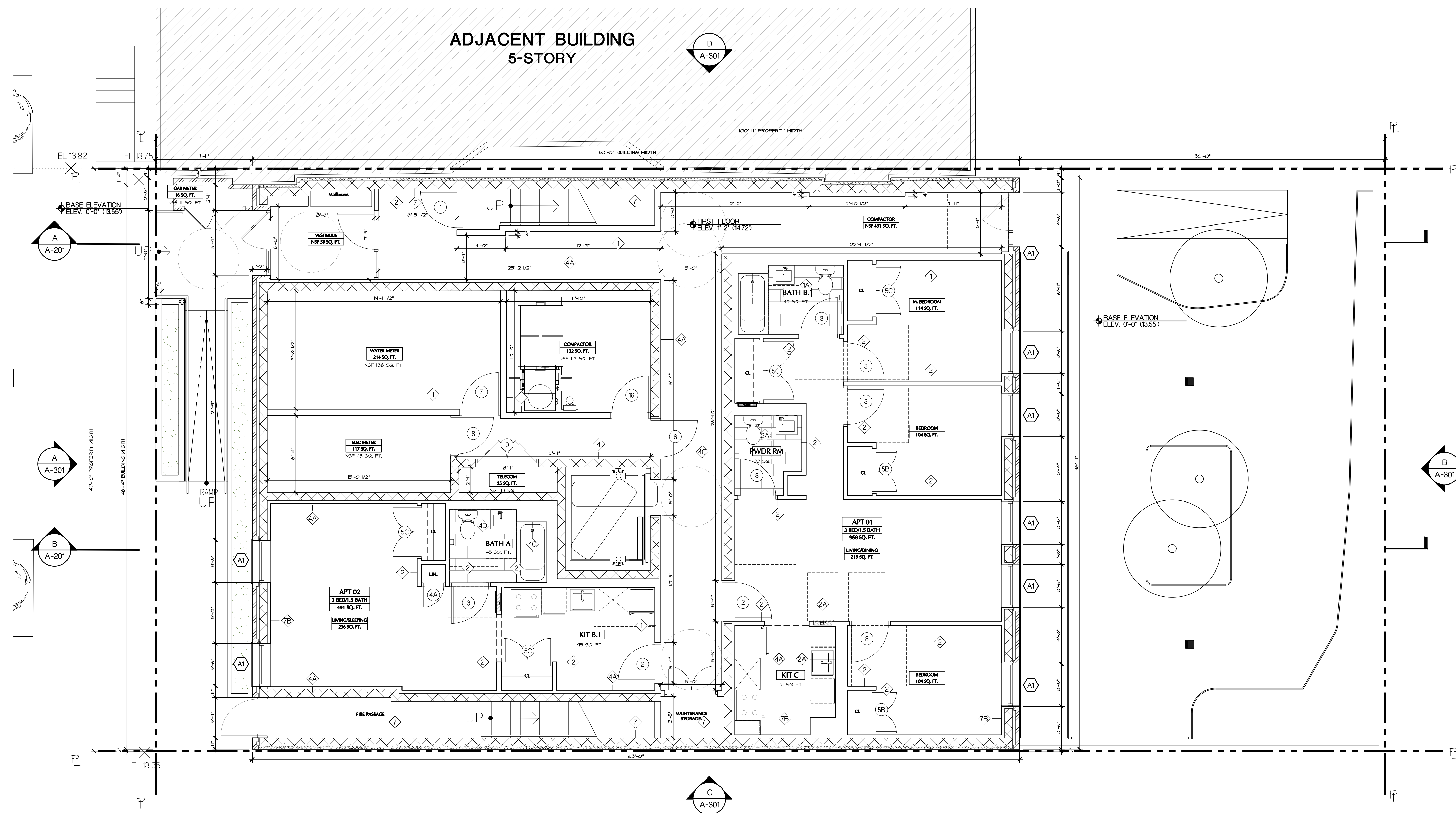


SCALE

DRAWING  
1ST FLOOR PLAN

SEAL AND SIGNATURE  
DATE: 7/27/2020  
PROJECT NO: 1816.00  
DRAWING BY: DM  
CHK BY: LF  
DWG NO:  
A-101.00  
SHEET NO: 13

## ADJACENT BUILDING 5-STORY



1st FLOOR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
TRASH ROOM	132.0	300	1
ELEC. ROOM	117.0	300	1
WATER METER ROOM	214.0	300	1
TELECOM	35.0	300	1
RESIDENTIAL	968.0	200	5
TOTAL			9

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
STAIRS 0.3" / OCCUPANT			
REQUIRED	32 X 0.3"	2.7"	
PROVIDED	2 @ 36"	72"	
COMPLIES			
DOORS 0.2" / OCCUPANT			
REQUIRED	32 X 0.2"	1.8"	
PROVIDED	2 DOORS @ 36"	72"	
COMPLIES			

- CONSTRUCTION NOTES**
- ALL DIMENSIONS FINISH TO FINISH
  - REFER TO STAIR DETAIL DRAWINGS FOR STAIR DIMENSIONS AND DETAILS
  - BUILDING TO BE IN FULL COMPLIANCE WITH NYC ENERGY CODE / ASHRAE
  - FOR KITCHEN AND BATHROOM DETAILS AND DIMENSIONS SEE DETAIL DRAWINGS
  - FIRESTOP AND FIRESEAL ALL PENETRATIONS THROUGH RATED WALLS AND RATED FLOORS/LABS
  - ALL CORRIDOR HALLS TO BE MIN. 2HR RATED
  - GAS RISERS IN EXISTING WALLS TO BE SEPARATED BY A 2 HR RATED INDEPENDENT ENCLOSURE. GAS RISERS MAY NOT BE LOCATED IN CONCEALED SPACES WITHIN RATED WALLS BETWEEN APARTMENTS AND APARTMENTS AND CORRIDORS
  - MAINTAIN DESIGN GAPS AS PER STRUCTURAL DRAWINGS

**LEGEND**

**WALL ASSEMBLY**

- CONCRETE WALL
- 8" CMU
- 4" BRICK
- 3" EPS

**ROOM SPACE TAGS**

APT #  
BATH NAME  
AREA

**PLAN TAGS**

- WINDOW TYPE
- DOOR #
- PARTITION TYPE
- SECTION
- ELEVATION
- DETAIL REF.

# Development Site D 1761 Park Avenue Area Map



## Project

- Project Area
- Development Site
- Rezoning Area
- 600 Foot Radius

## Zoning

- Zoning District
- C1-1
- C1-2
- C1-3
- C1-4
- C1-5
- C2-1
- C2-2
- C2-3
- C2-4
- C2-5
- Special Purpose District

## Land Use

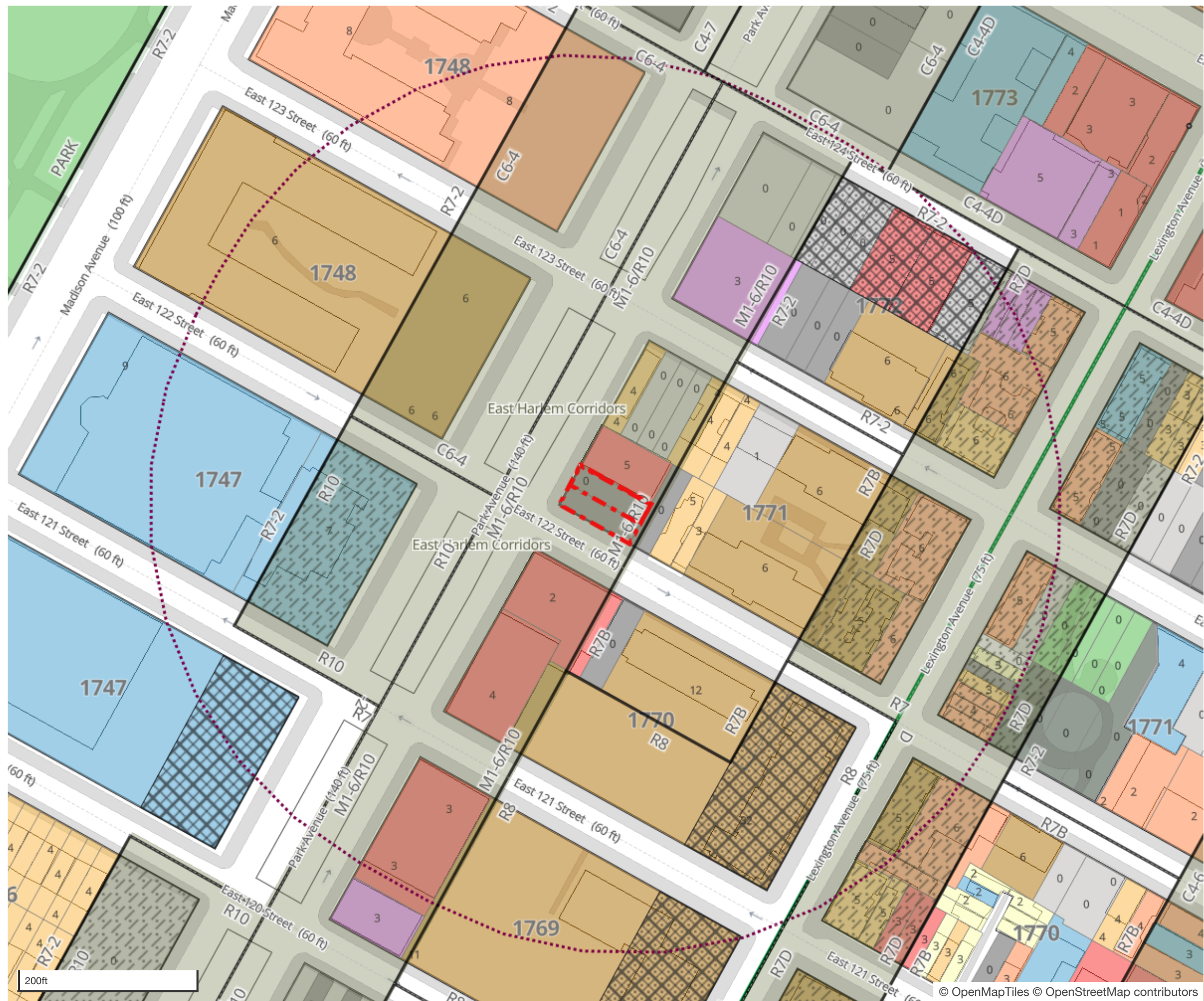
- 1-2 Family Residential
- Multifamily Walkup
- Multifamily Elevator
- Mixed Commercial/Residential
- Commercial & Office
- Industrial & Mfg
- Transportation & Utility
- Public Facilities & Institutions
- Open Space & Outdoor Recreation
- Parking
- Vacant/No Data
- Other

## Transportation

- Subway Stop
- Subway Entrance

Map Created: Apr 30, 2020, 12:40am

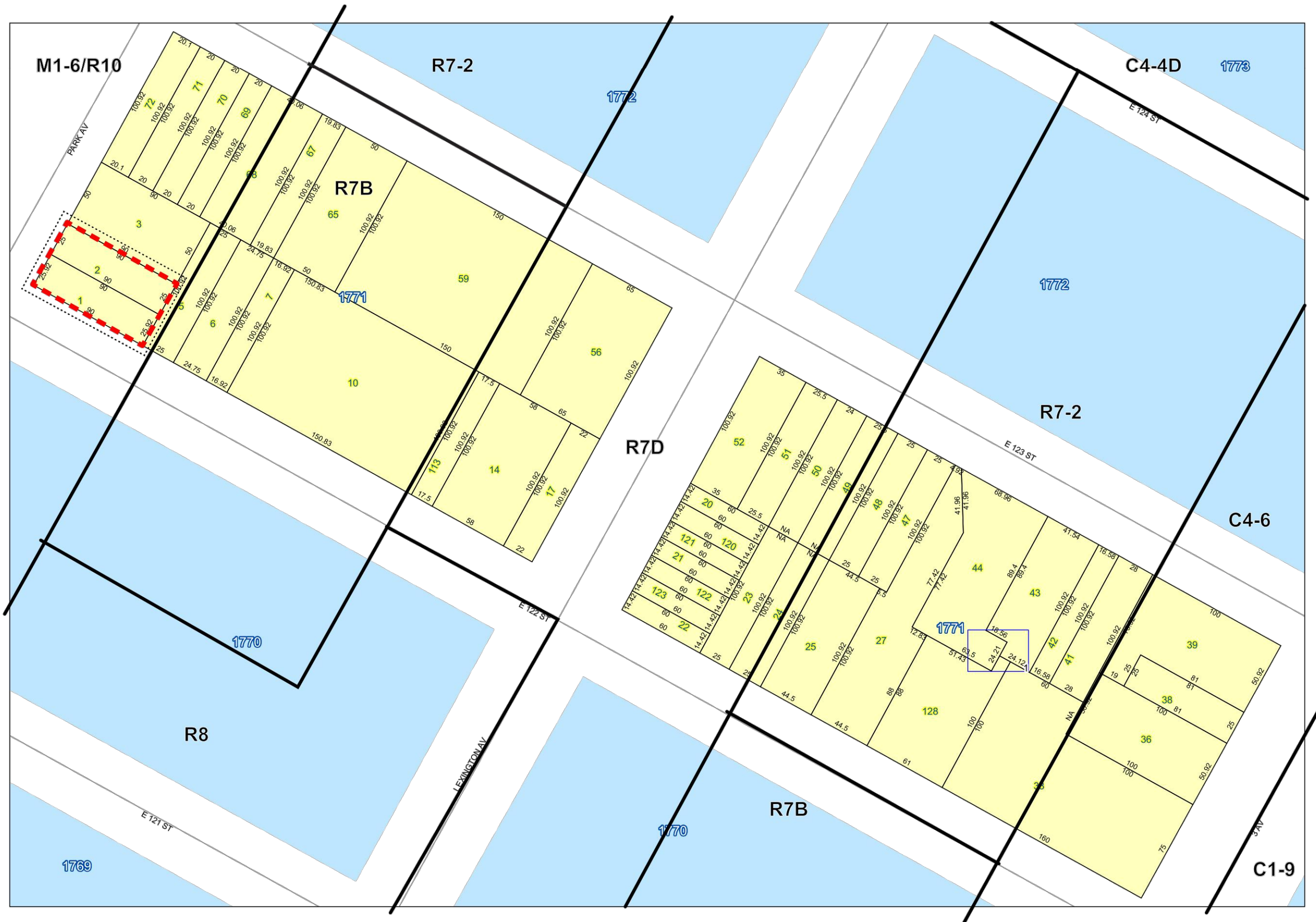
Data Sources: [layers-api.planninglabs.nyc/v1/sources](https://layers-api.planninglabs.nyc/v1/sources)  
 planimetrics (26 February 2019); transportation (21 November 2017);  
 supporting-zoning (Dec 2019); digital-citymap (6 April 2018); pluto  
 MapPLUTO™ 20v3, Bytes of the Big Apple (April 2020)



# Development Site D 1761 Park Avenue

### Legend

- Streets
- Miscellaneous Text
- C Possession Hooks
- - - Boundary Lines
- C Lot Face Possession Hooks
- Regular
- Underwater
- Yellow Tax Lot Polygon
- Blue Condo Number
- Blue Tax Block Polygon
- Red dashed box Development Site
- Black dashed box Development area
- Thick black line Zoning boundary





1. Looking northeast from the corner of E. 118<sup>th</sup> St. and Park Ave toward Development Site.

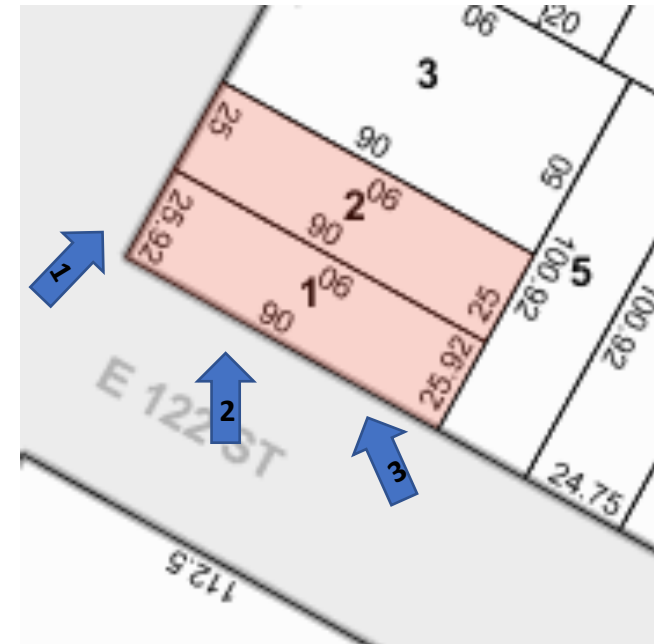


2. Looking north from sidewalk E. 122<sup>nd</sup> St. toward Development Site.

**Development Site D  
1761 Park Avenue**



3. Looking northwest from sidewalk of E. 122<sup>nd</sup> St. toward Development Site.



# Development Site D – 1761 Park Avenue

**Development Site D  
1761 Park Avenue  
shaded orange**



**Jackie Robinson  
Community Garden  
site to remain  
shaded green**

**Las Raices**  
 1761-1763 Park Ave,  
 New York, NY 10035  
 Block 1771 | Lot 1&2

PROJECT # 1816.00

OWNER  
 MDG NY

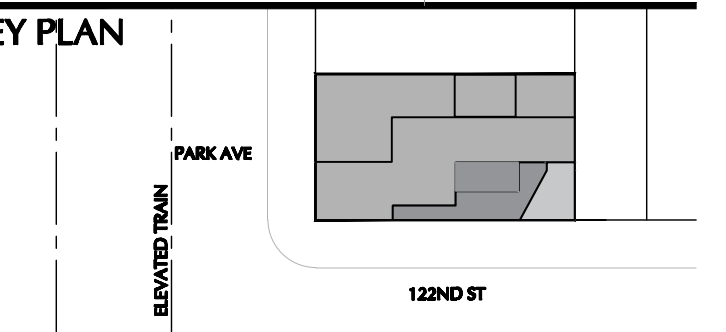
DESIGN ARCHITECT  
 GF55 Partners, LLP

MECHANICAL ENGINEER  
 Dagher Engineering

STRUCTURAL ENGINEER  
 De Nardis Engineering, LLC

ISSUE  
 DESIGN DEVELOPMENT

CONSTRUCTABILITY SET	8/28/2020



SCALE

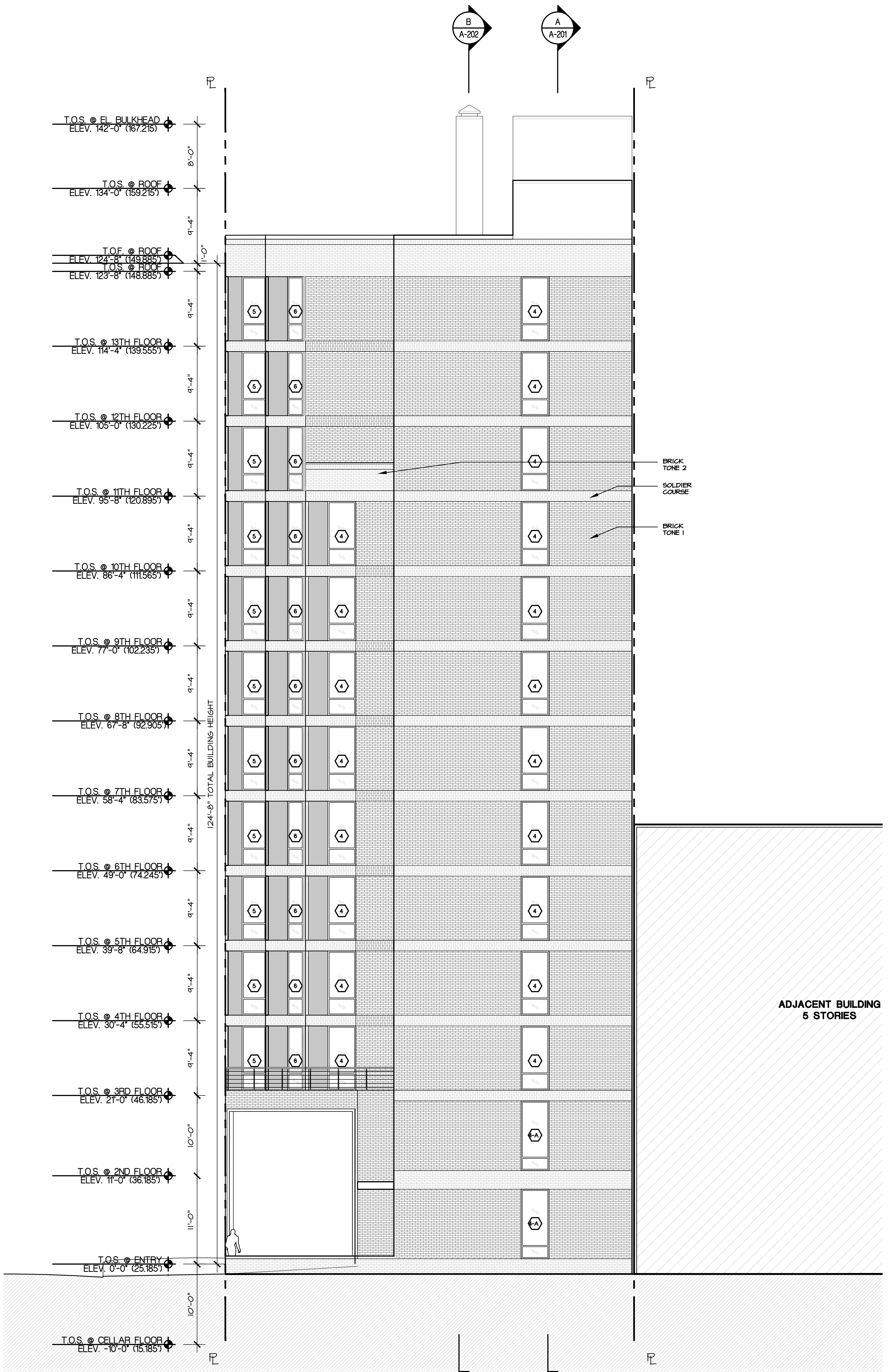
DRAWING  
 ELEVATIONS

SEAL AND SIGNATURE

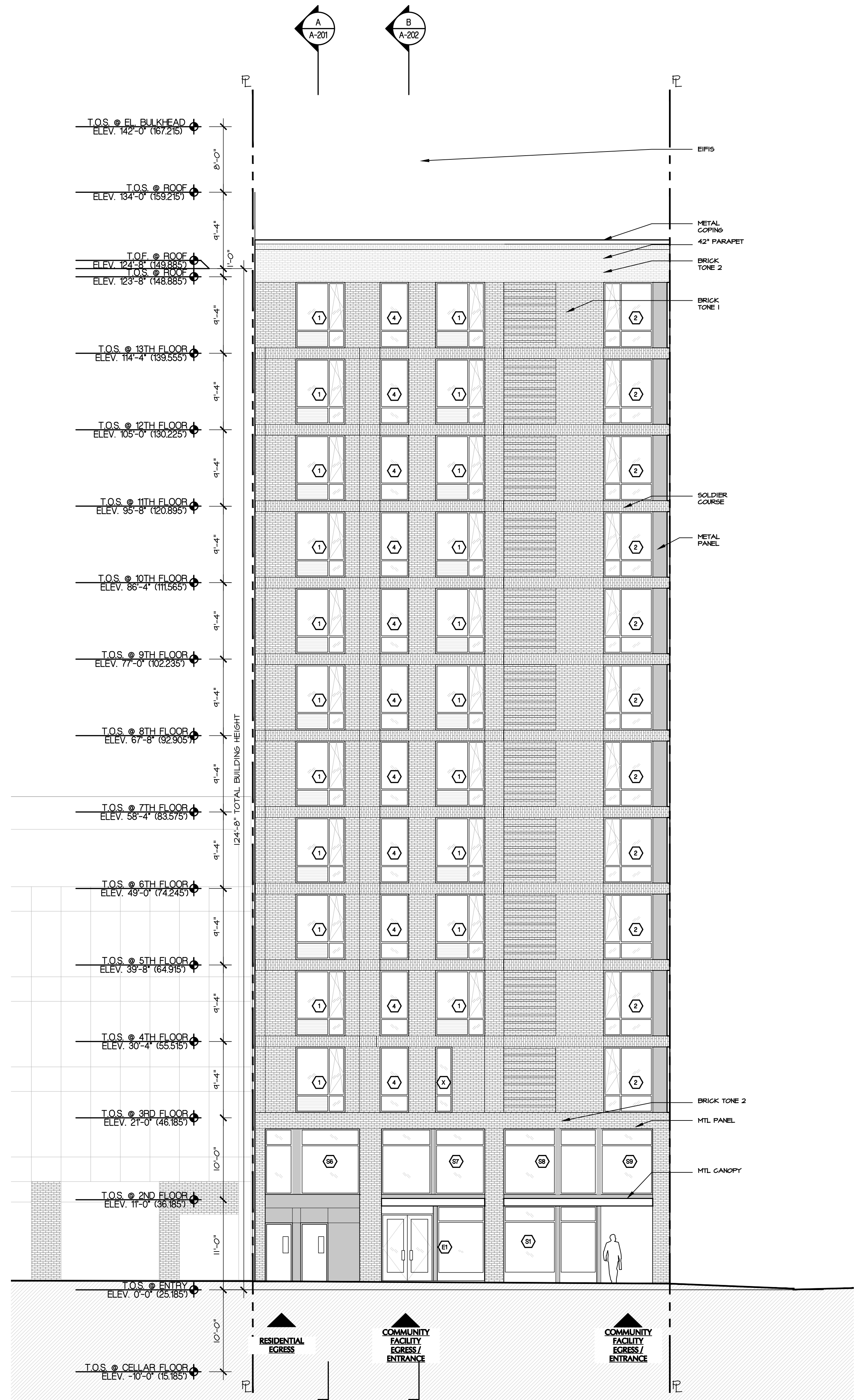
DATE: 8/28/2020  
 PROJECT NO.: 1816.00  
 DRAWING BY: DM  
 CHK BY: JH  
 DWG NO:

**A-302.00**

SHEET NO.: ### 37



**A WEST ELEVATION**  
 FROM JACKIE ROBINSON GARDEN  
 1/8"=1'-0"



**B EAST ELEVATION**  
 2ND AVE  
 1/8"=1'-0"

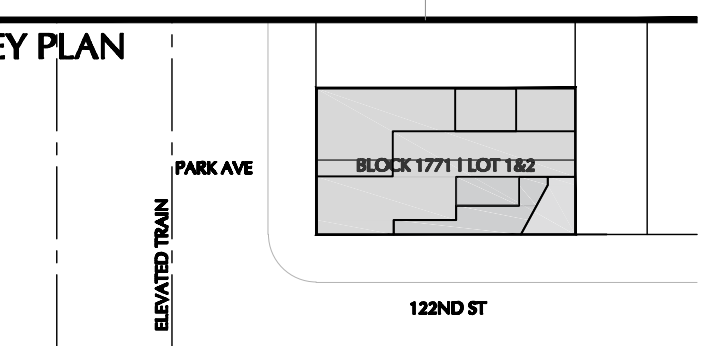
**Las Raices**  
 1761-1763 Park Ave,  
 New York, NY 10035  
 Block 1771 | Lot 1&2

PROJECT # 1816.00

OWNER  
 MDG NY  
 DESIGN ARCHITECT  
 GF55 Partners, LLP  
 MECHANICAL ENGINEER  
 Dagher Engineering  
 STRUCTURAL ENGINEER  
 De Nardis Engineering, LLC

ISSUE  
 DESIGN DEVELOPMENT

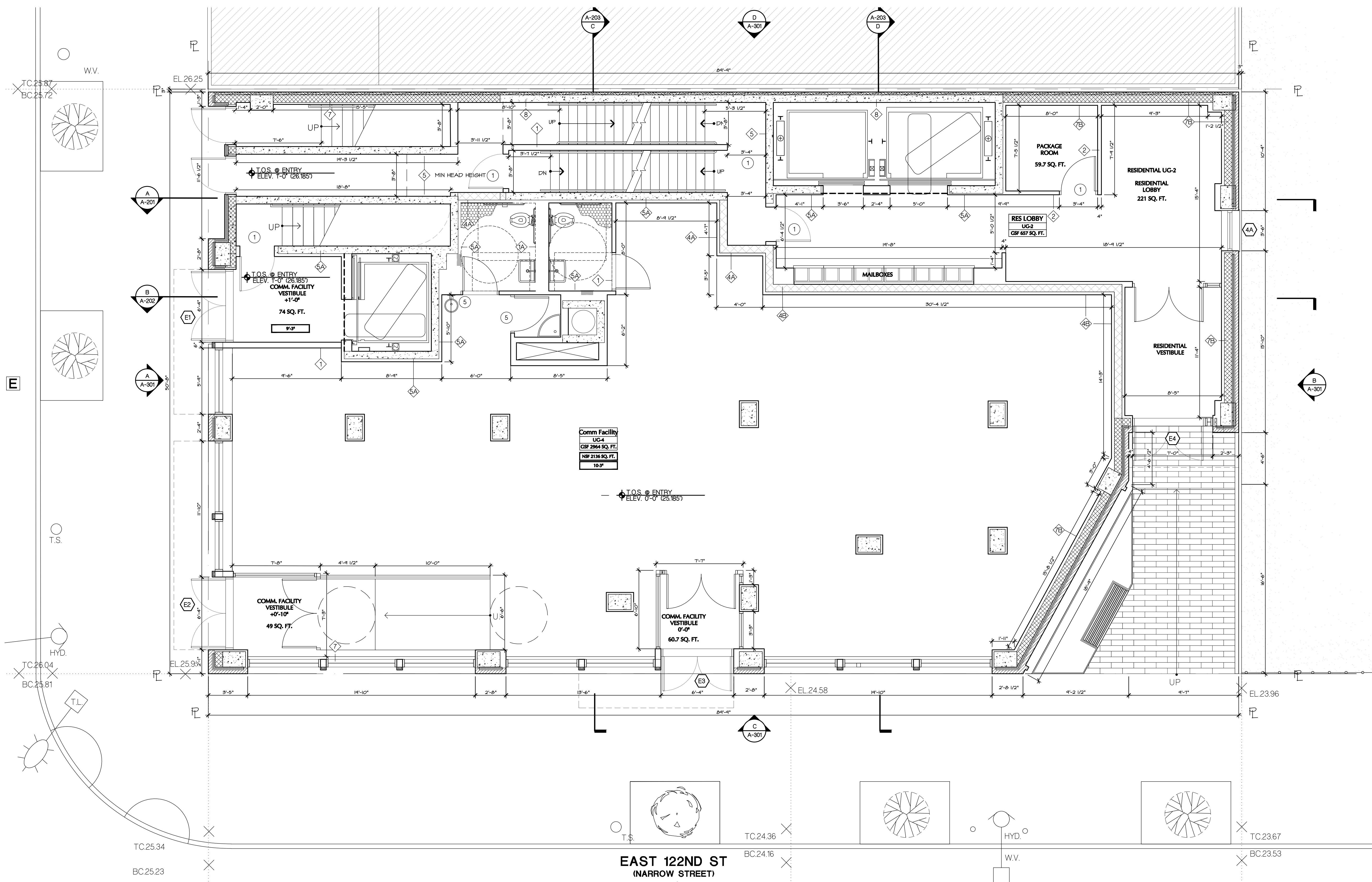
CONSTRUCTABILITY SET 1/9/2021



SCALE

DRAWING  
 1ST FLOOR

SEAL AND SIGNATURE DATE: 8/28/2020  
 PROJECT NO: 1816.00  
 DRAWING BY: DM  
 CHK BY: LF  
 DWG NO:  
**A-102.00**  
 SHEET NO: ### 15



1ST FLOOR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.1			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
C.F. BUSINESS	3043.0	100	30
TOTAL			30

EXIT & ACCESS REQUIREMENTS AS PER TABLE 1005.1			
<b>STAIRS</b>			
REQUIRED	0.3' / OCCUPANT	9.1"	
PROVIDED	2 @ 44"	88"	COMPLIES
<b>DOORS</b>			
REQUIRED	0.2' / OCCUPANT	6.1"	
PROVIDED	30 X 0.2"	108"	COMPLIES

OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.1			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
LOBBY & VEST.	655.0	200	3

EXIT & ACCESS REQUIREMENTS AS PER TABLE 1005.1			
<b>STAIRS</b>			
N/A			
<b>DOORS</b>			
REQUIRED	0.2' / OCCUPANT	0.7"	
PROVIDED	3 DOORS @ 36"	180"	COMPLIES

- CONSTRUCTION NOTES**
- ALL DIMENSIONS FINISH TO FINISH
  - REFER TO STAIR DETAIL DRAWINGS FOR STAIR DIMENSIONS AND DETAILS
  - BUILDING TO BE IN FULL COMPLIANCE WITH NYC ENERGY CODE / ASHRAE
  - FOR KITCHEN AND BATHROOM DETAILS AND DIMENSIONS SEE DETAIL DRAWINGS
  - FIRESTOP AND FIRESEAL. ALL PENETRATIONS THROUGH RATED WALLS AND RATED FLOORS/SLABS
  - ALL CORRIDOR WALLS TO BE MIN. 2HR RATED
  - ALL RISERS IN ENHANCED HALLS TO BE SEPARATED BY A 2 HR RATED REPARTMENT END DOOR. ENHANCED HALLS TO BE SEPARATED BY 2 HR RATED WALLS BETWEEN APARTMENTS AND APARTMENTS AND APARTMENTS AND CORRIDORS
  - MAINTAIN SEISMIC GAPS AS PER STRUCTURAL DRAWINGS

**LEGEND**

	<b>WALL ASSEMBLY</b>		<b>ROOM/SPACE TAG</b>
	CONCRETE WALL		WINDOW TYPE
	8" CMU		DOOR #
	4" BRCK		PARTITION TYPE
	3" EPS		SECTION
			ELEVATION
			DETAIL REF.

**A 1ST FLOOR**

3/16" = 1'-0"