



# THE CITY RECORD

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## THE CITY RECORD

**BILL DE BLASIO**

Mayor

**LISETTE CAMILO**

Commissioner, Department of Citywide Administrative Services

**JANAE C. FERREIRA**

Editor, The City Record

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## PUBLIC HEARINGS AND MEETINGS

See Also: *Procurement; Agency Rules*

### BOARD MEETINGS

#### MEETING

#### City Planning Commission

Meets in Spector Hall, 22 Reade Street, New York, NY 10007, twice monthly on Wednesday, at 10:00 A.M., unless otherwise ordered by the Commission.

#### City Council

Meets by Charter twice a month in Councilman's Chamber, City Hall,



Manhattan, NY 10007, at 1:30 P.M.

#### Contract Awards Public Hearing

Meets in Spector Hall, 22 Reade Street, Main Floor, Manhattan, weekly, on Thursday, commencing 10:00 A.M., and other days, times and location as warranted.

#### Civilian Complaint Review Board

Generally meets at 10:00 A.M. on the second Wednesday of each month at 40 Rector Street, 2nd Floor, New York, NY 10006. Visit <http://www.nyc.gov/html/ccrb/html/meeting.html> for additional information and scheduling changes.

#### Design Commission

Meets at City Hall, Third Floor, New York, NY 10007. For meeting schedule, please visit [nyc.gov/designcommission](http://nyc.gov/designcommission) or call (212) 788-3071.

#### Department of Education

Meets in the Hall of the Board for a monthly business meeting on the Third Wednesday, of each month at 6:00 P.M. The Annual Meeting is held on the first Tuesday of July at 10:00 A.M.

#### Board of Elections

32 Broadway, 7th Floor, New York, NY 10004, on Tuesday, at 1:30 P.M. and at the call of the Commissioner.

#### Environmental Control Board

Meets at 100 Church Street, 12th Floor, Training Room #143, New York, NY 10007 at 9:15 A.M. once a month at the call of the Chairman.

#### Board of Health

Meets at Gotham Center, 42-09 28th Street, Long Island City, NY 11101, at 10:00 A.M., quarterly or at the call of the Chairman.

#### Health Insurance Board

Meets in Room 530, Municipal Building, Manhattan, NY 10007, at the call of the Chairman.

#### Board of Higher Education

Meets at 535 East 80th Street, Manhattan, NY 10021, at 5:30 P.M., on fourth Monday in January, February, March, April, June, September, October, November and December. Annual meeting held on fourth Monday in May.

#### Citywide Administrative Services

Division of Citywide Personnel Services will hold hearings as needed in Room 2203, 2 Washington Street, New York, NY 10004.

**Commission on Human Rights**

Meets on 10th Floor in the Commission's Central Office, 40 Rector Street, New York, NY 10006, on the fourth Wednesday of each month, at 8:00 A.M.

**In Rem Foreclosure Release Board**

Meets in Spector Hall, 22 Reade Street, Main Floor, Manhattan, Monthly on Tuesdays, commencing 10:00 A.M., and other days, times and location as warranted.

**Franchise and Concession Review Committee**

Meets in Spector Hall, 22 Reade Street, Main Floor, and other days, times and location as warranted.

**Real Property Acquisition and Disposition**

Meets in Spector Hall, 22 Reade Street, Main Floor, Manhattan, bi-weekly, on Wednesdays, commencing 10:00 A.M., and other days, times and location as warranted.

**Landmarks Preservation Commission**

Meets in the Hearing Room, Municipal Building, 9th Floor North, 1 Centre Street in Manhattan on approximately three Tuesday's each month, commencing at 9:30 A.M. unless otherwise noticed by the Commission. For current meeting dates, times and agendas, please visit our website at [www.nyc.gov/landmarks](http://www.nyc.gov/landmarks).

**Employees' Retirement System**

Meets in the Boardroom, 22nd Floor, 335 Adams Street, Brooklyn, NY 11201, at 9:30 A.M., on the third Thursday of each month, at the call of the Chairman.

**Housing Authority**

Board Meetings of the New York City Housing Authority are scheduled for the last Wednesday of each month (except August) at 10:00 A.M. in the Board Room on the 12th Floor of 250 Broadway, New York, NY 10007 (unless otherwise noted). Any changes to the schedule will be posted here and on NYCHA's website at [http://www.nyc.gov/html/nycha/html/about/boardmeeting\\_schedule.shtml](http://www.nyc.gov/html/nycha/html/about/boardmeeting_schedule.shtml) to the extent practicable at a reasonable time before the meeting. For additional information, please visit NYCHA's website or contact (212) 306-6088.

**Parole Commission**

Meets at its office, 100 Centre Street, Manhattan, NY 10013, on Thursday, at 10:30 A.M.

**Board of Revision of Awards**

Meets in Room 603, Municipal Building, Manhattan, NY 10007, at the call of the Chairman.

**Board of Standards and Appeals**

Meets at 22 Reade Street, 1st Floor, in Manhattan on Mondays and Tuesdays at 10:00 A.M. Review sessions are customarily held immediately before the public hearing. For changes in the schedule or additional information, please call the Board's office at (212) 386-0009 or consult the Board's website at [www.nyc.gov/bsa](http://www.nyc.gov/bsa).

**Tax Commission**

Meets in Room 936, Municipal Building, Manhattan, NY 10007, each month at the call of the President. Manhattan, monthly on Wednesdays, commencing 2:30 P.M.

**BOROUGH PRESIDENT - BROOKLYN**

**■ PUBLIC HEARINGS**

**NOTICE IS HEREBY GIVEN** that, pursuant to Section 201 of the New York City Charter, the Brooklyn Borough President will hold a blended ULURP public hearing on the following matters, commencing at **6:00 P.M., on Monday, July 26, 2021, in the Courtroom of Brooklyn Borough Hall**. Attendees who wish to join and testify remotely may do so via Webex:

**Event Address:**

<https://nycbp.webex.com/nycbp/onstage/g.php?MTID=e31aad4e2088d51f2c62d3e1ded677295>

**Event Number:** 173 807 3341

**Event Password:** ulurp

Those wishing to call in without video may do so using the following information:

**Audio Conference:** +1-408-418-9388

**Access Code:** 173 807 3341

This hearing will be recorded for public transparency and made available on Borough President Adams' YouTube channel, One Brooklyn.

*Note: For further information on accessibility or to make a request for accommodations, such as sign language interpretation services, please contact Nathan Sherfinski via email, at [nathan.sherfinski@brooklynbp.nyc.gov](mailto:nathan.sherfinski@brooklynbp.nyc.gov), or via phone at (718) 802-3857, at least five (5) business days in advance to ensure availability.*

**1) Cooper Park Commons (210480 ZMK, 210481 ZSK, 210482 ZRK, 210483 HAK, 210484 PPK)**

An application submitted by the New York City Department of Housing Preservation and Development (HPD) and Maspeth Manager, LLC for land use actions to redevelop the former Greenpoint Hospital campus occupying an entire block bounded by Jackson Street, and Debevoise, Kingsland, and Maspeth avenues in Brooklyn Community District 1 (CD 1).

1. A zoning map amendment to change the project area from R6 to R7-2 and R7-2/C2-4 districts
2. A zoning text amendment to create a Mandatory Inclusionary Housing (MIH) area coterminous with the project area
3. A special permit to establish a Large-Scale General Development (LSGD) to modify regulations governing distance between buildings, height, and setbacks on the site
4. Urban Development Action Area (UDAA) designation, Urban Development Action Area Project (UDAAP) designation, and disposition of Lot 1, comprising 146,105 sq. ft.
5. Approval to modify a specified community facility use for the disposition of Lot 10, to permit and continue general community facility uses

The requested actions would facilitate a phased, mixed-use complex involving the construction of two new 14- and 18-story buildings, the enlargement of two existing ones, and the replacement of a 200-bed homeless shelter. The resulting development would yield 553 units of affordable and senior housing augmented by community facility uses and light retail. The project would establish connections among four privately-owned residences on the site and ensure the continued operation of the Greenpoint Renaissance Center.

**2) 824 Metropolitan Avenue (200314 ZMK, 200315 ZRK)**

An application by 824 Metropolitan Avenue Owner, LLC, pursuant to sections 197-c and 201 of the New York City Charter for land use actions affecting an 18,835 square foot (sq. ft.) property near the intersection of Bushwick and Metropolitan avenues. The proposed zoning map amendment would change portions of the project area from C8-2 and R6B districts to R6B/C2-4, R7A and R7A/C2-4. The proposed zoning text amendment would designate an MIH area coterminous with the project area. The requested actions are intended to facilitate an eight-story, 34,000 sq. ft. development with 36 dwelling units, and 7,000 sq. ft. of commercial uses in Brooklyn CD 1. Approximately 11 units would be affordable to households earning an average 80 percent of Area Median Income (AMI), pursuant to MIH Option 2.

Accessibility questions: Nathan Sherfinski, (718) 802-3857, [nathan.sherfinski@brooklynbp.nyc.gov](mailto:nathan.sherfinski@brooklynbp.nyc.gov), by: Tuesday, July 20, 2021, 5:00 P.M.



jl16-26

**CITY PLANNING COMMISSION**

**■ PUBLIC HEARINGS**

In light of the Governor's announcement on June 24, 2021 of the end of the State-declared state of emergency, and in support of the City's continued efforts to contain the spread of COVID-19, the City Planning Commission will hold a public hearing accessible both in person and remotely.

The public hearing will be held on Wednesday, July 28, 2021, starting at 10:00 A.M. Eastern Daylight Time. The public hearing will be held in person in the NYC City Planning Commission Hearing Room, Lower Concourse, 120 Broadway, New York, NY. Masks are required to be worn to enter the building and during the hearing.

The meeting will be live streamed through Department of City Planning's (DCP's) website and accessible from the following webpage, which contains specific instructions on how to observe and participate remotely via the teleconferencing application Zoom, as well as materials relating to the meeting: <https://www1.nyc.gov/site/nyceengage/events/city-planning-commission-public-meeting/287259/1>.

Members of the public attending remotely should observe the meeting through DCP's website. Verbal testimony can be provided remotely by joining the meeting using either Zoom or by calling the following number and entering the information listed below:

- 877 853 5247 US Toll-free
- 888 788 0099 US Toll-free
- 253 215 8782 US Toll Number
- 213 338 8477 US Toll Number

Meeting ID: **618 237 7396**  
[Press # to skip the Participation ID]  
Password: 1

Written comments will also be accepted until 11:59 P.M., one week before the date of vote. Please use the CPC Comments form that is accessible through the above webpage.

Please inform the Department of City Planning if you need a reasonable accommodation, such as a sign language interpreter, in order to participate in the meeting. The submission of testimony, verbal or written, in a language other than English, will be accepted, and real time interpretation services will be provided based on available resources. Requests for a reasonable accommodation or foreign language assistance during the meeting should be emailed to [AccessibilityInfo@planning.nyc.gov] or made by calling [212-720-3508]. Requests must be submitted at least five business days before the meeting.

**BOROUGH OF BROOKLYN**  
**Nos. 1 & 2**  
**270 NOSTRAND AVENUE REZONING**  
**No. 1**

**CD 3** **C 210151 ZMK**  
**IN THE MATTER OF** an application submitted by BRP East Brooklyn Development LLC pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 17a:

1. changing from an R7A District to an R8A District property bounded by Dekalb Avenue, Nostrand Avenue, Kosciuszko Street, and a line 240 feet westerly of Nostrand Avenue; and
2. establishing within the proposed R8A District a C2-4 District bounded by Dekalb Avenue, Nostrand Avenue, Kosciuszko Street, a line 100 feet westerly of Nostrand Avenue, a line midway between Dekalb Avenue and Kosciuszko Street, and a line 240 feet westerly of Nostrand Avenue;

as shown on a diagram (for illustrative purposes only) dated April 5, 2021, and subject to the conditions of CEQR Declaration E-606.

**No. 2**

**CD 3** **N 210152 ZRK**  
**IN THE MATTER OF** an application submitted by BRP East Brooklyn Development LLC, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;

Matter ~~struck out~~ is to be deleted;

Matter within # # is defined in Section 12-10;

\* \* \* indicates where unchanged text appears in the Zoning Resolution.

\* \* \*

**APPENDIX F**  
**Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas**

\* \* \*

**BROOKLYN**

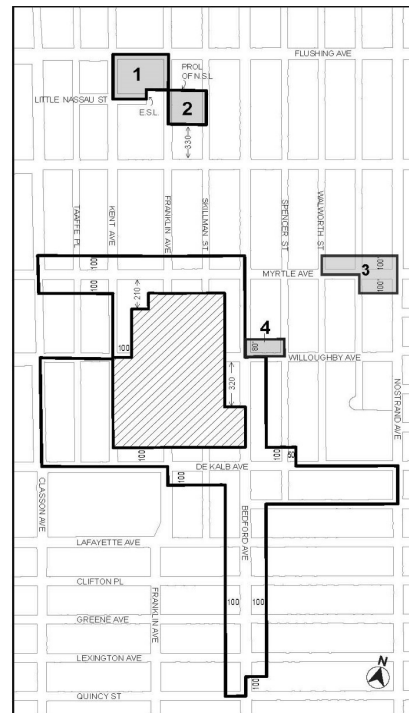
\* \* \*

**Brooklyn Community District 3**

\* \* \*

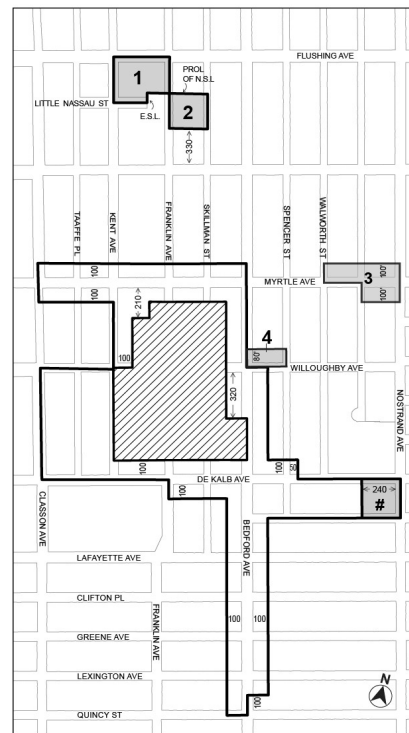
Map 3 - [date of adoption]

[EXISTING MAP]



- Inclusionary Housing designated area
- Mandatory Inclusionary Housing Program Area see Section 23-154(d)(3)
  - Area 1 – 5/10/17 MIH Program Option 1, Option 2 and Workforce Option
  - Area 2 – 5/10/17 MIH Program Option 1 and Option 2
  - Area 3 – 11/30/17 MIH Program Option 1
  - Area 4 – 2/13/19 MIH Program Option 1 and Option 2
- Excluded Area

[PROPOSED MAP]



- Inclusionary Housing designated area
- Mandatory Inclusionary Housing Program Area see Section 23-154(d)(3)
  - Area 1 – 5/10/17 MIH Program Option 1, Option 2 and Workforce Option
  - Area 2 – 5/10/17 MIH Program Option 1 and Option 2
  - Area 3 – 11/30/17 MIH Program Option 1
  - Area 4 – 2/13/19 MIH Program Option 1 and Option 2
  - Area # - [date of adoption] MIH Program Option 2 and Workforce Option
- Excluded Area

Portion of Community District 3, Brooklyn

\* \* \*

**Nos. 3 & 4  
1776 48<sup>TH</sup> STREET REZONING  
No. 3**

**CD 12** **C 200296 ZMK**  
**IN THE MATTER OF** an application submitted by Mr. Yitzchok Stern pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 22c:

1. changing from an R5 District to an R6B District property bounded by 48<sup>th</sup> Street, 18<sup>th</sup> Avenue, 49<sup>th</sup> Street and a line 100 northwesterly of 18<sup>th</sup> Avenue; and
2. establishing within the proposed R6B District a C2-4 District bounded by 48<sup>th</sup> Street, 18<sup>th</sup> Avenue, 49<sup>th</sup> Street and a line 35 feet northwesterly of 18<sup>th</sup> Avenue;

as shown on a diagram (for illustrative purposes only) dated April 5, 2021, and subject to the conditions of CEQR Declaration E-609.

**No. 4**

**CD 12** **N 200297 ZRK**  
**IN THE MATTER OF** an application submitted by Mr. Yitzchok Stern, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;  
Matter ~~struck out~~ is to be deleted;  
Matter within # # is defined in Section 12-10;  
\* \* \* indicates where unchanged text appears in the Zoning Resolution.

\* \* \*

**APPENDIX F  
Inclusionary Housing Designated Areas and Mandatory  
Inclusionary Housing Areas**

\* \* \*

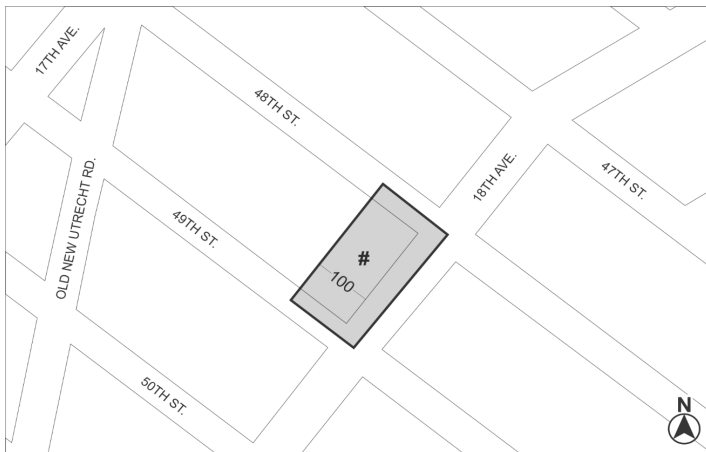
**BROOKLYN**

\* \* \*

**Brooklyn Community District 12**

\* \* \*

Map 4 – [date of adoption]



█ Mandatory Inclusionary Housing Area (see Section 23-154(d)(3))  
Area # — [date of adoption] — MIH Program Option 1 and Option 2

Portion of Community District 12, Brooklyn

\* \* \*

**Nos. 5-10  
GOWANUS NEIGHBORHOOD PLAN  
No. 5**

**CDs 2 & 6** **C 210177 ZMK**  
**IN THE MATTER OF** an application submitted by the New York City Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section Nos. 16c and 16d:

1. eliminating from within an existing R8A District a C2-4 District bounded by:
  - a. Pacific Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, President Street, a line 150 feet southeasterly of 4<sup>th</sup> Avenue, 3<sup>rd</sup> Street, 4<sup>th</sup> Avenue, Douglass Street, and a line 100 feet northwesterly of 4<sup>th</sup> Avenue; and

- b. a line 210 feet northeasterly of 5<sup>th</sup> Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, 7<sup>th</sup> Street, 4<sup>th</sup> Avenue, 9<sup>th</sup> Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, 13<sup>th</sup> Street, 4<sup>th</sup> Avenue, 14<sup>th</sup> Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, 15<sup>th</sup> Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, 6<sup>th</sup> Street, and 4<sup>th</sup> Avenue;
2. eliminating a Special Enhanced Commercial District (EC-1) bounded by Pacific Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, President Street, a line 150 feet southeasterly of 4<sup>th</sup> Avenue, 3<sup>rd</sup> Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, 15<sup>th</sup> Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, 6<sup>th</sup> Street, 4<sup>th</sup> Avenue, Douglass Street, and a line 100 feet northwesterly of 4<sup>th</sup> Avenue;
3. changing from an R6B District to an R6A District property bounded by Carroll Street, Bond Street, 1<sup>st</sup> Street, and a line 350 feet southeasterly of Hoyt Street;
4. changing from an R6 District to an R6B District property bounded by Warren Street, Nevins Street, a line midway between Warren Street and Baltic Street, and a line 100 feet southeasterly of Bond Street;
5. changing from an R8A District to a C4-4D District property bounded by Pacific Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, President Street, a line 150 feet southeasterly of 4<sup>th</sup> Avenue, 3<sup>rd</sup> Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, 15<sup>th</sup> Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, 6<sup>th</sup> Street, 4<sup>th</sup> Avenue, Douglass Street, and a line 100 feet northwesterly of 4<sup>th</sup> Avenue;
6. changing from an C8-2 District to a C4-4D District property bounded by 3<sup>rd</sup> Street, 4<sup>th</sup> Avenue, 6<sup>th</sup> Street, and a line 100 feet northwesterly of 4<sup>th</sup> Avenue;
7. changing from an M1-2 District to a C4-4D District property bounded by Douglass Street, 4<sup>th</sup> Avenue, 1<sup>st</sup> Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue;
8. changing from an C8-2 District to an M1-4 District property bounded by 3<sup>rd</sup> Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, a line midway between 6<sup>th</sup> Street and 7<sup>th</sup> Street, a line 100 feet southeasterly of 3<sup>rd</sup> Avenue, 7<sup>th</sup> Street, 3<sup>rd</sup> Avenue, a line 305 feet southwesterly of 3<sup>rd</sup> Street, and a line 285 feet southeasterly of 3<sup>rd</sup> Avenue;
9. changing from an M1-1 District to an M1-4 District property bounded by:
  - a. a line midway between 4<sup>th</sup> Street and 5<sup>th</sup> Street, a line perpendicular to the northeasterly street line of 5<sup>th</sup> Street distant 220 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 5<sup>th</sup> Street and the northwesterly street line of Hoyt Street, 5<sup>th</sup> Street, and a line perpendicular to the northeasterly street line of 5<sup>th</sup> Street distant 390 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 5<sup>th</sup> Street and the northwesterly street line of Hoyt Street; and
  - b. 3<sup>rd</sup> Street, Bond Street, 4<sup>th</sup> Street, and Hoyt Street;
10. changing from an M1-2 District to an M1-4 District property bounded by:
  - a. a line midway between Baltic Street and Butler Street, Nevins Street, Butler Street and a line 360 feet northwesterly of Nevins Street;
  - b. a line midway between Baltic Street and Butler Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, a line midway between Sackett Street and Union Street, a line 100 feet southeasterly of 3<sup>rd</sup> Avenue, Degraw Street, a line 200 feet southeasterly of 3<sup>rd</sup> Avenue, Douglass Street, and a line 100 feet southeasterly of 3<sup>rd</sup> Avenue; and
  - c. a line midway between Union Street and President Street, a line 180 feet northwesterly of 4<sup>th</sup> Avenue, President Street, a line 250 feet northwesterly of 4<sup>th</sup> Avenue, Carroll Street, and a line 100 feet southeasterly of 3<sup>rd</sup> Avenue;
11. changing from an M2-1 District to an M1-4 District property bounded by 3<sup>rd</sup> Street, a line 270 feet southeasterly of Bond Street, the centerline of the Gowanus Canal, and Bond Street and its southwesterly centerline prolongation;
12. changing from an M3-1 District to an M1-4 District property bounded by 4<sup>th</sup> Street, Bond Street and its southwesterly centerline prolongation, the centerline of the Gowanus Canal, a line 160 feet northwesterly of Bond Street and its southwesterly prolongation, a line 120 feet southwesterly of 4<sup>th</sup> Street, Hoyt Street, 5<sup>th</sup> Street, and a line perpendicular to the northeasterly street line of 5<sup>th</sup> Street distant 220 feet northwesterly (as measured along the street line) from the point of intersection of

- the northeasterly street line of 5<sup>th</sup> Street and the northwesterly street line of Hoyt Street;
13. changing from an R6 District to an M1-4/R6A District property bounded by Warren Street, a line 100 feet southeasterly of Bond Street, Baltic Street and Bond Street;
  14. changing from an M1-1 District to an M1-4/R6A District property bounded by a line midway between 3<sup>rd</sup> Street and 4<sup>th</sup> Street, Hoyt Street, 4<sup>th</sup> Street, and a line perpendicular to the northeasterly street line of 4<sup>th</sup> Street distant 365 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 4<sup>th</sup> Street and the northwesterly street line of Hoyt Street;
  15. changing from an M1-2 District to a M1-4/R6A District property bounded by:
    - a. a line midway between Warren Street and Baltic Street, a line 100 feet northwesterly of Nevins Street, a line midway between Baltic Street and Butler Street, a line 100 feet southeasterly of Bond Street, Douglass Street, Bond Street, Baltic Street, and a line 100 feet southeasterly of Bond Street;
    - b. a line midway between Baltic Street and Butler Street, a line 100 feet northwesterly of 3<sup>rd</sup> Avenue, a line midway between Butler Street and Douglass Street, a line 100 feet southeasterly of Nevins Street, Butler Street, a line 325 feet northwesterly of 3<sup>rd</sup> Avenue;
    - c. Baltic Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, a line midway between Baltic Street and Butler Street, and a line 100 feet southeasterly of 3<sup>rd</sup> Avenue;
    - d. a line midway between Degraw Street and Sackett Street, a line 100 feet northwesterly of 3<sup>rd</sup> Avenue, a line midway between Sackett Street and Union Street, a line 100 feet southeasterly of Nevins Street, a line midway between Union Street and President Street, a line 190 feet northwesterly of 3<sup>rd</sup> Avenue, President Street, a line 100 feet southeasterly of Nevins Street, Carroll Street, Nevins Street, Sackett Street, and a line 100 feet southeasterly of Nevins Street; and
    - e. Union Street, a line 270 feet southeasterly of 3<sup>rd</sup> Avenue, a line midway between Union Street and President Street, and a line 170 feet northwesterly of 3<sup>rd</sup> Avenue;
  16. changing from an M2-1 District to an M1-4/R6A District property bounded by a line midway between Butler Street and Douglass Street, a line 200 feet southeasterly of Bond Street, Douglass Street, and a line 100 feet southeasterly of Bond Street;
  17. changing from an C8-2 District to an M1-4/R6B District property bounded by a line midway between 6<sup>th</sup> Street and 7<sup>th</sup> Street, a line 360 feet southeasterly of 3<sup>rd</sup> Avenue, 7<sup>th</sup> Street, and a line 100 feet southeasterly of 3<sup>rd</sup> Avenue;
  18. changing from an M1-1 District to an M1-4/R6B District property bounded by a line midway between 4<sup>th</sup> Street and 5<sup>th</sup> Street, a line perpendicular to the northeasterly street line of 5<sup>th</sup> Street distant 390 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 5<sup>th</sup> Street and the northwesterly street line of Hoyt Street, 5<sup>th</sup> Street, and Smith Street;
  19. changing from an M1-2 District to an M1-4/R6B District property bounded by:
    - a. a line midway between Baltic Street and Butler Street, a line 360 feet northwesterly of Nevins Street, Butler Street, and a line 100 feet southeasterly of Bond Street; and
    - b. a line midway between Union Street and President Street, a line 100 feet southeasterly of 3<sup>rd</sup> Avenue, Carroll Street, a line 250 feet northwesterly of 4<sup>th</sup> Avenue, President Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, 1<sup>st</sup> Street, 3<sup>rd</sup> Avenue, Carroll Street, a line 100 feet southeasterly of Nevins Street, President Street, and a line 190 feet northwesterly of 3<sup>rd</sup> Avenue;
  20. changing from an M2-1 District to an M1-4/R6B District property bounded by:
    - a. Butler Street, a line 200 feet southeasterly of Bond Street, a line midway between Butler Street and Douglass Street, and a line 100 feet southeasterly of Bond Street; and
    - b. Carroll Street, 3<sup>rd</sup> Avenue, a line perpendicular to the northwesterly street line of 3<sup>rd</sup> Avenue distant 160 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of 3<sup>rd</sup> Avenue and the southwesterly street line of Carroll Street, a line 100 feet northwesterly of 3<sup>rd</sup> Avenue, the northwesterly centerline prolongation of 1<sup>st</sup> Street, and a line perpendicular to the southwesterly street line of Carroll Street distant 425 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of Carroll Street and the northwesterly street line of 3<sup>rd</sup> Avenue;
  21. changing from an M2-1 District to an M1-4/R7-2 District property bounded by:
    - a. Douglass Street and its southeasterly centerline prolongation, the centerline of the Gowanus Canal, Degraw Street and its northwesterly centerline prolongation, Nevins Street, Carroll Street, a line perpendicular to the southwesterly street line of Carroll Street distant 425 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of Carroll Street and the northwesterly street line of 3<sup>rd</sup> Avenue, the northwesterly centerline prolongation of 1<sup>st</sup> Street, the centerline of the Gowanus Canal, Carroll Street and its southeasterly centerline prolongation, and Bond Street; and
    - b. 2<sup>nd</sup> Street, a line 210 feet northwesterly of 3<sup>rd</sup> Avenue, 3<sup>rd</sup> Street and its northwesterly centerline prolongation, the centerline of the Gowanus Canal, a line 270 feet southeasterly of Bond Street and its southwesterly prolongation, 3<sup>rd</sup> Street, and Bond Street;
  22. changing from an M3-1 District to an M1-4/R7-2 District property bounded by 5<sup>th</sup> Street, Hoyt Street, a line 120 feet southwesterly of 4<sup>th</sup> Street, a line 160 feet northwesterly of Bond Street and its southwesterly prolongation, the centerline of the Gowanus Canal, Huntington Street and its southeasterly prolongation, and Smith Street;
  23. changing from an M1-2 District to an M1-4/R7A District property bounded by Sackett Street, a line 100 feet southeasterly of 3<sup>rd</sup> Avenue, a line midway between Sackett Street and Union Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, President Street, a line 180 feet northwesterly of 4<sup>th</sup> Avenue, a line midway between Union Street and President Street, a line 270 feet southeasterly of 3<sup>rd</sup> Avenue, Union Street, a line 170 feet northwesterly of 3<sup>rd</sup> Avenue, a line midway between Union Street and President Street, a line 100 feet southeasterly of Nevins Street, a line midway between Sackett Street and Union Street, and a line 100 feet northwesterly of 3<sup>rd</sup> Avenue;
  24. changing from an R6 District to an M1-4/R7X District property bounded by a line midway between Warren Street and Baltic Street, Nevins Street, Baltic Street, and a line 75 feet northwesterly of Nevins Street;
  25. changing from an C8-2 District to an M1-4/R7X District property bounded 3<sup>rd</sup> Street, a line 285 feet southeasterly of 3<sup>rd</sup> Avenue, a line 305 feet southwesterly of 3<sup>rd</sup> Street, and 3<sup>rd</sup> Avenue;
  26. changing from an M1-2 District to an M1-4/R7X District property bounded by:
    - a. a line midway between Warren Street and Baltic Street, a line 75 feet northwesterly of Nevins Street, Baltic Street, Nevins Street, a line midway between Baltic Street and Butler Street, and a line 100 feet northwesterly of Nevins Street;
    - b. Baltic Street, a line 100 feet southeasterly of 3<sup>rd</sup> Avenue, Douglass Street, a line 200 feet southeasterly of 3<sup>rd</sup> Avenue, Degraw Street, a line 100 feet southeasterly of 3<sup>rd</sup> Avenue, Sackett Street, a line 100 feet northwesterly of 3<sup>rd</sup> Avenue, a line midway between Degraw Street and Sackett Street, a line 100 feet southeasterly of Nevins Street, Sackett Street, Nevins Street, Butler Street, a line 100 feet southeasterly of Nevins Street, a line midway between Butler Street and Douglass Street, a line 100 feet northwesterly of 3<sup>rd</sup> Avenue, a line midway between Baltic Street and Butler Street, and a line 325 feet northwesterly of 3<sup>rd</sup> Avenue;
  27. changing from an M2-1 District to an M1-4/R7X District property bounded by a line perpendicular to the northwesterly street line of 3<sup>rd</sup> Avenue distant 160 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of 3<sup>rd</sup> Avenue and the southwesterly street line of Carroll Street, 3<sup>rd</sup> Avenue, 3<sup>rd</sup> Street, a line 210 feet northwesterly of 3<sup>rd</sup> Avenue, the northwesterly centerline prolongation of 1<sup>st</sup> Street, and a line 100 feet northwesterly of 3<sup>rd</sup> Avenue, and
  28. establishing a Special Gowanus Mixed Use District (G) bounded by Pacific Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, President Street, a line 150 feet southeasterly of 4<sup>th</sup> Avenue, 3<sup>rd</sup> Street, a line 100 feet southeasterly of 4<sup>th</sup> Avenue, 15<sup>th</sup> Street, a line 100 feet northwesterly of 4<sup>th</sup> Avenue, a line midway between 6<sup>th</sup> Street and 7<sup>th</sup> Street, a line 360 feet southeasterly of 3<sup>rd</sup> Avenue, 7<sup>th</sup> Street, 3<sup>rd</sup> Avenue, 3<sup>rd</sup> Street and its northwesterly centerline prolongation, the centerline of the Gowanus Canal, Huntington Street and its southeasterly centerline prolongation, Smith Street, a line midway between 4<sup>th</sup> Street and 5<sup>th</sup> Street, a

line perpendicular to the northeasterly street line of 5<sup>th</sup> Street distant 220 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 5<sup>th</sup> Street and the northwesterly street line of Hoyt Street, 4<sup>th</sup> Street, a line perpendicular to the northeasterly street line of 4<sup>th</sup> Street distant 365 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 4<sup>th</sup> Street and the northwesterly street line of Hoyt Street, a line midway between 3<sup>rd</sup> Street and 4<sup>th</sup> Street, Hoyt Street, 3<sup>rd</sup> Street, Bond Street, Warren Street, a line 100 feet southeasterly of Bond Street, a line midway between Warren Street and Baltic Street, Nevins Street, Butler Street, a line 325 feet northwesterly of 3<sup>rd</sup> Avenue, Baltic Street, and a line 100 feet northwesterly of 4<sup>th</sup> Avenue; and excluding the areas bounded by:

- i. Butler Street, Nevins Street, Degraw Street and its northwesterly centerline prolongation, the center line of the Gowanus Canal, Douglass Street and its southeasterly centerline prolongation, and a line 200 feet southeasterly of Bond Street; and
ii. 1<sup>st</sup> Street, 4<sup>th</sup> Avenue, 3<sup>rd</sup> Street, and 3<sup>rd</sup> Avenue;

as shown on a diagram (for illustrative purposes only) dated April 19, 2021, and subject to the conditions of CEQR Declaration E-601.

CD 2 & 6

No. 6

N 210178 ZRK

IN THE MATTER OF an application submitted by New York City Department of City Planning, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York establishing the Special Gowanus Mixed Use District (Article XIII, Chapter 9) and modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area, and modifying related Sections.

Matter underlined is new, to be added;
Matter struck out is to be deleted;
Matter within # # is defined in Section 12-10;
\* \* \* indicates where unchanged text appears in the Zoning Resolution

[NOTE: Cross-references to certain Sections and Section titles may reflect the proposed text amendments Zoning for Coastal Resiliency (ULURP No. N 210095 ZRY), which has been recently adopted by City Council, and Elevate Transit - Zoning for Accessibility (ULURP No. N 210270 ZRY), which is currently in public review.]

ARTICLE I
GENERAL PROVISIONS

Chapter 1
Title, Establishment of Controls and Interpretation of Regulations

11-12
Establishment of Districts

11-122
Districts established

In order to carry out the purposes and provisions of this Resolution, the following districts are hereby established:

Special Purpose Districts

Establishment of the Special Governors Island District

In order to carry out the special purposes of this Resolution, as set forth in Article XIII, Chapter 4, the #Special Governors Island District# is hereby established.

Establishment of the Special Gowanus Mixed Use District

In order to carry out the special purposes of this Resolution, as set forth in Article XIII, Chapter 9, the #Special Gowanus Mixed Use District# is hereby established.

Establishment of the Special Grand Concourse Preservation District

In order to carry out the special purposes of this Resolution as set forth in Article XII, Chapter 2, the #Special Grand Concourse Preservation District# is hereby established.

Chapter 2
Construction of Language and Definitions

12-10
DEFINITIONS

\* \* \*

Special Governors Island District

The "Special Governors Island District" is a Special Purpose District designated by the letters "GI" in which the special regulations set forth in Article XIII, Chapter 4, apply.

Special Gowanus Mixed Use District [date of adoption]

The "Special Gowanus Mixed Use District" is a Special Purpose District designated by the letter "G" in which special regulations set forth in Article XIII, Chapter 9, apply.

Special Grand Concourse Preservation District

The "Special Grand Concourse Preservation District" is a Special Purpose District designated by the letter "C" in which special regulations set forth in Article XII, Chapter 2, apply.

\* \* \*

Waterfront area

The "waterfront area" is the geographical area comprising all #blocks# between the pierhead line and a line 800 feet landward from the #shoreline#. Where such line intersects a #block#, the entire #block# shall be included and the #waterfront area# boundary shall coincide with the centerline of the landward boundary #street# or other #block# boundary. Notwithstanding the above, any #zoning lot#, the boundaries of which were established prior to November 1, 1993, and which is not closer than 1,200 feet from the #shoreline# at any point and which does not #abut# a waterfront public park, shall not be included in the #waterfront area#.

[The struckout provisions of this paragraph have been moved to 139-021]

\* \* \*

For the purposes of this definition, only #blocks# along waterways that have a minimum width of 100 feet between opposite #shores#, with no portion downstream less than 100 feet in width, shall be included within the #waterfront area#. However, #blocks# bounding the Gowanus Canal north of Hamilton Avenue, as shown on the City Map, Dutch Kills and the portion of the Bronx River located south of the prolongation of East 172nd Street, shall be included within the #waterfront area#.

\* \* \*

Chapter 4
Sidewalk Cafe Regulations

\* \* \*

14-44
Special Zoning Districts Where Certain Sidewalk Cafes Are Permitted

#Enclosed# or #unenclosed sidewalk cafes# shall be permitted, as indicated, in the following special zoning districts, where allowed by the underlying zoning. #Small sidewalk cafes#, however, may be located on #streets# or portions of #streets# within special zoning districts pursuant to the provisions of Section 14-43 (Locations Where Only Small Sidewalk Cafes Are Permitted).

\* \* \*

Table with 3 columns: Brooklyn, #Enclosed Sidewalk Cafe#, #Unenclosed Sidewalk Cafe#. Rows include Bay Ridge District, Coney Island District, Coney Island Mixed Use District, Downtown Brooklyn District, Enhanced Commercial District 1 (Fourth Avenue), Enhanced Commercial District 4 (Broadway, Bedford-Stuyvesant), Gowanus Mixed Use District, Mixed Use District-8 (Greenpoint-Williamsburg), Ocean Parkway District, Sheepshead Bay District.

1 #Sidewalk cafes# are not allowed on Ocean Parkway

\* \* \*

ARTICLE II
RESIDENCE DISTRICT REGULATIONS

Chapter 3
Residential Bulk Regulations in Residence Districts

23-00
APPLICABILITY AND GENERAL PURPOSES

23-01
Applicability of This Chapter

\* \* \*

23-011
Quality Housing Program

\* \* \*

(c) In the districts indicated without a letter suffix, the optional Quality Housing #bulk# regulations permitted as an alternative, pursuant to paragraph (b) of this Section, shall not apply to:

\* \* \*

(2) Special Purpose Districts

However, such optional Quality Housing #bulk# regulations are permitted as an alternative to apply in the following Special Purpose Districts:

- #Special 125th Street District#;
#Special Downtown Brooklyn District#;
#Special Downtown Far Rock away District#;
#Special Downtown Jamaica District#;
#Special East Harlem Corridors District#;
#Special Flushing Waterfront District#;
#Special Gowanus Mixed Use District#;
#Special Grand Concourse Preservation District#;

\* \* \*

ARTICLE VI
SPECIAL REGULATIONS APPLICABLE TO CERTAIN AREAS

Chapter 2
Special Regulations Applying in the Waterfront Area

\* \* \*

62-10
GENERAL PROVISIONS

62-11
Definitions

\* \* \*

Waterfront block or waterfront zoning lot

A "waterfront block" or "waterfront zoning lot" is a #block# or #zoning lot# in the #waterfront area# having a boundary at grade coincident with or seaward of the #shoreline#. For the purposes of this Chapter:

- (a) a #block# within the #waterfront area# shall include the land within a #street# that is not improved or open to the public, and such #street# shall not form the boundary of a #block#;
(b) a #block# within the #waterfront area# that #abuts# a #public park# along the waterfront shall be deemed to be part of a #waterfront block#; and
(c) a #zoning lot# shall include the land within any #street# that is not improved or open to the public and which is in the same ownership as that of any contiguous land.

[NOTE: The provisions of this paragraph have been moved to Section 139-021]

However, any #block# or #zoning lot# in the #waterfront area# having a boundary within or coincident with the boundaries of the Gowanus Canal, as shown on the City Map, shall be a #waterfront block# or #waterfront zoning lot#, respectively.

Any #zoning lot#, the boundaries of which were established prior to November 1, 1993, and which is not closer than 1,200 feet from the #shoreline# at any point and which does not #abut# a #public park# along the waterfront, shall be deemed outside of the #waterfront block#.

\* \* \*

62-13
Applicability of District Regulations

\* \* \*

The regulations of this Chapter shall apply in the following Special Purpose Districts except as specifically modified within the Special Purpose District provisions:

- #Special Flushing Waterfront District#
#Special Gowanus Mixed Use District#
#Special Inwood District#
#Special St. George District#.

\* \* \*

62-90
WATERFRONT ACCESS PLANS

\* \* \*

62-93
Borough of Brooklyn

The following Waterfront Access Plans are hereby established within the Borough of Brooklyn. All applicable provisions of Article VI, Chapter 2, remain in effect within the areas delineated by such plans, except as expressly set forth otherwise in the plans:

- BK-1: Greenpoint-Williamsburg, as set forth in Section 62-931
BK-2: Gowanus Canal, in the #Special Gowanus Mixed Use District#, as set forth in Section 139-50 (GOWANUS CANAL WATERFRONT ACCESS PLAN).

\* \* \*

ARTICLE XIII
SPECIAL PURPOSE DISTRICTS

Chapter 2
Special Enhanced Commercial District

\* \* \*

132-11
Special Enhanced Commercial Districts Specified

The #Special Enhanced Commercial District# is mapped in the following areas:

- (a) #Special Enhanced Commercial District# 1
The #Special Enhanced Commercial District# 1 (EC-1) is established on November 29, 2011, on the following #designated commercial streets# as indicated on #zoning maps# 16c and 16d:
(1) Fourth Avenue, in the Borough of Brooklyn, generally between 24th Street and 15th Street and Pacific Street and Atlantic Avenue.
(b) #Special Enhanced Commercial District# 2

\* \* \*

ARTICLE XIII
SPECIAL PURPOSE DISTRICTS

Chapter 9
Special Gowanus Mixed Use District

139-00
GENERAL PURPOSES

The "Special Gowanus Mixed Use District" established in this Resolution is designed to promote and protect the public health, safety and general welfare of the Gowanus neighborhood and the greater community. These general goals include, among others, the following specific purposes:

- (a) to recognize and enhance the vitality and character of an existing mixed use neighborhood;
(b) to encourage stability and growth in the Gowanus neighborhood by permitting compatible light manufacturing and residential uses to coexist;
(c) to encourage investment in a mixed use neighborhood by permitting the expansion and new development of a wide variety of uses in a manner that ensures the health and safety of residents and employees;
(d) to improve the physical appearance of the streetscape by providing and coordinating harmonious open space, sidewalk amenities and landscaping within a consistent urban design;
(e) to promote and enhance visual and physical access to and around the Gowanus Canal;
(f) to enhance neighborhood economic diversity by broadening the range of housing choices for residents at varied incomes;
(g) to expand local employment opportunities and to promote the opportunity for workers to live in the vicinity of their work; and

(h) to promote the most desirable use of land and thus conserve the value of land and buildings and thereby protect the City's tax revenues.

**139-01  
Definitions**

Definitions specifically applicable to this Chapter are set forth in this Section. Other defined terms are set forth in Sections 12-10 (DEFINITIONS), 37-311 (Definitions), and 62-11 (Definitions). The definition of #development# shall be as set forth in Section 12-10, except where otherwise specified.

**Gowanus mix uses**

"Gowanus mix uses" are #community facility#, #commercial#, and #manufacturing uses# set forth in Section 139-12 (Gowanus Mix Uses).

**Gowanus retail and entertainment uses**

"Gowanus retail and entertainment uses" are #community facility# and #commercial uses# set forth in Section 139-13 (Gowanus Retail and Entertainment Uses).

**Mixed use district**

In the #Special Gowanus Mixed Use District#, a "mixed use district" shall be any M1 District paired with a #Residence District#, as indicated on the #zoning maps#. For the purposes of applying provisions of districts adjacent to a #mixed use district#, a #mixed use district# shall be considered a #Manufacturing District#.

**Select community facility uses**

For the purposes of this Chapter, the following #community facility uses# shall also be considered "select community facility uses":

#Schools#;

Houses of worship, rectories or parish houses;

Health facilities requiring approval under Article 28 of the Public Health Law of the State of New York that, prior to July 10, 1974, have received approval of Part I of the required application from the Commissioner of Health; and

Non-profit, voluntary, or proprietary hospitals.

**139-02  
General Provisions**

In harmony with the general purposes and content of this Resolution and the general purposes of the #Special Gowanus Mixed Use District#, the regulations of this Chapter shall apply within the #Special Gowanus Mixed Use District#. The regulations of all other Chapters of this Resolution are applicable, except as modified, supplemented or superseded by the provisions of this Chapter. In the event of a conflict between the provisions of this Chapter and other regulations of this Resolution, the provisions of this Chapter shall control.

**139-021  
Applicability of regulations to the Gowanus Canal**

[NOTE: Some of these provisions have been relocated here from Sections 12-10 and 62-11]

In the #Special Gowanus Mixed Use District#, all #blocks# bounding the Gowanus Canal shall be considered #waterfront blocks# within the #waterfront area#, and the provisions of Article VI, Chapter 2 (Special Regulations Applying in the Waterfront Area), as modified by the provisions of this Chapter, shall apply.

All #zoning lots# having a boundary within or coincident with the boundaries of the Gowanus Canal, shall be considered #waterfront zoning lots#. All portions of such a #zoning lot# shall be included as part of the #upland lot# and deemed to be #lot area#, regardless of the location of the #shoreline#.

For the purposes of this Chapter, the boundaries of the Gowanus Canal shall be as shown on the City Map, and shall include the First Street Basin.

**139-022  
Applicability of the Inclusionary Housing Program**

For the purposes of applying the Inclusionary Housing Program provisions set forth in Sections 23-154 and 23-90 (INCLUSIONARY HOUSING), #Mandatory Inclusionary Housing areas# within the #Special Gowanus Mixed Use District# are shown on the maps in APPENDIX F (Inclusionary Housing Areas and Mandatory Inclusionary Housing Areas) of this Resolution. Such provisions are modified by the provisions of this Chapter.

**139-023  
Applicability of the Quality Housing Program**

In the #Special Gowanus Mixed Use District#, all #buildings# containing #residences# shall be #developed# or #enlarged# in accordance with the Quality Housing Program and the regulations of

Article II, Chapter 8 (The Quality Housing Program) shall apply. Such #buildings# shall be considered #Quality Housing buildings#.

**139-024  
Applicability of Article VI, Chapter 4**

In the event of a conflict between the provisions of this Chapter and the provisions of Article VI, Chapter 4 (Special Regulations Applying in Flood Hazard Areas), the provisions of Article VI, Chapter 4, shall control.

**135-025  
Applicability of Article VI, Chapter 6**

For #transit-adjacent sites#, as defined in Section 66-11 (Definitions), in the event of a conflict between the provisions of this Chapter and the provisions of Article VI, Chapter 6 (Special Regulations Applying Around Mass Transit Stations), the provisions of Article VI, Chapter 6 shall control.

**139-026  
Applicability of Article XII, Chapter 3**

In #Mixed Use Districts#, the special #use#, #bulk#, and parking and loading provisions of Article XII, Chapter 3 (Special Mixed Use Districts) shall apply, except where modified by the provisions of this Chapter, and shall supplement or supersede the provisions of the designated #Residence# or M1 District, as applicable.

Notwithstanding the provisions of Section 123-10, in the event of a conflict between the provisions of this Chapter and the provisions of Article XII, Chapter 3, the provisions of this Chapter shall control.

**139-03  
District Plan and Maps**

The regulations of this Chapter are designed to implement the #Special Gowanus Mixed Use District# Plan. The district plan includes the following maps in the Appendices to this Chapter:

**Appendix A – Special Gowanus Mixed Use District**

Map 1	Subdistricts
Map 2	Subareas
Map 3	Ground Floor Use Requirements
Map 4	Sidewalk Widening Lines

**Appendix B – Special Gowanus Canal Waterfront Access Plan**

Map 1	Parcel Designation
Map 2	Public Access Elements
Map 3	Designated Visual Corridors

The maps are hereby incorporated and made part of this Resolution for the purpose of specifying locations where the special regulations and requirements set forth in the text of this Chapter apply.

**139-04  
Subdistricts**

In order to carry out the purposes and provisions of this Chapter, five subdistricts are established within the #Special Gowanus Mixed Use District#. In addition, subareas are established within Subdistricts B and D.

Subdistrict A – Fourth Avenue Subdistrict

Subdistrict B – Upland Blocks Subdistrict  
Subarea B1  
Subarea B2

Subdistrict C – North Canal Corridor Subdistrict

Subdistrict D – South Canal Corridor Subdistrict  
Subarea D1  
Subarea D2  
Subarea D3  
Subarea D4  
Subarea D5  
Subarea D6

Subdistrict E – First Street Subdistrict

The boundaries of the subdistricts are shown on Map 1 and the boundaries of the subareas are shown on Map 2 in Appendix A of this Chapter.

**139-10  
SPECIAL USE REGULATIONS**

In Subdistricts A, B, C, and D the underlying #use# regulations shall be modified by the provisions of this Section, inclusive. In Subdistrict E, the underlying district regulations shall apply.

**139-11  
Permitted Uses**

In all #Manufacturing Districts# and #Mixed Use Districts#, in addition to the #uses# specified in Article IV, Chapter 2 and Article XII, Chapter 3, respectively, the following #uses# shall also be permitted:

- (a) all #uses# listed in Use Group 3, as set forth in Section 22-13;



- (b) all #uses# listed in Use Group 4, as set forth in Section 22-14;
- (c) food stores, including supermarkets, grocery stores or delicatessen stores, as specified in Section 32-15 (Use Group 6), without limitation as to #floor area# per establishment;
- (d) all uses in Use Group 10A, as specified in Section 32-19;
- (e) all uses in Use Group 17B, as specified in Section 42-14; and
- (f) the manufacture of alcoholic beverages and breweries, as specified in Section 42-15 (Use Group 18), without limitation on size. Where provided, the provisions of Section 42-27 (Performance Standards Regulating Fire and Explosive Hazards) shall not apply to such #use#.

### **139-12 Gowanus Mix Uses**

For the purposes of applying the special #bulk# regulations of Section 139-212 (Gowanus mix), the following #community facility#, #commercial#, and #manufacturing uses# shall also be considered #Gowanus mix uses#:

From Use Group 3, as set forth in Section 22-13:

#schools#, colleges or universities, libraries, museums, and non-commercial art galleries, as listed in Use Group 3A;

From Use Group 4, as set forth in Section 22-14:

all #uses# in Use Group 4A, except ambulatory diagnostic and treatment health care facilities;

agriculture, including greenhouses, nurseries, and truck gardens as listed in use Group 4B;

From Use Group 6, as set forth in Section 32-15:

custom tailoring, as listed in Use Group 6A;

From Use Group 7, as set forth in Section 32-16:

all #uses# in Use Group 7B;

electric vehicle charging stations and automotive battery swapping facilities as listed in Use Group 7D;

From Use Group 8, as set forth in Section 32-17:

all #uses# listed in Use Group 8B;

From Use Group 9, as set forth in Section 32-18:

blueprinting; business schools or colleges; costume rental; medical or dental laboratories; instrument repair; printing establishments; studios, art, music, dancing or theatrical; trade schools for adults; and umbrella repair shops as listed in Use Group 9A;

photographic printing or developing as listed in Use Group 9B;

From Use Group 10, as set forth in Section 32-19:

photographic or motion picture production studios; radio or television studios;

From Use Group 11, as set forth in Section 32-20:

all #uses# listed in Use Groups 11A;

From Use Group 12, as set forth in Section 32-21:

commercial art galleries, jewelry and art metal craft shops, as listed in Use Group 12B;

From Use Group 14, as set forth in Section 32-23:

bicycle rental or repair, and boat storage, repair, and painting, as listed in Use Group 14A;

From Use Group 16, as set forth in Section 32-25:

blacksmith shops; carpentry or custom woodworking; custom furniture making; building contractor supply stores; fuel, ice, oil, coal, wood sales; household and office equipment or machinery repair shops; machinery rental or sales establishments; mirror silvering or glass cutting shops; and tool, die, and pattern making shops as listed in Use Group 16A;

From Use Group 17, as set forth in Section 42-14:

food product manufacturing, as listed in Use Group 17B; and

From Use Group 18, as set forth in Section 42-15:

breweries and alcoholic beverage manufacturing.

### **139-13 Gowanus Retail and Entertainment Uses**

For the purposes of applying the basic #floor area ratio# regulations of Section 139-21, the following #community facility# and #commercial# #uses# shall also be considered #Gowanus retail and entertainment uses#:

From Use Group 3, as set forth in Section 22-13:

non-commercial art galleries;

From Use Group 6, as set forth in Section 32-15:

all #uses# listed in Use Group 6A, 6C, and 6E;

From Use Group 8, as set forth in Section 32-17:

all #uses# listed in Use Group 8A;

From Use Group 10, as set forth in Section 32-19:

all #uses# listed in Use Group 10A;

From Use Group 12, as set forth in Section 32-21:

all #uses# listed in Use Groups 12A and 12B;

From Use Group 13, as set forth in Section 32-22:

all #uses# in Use Group 13A and 13B;

From Use Group 14, as set forth in Section 32-23:

bicycle sales; candy or ice cream stores; and non-commercial clubs without restrictions on activities or facilities except for any activity or #use# listed within the definitions of #adult physical culture establishments# in Section 12-10 (DEFINITIONS).

### **139-14 Supplementary Use Regulations**

#### **139-141**

#### **Location of commercial uses in mixed buildings**

##### (a) Commercial Districts

In #Commercial Districts#, the underlying provisions of Section 32-422 (Location of floors occupied by commercial uses) shall be modified, for #mixed buildings# that are #developed# or #enlarged# after [date of adoption], to permit #dwelling units# on the same #story# as a #commercial use#, provided no access exists between such #uses# at any level containing #dwelling units# and provided no #commercial uses# are located directly over any #dwelling units#. However, such #commercial uses# may be located over #dwelling units# by authorization of the City Planning Commission upon a finding that sufficient separation of #residential uses# from #commercial uses# exists within the #building#.

##### (b) Mixed Use Districts

In #Mixed Use Districts#, the provisions of paragraph (c)(2) of Section 123-31 (Provisions Regulating Location of Uses in Mixed Use Buildings) shall be modified to allow #commercial# and #manufacturing uses# to be located over #dwelling units# by authorization of the City Planning Commission upon a finding that sufficient separation of #residential uses# from such #uses# exists within the #building#.

#### **139-142**

#### **Enclosure of uses**

In #Manufacturing Districts#, the underlying regulations of Section 42-40 (SUPPLEMENTARY USE REGULATIONS AND SPECIAL PROVISIONS APPLYING ALONG DISTRICT BOUNDARIES) shall apply except that all storage of materials or products shall be located within #completely enclosed buildings# regardless of distance from a #Residence District#.

#### **139-15**

#### **Special Sign Regulations**

In the #Special Gowanus Mixed Use District#, the underlying #sign# regulations shall apply, except that:

- (a) in #Manufacturing Districts#, the #sign# regulations of a C6-1 District, as set forth in Section 32-60, shall apply;
- (b) any #accessory signs# that are provided adjacent to a #shore public walkway# shall be governed by the provisions of Section 139-55 (Special Signage Regulations).

#### **139-16**

#### **Physical Culture Establishments**

In all districts, #physical culture or health establishments# shall be permitted as-of-right. For the purposes of applying the underlying regulations to such #use#, a #physical culture or health establishment# shall be considered a Use Group 9A #use#.

#### **139-17**

#### **Transient Hotels**

In all districts, the #development# of a #transient hotel#: a change of #use# or #conversion# to a #transient hotel#, or an #enlargement#, containing a #transient hotel#, of a #building# that, as of [date of adoption], did not contain such #use#; or an #enlargement# or #extension# of a #transient hotel# that existed prior to [date of adoption] that increases the #floor area# of such #use# by 20 percent or more, shall be permitted only by special permit of the City Planning Commission pursuant to the provisions of this Section.

In order to permit such a #transient hotel#, the Commission shall find that such #transient hotel# is so located as not to impair the essential character of, or the future use or development of, the surrounding area.

Any #transient hotel# existing prior to [date of adoption] shall be considered a conforming #use# and may be continued, structurally altered, #extended# or #enlarged# subject to the limitations set forth in this Section, and subject to the applicable district #bulk# regulations. However, if for a continuous period of two years such #transient hotel# is discontinued, or the active operation of substantially all the #uses# in the #building or other structure# is discontinued, the space allocated to such #transient hotel# shall thereafter be used only for a conforming #use#, or may be #used# for a #transient hotel# only if the Commission grants a special permit for such #use# in accordance with the provisions of this Section. In addition, in the event a casualty damages or destroys a #transient hotel#, that was in such #use# as of [date of adoption], such #building# may be reconstructed and used as a #transient hotel# without obtaining a special permit. A #non-complying building# may be reconstructed pursuant to Section 54-40 (DAMAGE OR DESTRUCTION IN NON-COMPLYING BUILDINGS).

The Commission may prescribe appropriate conditions and safeguards to minimize adverse effects on the character of the surrounding area.

**139-20  
SPECIAL BULK REGULATIONS**

In Subdistricts A, B, C and D, the #bulk# regulations of the applicable underlying districts shall be modified by the provisions of this Section, inclusive. In Subdistrict E, the underlying regulations shall apply.

In Subdistrict A, the provisions of Section 34-112 (Residential bulk regulations in other C1 or C2 Districts or in C3, C4, C5 or C6 Districts) and paragraph (b) of Section 35-23 (Residential Bulk Regulations in Other C1 or C2 Districts or in C3, C4, C5, or C6 Districts) shall be modified so that, in C4-4D Districts, the applicable #Residence District# shall be an R9A District, as modified by the provisions of this Chapter.

**139-21  
Floor Area Regulations**

Basic #floor area# regulations are established in Section 139-211. Such regulations may be modified by the provisions of this Section, inclusive.

The basic maximum #floor area ratios# may be increased for certain #zoning lots# pursuant to Sections 139-212 (Gowanus mix) and 139-213 (Special floor area provisions for transit improvements).

Special regulations for #community facility floor area# on #zoning lots# containing #schools# are set forth in Section 139-214 (Special provisions for zoning lots containing schools).

Special regulations for certain #zoning lots# are set forth in Section 139-215 (Special floor area provisions for zoning lots containing comfort stations) and 139-216 (Special provisions for street improvements).

For the purposes of applying the provisions of Section 64-322, #primary street frontages# shall be the locations designated on Map 3 in the Appendix to this Chapter.

**139-211  
Basic floor area regulations**

The maximum #floor area# regulations for each district in the #Special Gowanus Mixed Use District# shall be as set forth in the table in this Section.

Row A establishes the maximum #residential floor area ratio# for #MIH sites# where either #affordable floor area# is provided in accordance with the provisions of paragraphs (d)(3)(i) through (d)(3)(iv) or paragraph (d)(5) of Section 23-154 (Inclusionary Housing), or where a contribution to the #affordable housing fund# is made in accordance with paragraph (d)(3)(v) of such Section. For #zoning lots# subject to the provisions of paragraph (d)(4) of Section 23-154, the maximum #floor area ratio# shall be as set forth in Section 23-153 (For Quality Housing buildings).

Row B establishes a maximum #floor area ratio# for #community facility uses#, other than #select community facility uses#. Row C sets forth the maximum #floor area ratio# for #select community facility uses# only. In addition, special regulations for #schools# are set forth in Section 139-213.

Row D establishes a maximum #floor area ratio# for #Gowanus retail and entertainment uses# only.

Row E establishes a maximum #floor area ratio# for all #commercial uses#, inclusive of #Gowanus retail and entertainment uses#.

Row F sets forth the maximum #floor area ratio# for #manufacturing# uses.

Row G establishes the maximum #floor area ratio# permitted on the #zoning lot#.

MAXIMUM FLOOR AREA RATIO

	C4-4D	M1-4		M1-4 / R6B	M1-4 / R6A	M1-4 / R7A	M1-4 / R7-2	M1-4 / R7X	
		Subarea B1	Subarea B2						
A	Maximum #FAR# for #residential uses# for #MIH Sites#	8.5	-	-	2.2	3.6	4.6	4.4	5.6
B	Maximum #FAR# for #community facility uses#	6.5	4.0	3.0	2.0	3.0	4.0	4.0	5.0
C	Maximum #FAR# for #select community facility uses#	6.5	4.8	4.8	2.0	3.0	4.0	4.0	5.0
D	Maximum #FAR# for #Gowanus retail and entertainment uses#	3.4	2.0	2.0	2.0	2.0	2.0	2.0	2.0
E	Maximum #FAR# for #commercial uses#	3.4	4.0	3.0	2.0	3.0	3.0	3.0	4.0
F	Maximum #FAR# for #manufacturing uses#	-	4.0	3.0	2.0	3.0	3.0	3.0	4.0
G	Maximum #FAR#	8.5	4.8	4.8	2.2	3.6	4.6	4.4	5.6

**139-212**  
**Gowanus mix**

In M1 Districts paired with R7-2 or R7X Districts, the provisions of this Section may be utilized to increase the maximum #floor area ratio# set forth Section 139-211 (Basic floor area regulations).

**PERMITTED INCREASE IN FLOOR AREA RATIO**

		M1-4 / R7X	M1-4 / R7-2
A	Increase pursuant to paragraph (a)	0.2	0.3
B	Increase pursuant to paragraph (b)	0.2	0.3
C	Combined increase when utilizing paragraphs (a) and (b)	0.4	0.6

(a) **Inclusion of non-residential uses**

For #zoning lots# with #buildings# containing both #residential uses# and any non-#residential use#, the maximum #floor area ratio# may be increased by the amount listed in Row A of the table in this Section.

(b) **Inclusion of #Gowanus mix uses#**

For #zoning lots# with #buildings# containing both #residential uses# and #Gowanus mix uses#, the maximum #floor area ratio# may be increased by the amount listed in Row B of the table in this Section.

The provisions of both paragraphs (a) and (b) of this Section may be utilized, as applicable, so that the total maximum #floor area ratio# of the #zoning lot# is increased by the total amount listed in Row C of the table in this Section.

The amount of #floor area# allocated to such a #use# must be equal to or greater than the amount of #floor area# by which the maximum #floor area ratio# is being increased, and #floor area# provided to satisfy the requirements of one paragraph of this Section may not be utilized to satisfy the requirements of the other. However, #Gowanus mix uses# in excess of the #floor area ratio# listed in Row A may be used to satisfy the requirements of paragraph (a) above.

In addition, #floor area# provided to satisfy the requirements of Section 139-41 (Ground Floor Level Requirements) may not be utilized to satisfy the requirements of this Section.

**139-213**  
**Special floor area provisions for transit improvements**

In #Commercial Districts#, the #floor area ratios# set forth in Section 139-211 (Basic floor area regulations) may be increased by up to 20 percent, pursuant to the provisions of Section 139-46 (Certification for transit improvements). Where the #residential floor area ratio# is increased, such additional #floor area# shall be exempt from the requirements of paragraph (d) of Section 23-154.

**139-214**  
**Special floor area provisions for zoning lots containing schools**

The provisions of this Section shall apply to #zoning lots# with a #lot area# greater than 30,000 square feet, and which contain #schools# constructed in whole or in part pursuant to an agreement with the New York City School Construction Authority and subject to the jurisdiction of the New York City Department of Education.

On such #zoning lots#, up to 60,000 square feet of floor space within such #school# or, in Subarea D4 up to 100,000 square feet of floor space within such #school#, shall be exempt from the definition of #floor area#.

**139-215**  
**Special floor area provisions for zoning lots containing comfort stations**

For #zoning lots# containing a comfort station provided in accordance with the provisions of paragraph (c)(2) of Section 139-51 (Area-Wide Modifications), an area equal to 200 percent of the floor space within such comfort station may be exempted from the definition of #floor area#.

**139-216**  
**Special floor area provisions for street improvements**

In Subareas D4, D5, and D6, for #zoning lots# containing mapped #streets#, where such mapped #streets# will be improved and opened to the public, the provisions of this Section may apply.

(a) **Street area**

The #lot area# of a #zoning lot# adjacent to newly-improved #street# may be considered to be increased by an amount equal to the area contained within the bed of such #street#, as

measured from the centerline of such #street# to the #street line# adjoining the #zoning lot#.

(b) **Transfer of #floor area#**

#Residential floor area# may be transferred from a granting site to a receiving site located directly across the newly-improved #street#, and may exceed the maximum #floor area ratio# permitted on the receiving site, provided that:

- (1) the owners of the granting site and the receiving site shall jointly notify the Department of City Planning, in writing, of their intent to transfer #residential floor area#. Such notification shall include a site plan showing the conditions and #floor area# calculations for the granting site and the receiving site, before and after the transfer;
- (2) no building permit shall be issued by the Department of Buildings for a #building# on a receiving site containing any such transferred #residential floor area# until the Chairperson of the City Planning Commission has certified to the Department of Buildings that plans submitted to the Department of City Planning comply with the requirements of this Section; and
- (3) no certificate of occupancy shall be issued by the Department of Buildings for any portion of a #building# utilizing the transferred #residential floor area# until the Chairperson of the City Planning Commission certifies to the Department of Buildings that such #building# has been constructed in accordance with the plan certified by the Chairperson pursuant to paragraph (b)(2) of this Section.

Notices of restrictions shall be filed by the owners of the granting site and the receiving site in the Office of the Register of the City of New York, indexed against the granting site and the receiving site(s), certified copies of which shall be submitted to the Department of City Planning. Notice by the Department of City Planning of its receipt of certified copies thereof shall be a condition to issuance of a building permit for a #building# on the receiving site containing any such transferred #residential floor area#.

The transfer of #residential floor area#, once completed, shall irrevocably reduce the maximum #residential floor area# permitted on the granting site. Any #building# on a receiving site that uses the #residential floor area# so transferred shall comply with all other applicable #bulk# regulations of this Chapter.

**139-22**  
**Special Yard Regulations**

The underlying #yard# and #rear yard equivalent# regulations shall apply, as modified by the provisions of this Section, inclusive.

**139-221**  
**Permitted obstructions in required yards**

In all #Commercial#, #Manufacturing#, and #Mixed Use Districts#, the permitted obstruction provisions of paragraph (b)(3) of Section 33-23 and paragraph (b)(1) of Section 43-23 shall be modified such that, in any #rear yard#, any #building# or portion of a #building# used for any permitted non-#residential use# (except any #building# portion containing rooms used for living or sleeping purposes) shall be a permitted obstruction, provided that the height of such #building#, or portion thereof, shall not exceed two #stories#, excluding #basements#, nor in any event 30 feet above #curb level#.

**139-222**  
**Rear yards and rear yard equivalents**

In all #Manufacturing Districts#, the provisions of 43-26 (Minimum Required Rear Yards) and 43-261 (Beyond one hundred feet of a street line) shall not apply. In lieu thereof, a #rear yard# shall be provided at the minimum depth set forth in the table below for the applicable height above the #base plane#, at every #rear lot line# on any #zoning lot#.

**REQUIRED DEPTH OF REAR YARD**

Height above #base plane#	Required depth
Below 65 feet	10
Above 65 feet and below 125 feet	15
Above 125 feet	20

In addition, in all #Manufacturing# and #Mixed Use Districts#, the provisions of Section 43-28 (Special Provisions for Through Lots) shall be modified such that no #rear yard equivalent# shall be required on any #through lot# or #through lot# portion of a #zoning lot#.

**139-223**  
**Required yards along district boundaries**

In #Manufacturing# and #Mixed Use Districts#, the provisions of Section 43-304 (Required front yards along district boundary located in a street) shall not apply.

In #Commercial#, #Manufacturing#, and #Mixed Use Districts#, the underlying yard requirements applying along district boundaries of Sections 33-292 (Required yards along district boundary coincident with rear lot lines of two adjoining zoning lots), 33-293 (Required yards along district boundary coincident with side lot line of zoning lot in a Commercial District), 43-302 (Required yards along district boundary coincident with rear lot lines of two adjoining zoning lots) and 43-303 (Required yards along district boundary coincident with side lot line of zoning lot in a Manufacturing District), shall be superceded by the provisions of this Section as follows:

- (a) When #side# or #rear lot lines# coincide with a #side lot line# of a #zoning lot# in an adjoining #Residence District#, an open area not higher than #curb level#, and at least eight feet in depth, shall be provided; and
- (b) Where #side# or #rear lot lines# coincide with the #rear lot line# of a #zoning lot# in an adjoining #Residence District#, an open area not higher than 30 feet above #base plane# and at least 20 feet in depth, shall be provided.

### 139-224

#### Waterfront yards

The provisions of Section 62-33 (Special Yard Regulations on Waterfront Blocks) shall be modified such that a #waterfront yard# shall be provided in accordance with the provisions of Section 62-332 (Rear yards and waterfront yards) on all #waterfront zoning lots#, as that term is defined in Section 62-11, regardless of #use#.

The depth of the #waterfront yard# shall be measured from the #zoning lot line# adjoining the Gowanus Canal, or where the provisions of paragraph (f) of Section 139-51 (Area-Wide Modifications) are utilized, from the bulkhead. The depth of the #waterfront yard# may be reduced as set forth in Section 62-332.

### 139-23

#### Special Height and Setback Regulations

The height and setback regulations of the applicable underlying districts are modified as follows:

- (a) In #Commercial Districts#, the height and setback regulations of Section 35-60 (MODIFICATION OF HEIGHT AND SETBACK REGULATIONS) shall apply to all #buildings#, as modified by the provisions of this Section, inclusive.
- (b) In #Mixed Use Districts#, the height and setback regulations of Section 123-60 (SPECIAL BULK REGULATIONS) shall apply, as modified by the provisions of this Section, inclusive.
- (c) In #Manufacturing Districts#, the underlying height and setback regulations of Sections 43-43 (Maximum Height of Front Wall and Required Front Setbacks), 43-44 (Alternate Front Setbacks), and 43-45 (Tower Regulations) shall not apply. In lieu thereof, minimum and maximum base heights and maximum heights for #buildings or other structures# shall be as set forth in this Section, inclusive. The other underlying regulations of Article IV, Chapter 3 (Bulk Regulations) shall apply, as modified by the provisions of this Section, inclusive.
- (d) The special #bulk# regulations applicable in the #waterfront area# of Section 62-30 (SPECIAL BULK REGULATIONS) shall not apply. In lieu thereof, the height and setback regulations of this Section, inclusive, shall control.

The height of all #buildings or other structures# shall be measured from the #base plane#.

### 139-231

#### General provisions

For the purposes of applying the applicable #bulk# regulations, the boundaries of #waterfront public access areas#, as well as #lot lines# abutting #public parks#, shall be considered #narrow street lines#.

Where a continuous sidewalk widening is provided along the entire frontage of a #zoning lot#, the interior boundary of such widening shall be considered a #street line# for the purpose of applying the height and setback regulations of this Chapter, except that where a sidewalk widening is provided pursuant to Section 139-43 (Sidewalk Widening Requirements), any setback required by this Section may be reduced by one foot for each foot by which the sidewalk is widened, provided that no setback shall be less than seven feet in depth.

Where a provision of this Chapter allows a modification to the maximum #building# height, and multiple modifications apply to a #building#, such modifications shall be applied cumulatively.

### 139-232

#### Permitted obstructions

In all districts, the underlying permitted obstruction regulations shall be modified by this Section.

- (a) Solar energy systems

The underlying permitted obstruction regulations shall be modified to permit solar energy systems as a permitted obstruction up to a #lot coverage# of 100 percent of the #lot coverage# of the roof.

- (b) Balconies

Unenclosed balconies complying with the provisions of Section 23-132 (Balconies in R6 through R10 Districts) may encroach into any required open area on the #zoning lot#. However, balconies that encroach into #waterfront public access areas# shall be regulated by the provisions of paragraph (a)(1) Section 139-51 (Area-Wide Modifications).

- (c) Dormers

Above the maximum base height, dormers shall be permitted to encroach into a required setback area, except setback areas adjoining tower portions of #buildings# and setback areas facing #waterfront public access areas#, provided that:

- (1) The aggregate width of all dormers does not exceed 50 percent of the width of the #street wall# of the highest #story# entirely below the maximum base height;
- (2) The aggregate width of all dormers with a depth exceeding seven feet does not exceed 30 percent of the width of the #street wall# of the highest #story# entirely below the maximum base height.

Such dormers need not decrease in width as the height above the maximum base height increases.

### 139-233

#### Special height and setback regulations in Subdistrict A

In Subdistrict A, the underlying district regulations shall be modified by the provisions of this Section.

- (a) Street wall location

The #street wall# location requirements of paragraph (b) of Section 35-651 (Street wall location) shall apply to all #buildings#.

- (b) Base heights and setback requirements

The maximum height of #buildings or other structures# shall be as set forth in Sections 35-652 (Maximum height of buildings and setback regulations) or 35-654 (Modified height and setback regulations for certain Inclusionary Housing buildings or affordable independent residences for seniors), as applicable.

In addition, for all #non-residential buildings#, the provisions of paragraph (b)(1) of Section 35-652 shall be modified such that the minimum and maximum base height, maximum #building# height, and maximum number of #stories# for #Quality Housing buildings# with #qualifying ground floors# shall be as set forth in paragraph (b) of Section 23-664 (Modified height and setback regulations for certain Inclusionary Housing buildings or affordable independent residences for seniors).

### 139-234

#### Special height and setback regulations in Subdistrict B

In Subdistrict B, the underlying district regulations shall be modified by the provisions of this Section.

- (a) Street wall location

In #Manufacturing Districts#, 30 percent of the #street wall# shall be located within eight feet of the #street line# and shall extend to at least the minimum #base height# specified in paragraph (b) of this Section, or the height of the #building#, whichever is lower.

In #Mixed Use Districts#, at least 70 percent of the #aggregate width of street walls# shall be located within eight feet of the #street line# and extend to at least the minimum #base height# specified in paragraph (b) of this Section or the height of the #building#, whichever is lower. Up to 30 percent of the #aggregate width of street walls# may be recessed beyond eight feet of the #street line#, provided that any such recesses deeper than 10 feet along a #wide street# or 15 feet along a #narrow street# are located within an outer court.

- (b) Minimum and maximum base heights

In all districts, #street walls# shall rise without setback to a minimum base height set forth in this paragraph (b) or the height of the #building#, whichever is less, and may rise to a maximum base height as set forth in this paragraph (b). In #Manufacturing Districts#, minimum and maximum base heights and maximum heights of #buildings or other structures# shall be as set forth in Table 1 below. In #Mixed Use Districts#, such regulations shall be as set forth in Table 2.

Table 1
MINIMUM BASE HEIGHT, MAXIMUM BASE HEIGHT, AND
MAXIMUM BUILDING HEIGHT – FOR M1-4 DISTRICTS
(in feet)

Table with 4 columns: District, Minimum base height, Maximum base height, Maximum #building# height. Rows include in Subarea B1 and in Subarea B2.

Table 2
MINIMUM BASE HEIGHT, MAXIMUM BASE HEIGHT, AND
MAXIMUM BUILDING HEIGHT – FOR MIXED USE DISTRICTS
(in feet)

Table with 4 columns: District, Minimum base height, Maximum base height, Maximum #building# height. Rows include M1-4/R6B, M1-4/R6A, M1-4/R7A, and M1-4/R7X.

However, for #zoning lots# with a #lot area# greater than or equal to 20,000 square feet, and located in a #Manufacturing District#, a #building# containing non-#residential uses# may exceed the maximum #building# heights established in Table 1 and 2, as applicable, by 30 feet.

(c) Setback requirements

At a height not lower than the minimum base height or higher than the maximum base height, a setback shall be provided which complies with the requirements of paragraph (c) of Section 23-662.

139-235
Special height and setback regulations in Subdistrict C

(a) Street wall location

At least 70 percent of the #aggregate width of street walls# shall be located within eight feet of the #street line# and shall extend to at least the minimum base height specified in paragraph (b) of this Section, or the height of the #building#, whichever is lower. Up to 30 percent of the #aggregate width of street walls# may be recessed beyond eight feet of the #street line#, provided that any such recesses deeper than 10 feet along a #wide street# or 15 feet along a #narrow street# are located within an outer court. However, no #street wall# location requirement shall apply to the #street walls# facing a #shore public walkway#.

(b) Minimum and maximum base heights

Except as otherwise specified in this paragraph (b), #street walls# shall rise without setback to a minimum base height of 40 feet or the height of the #building#, whichever is less, and may rise to a maximum base height as set forth in this paragraph (b). However, no minimum base height shall be required for #street walls# facing a #shore public walkway#.

- (1) Along Bond Street, the minimum base height shall be 30 feet, and the maximum base height shall be 55 feet. No portion of a #building# located within 65 feet of Bond Street may rise above a height of 65 feet.
(2) Along Union Street, between Nevins Street and the Gowanus Canal, the maximum base height shall be 85 feet.
(3) Along Degraw Street, between Nevins Street and the Gowanus Canal, the maximum base height shall be 85 feet.
(4) Along all other #streets#, as well as along the Gowanus Canal, the maximum base height shall be 65 feet.

(c) Setback requirements

At a height not lower than the minimum base height or higher than the maximum base height, a setback with a minimum depth of 15 feet shall be provided. Such setback shall also comply with the requirements of paragraph (c) of Section 23-662.

(d) Tower regulations

(1) Tower location

Any portion of a #building# located above a height of 85 feet shall be considered a "tower". No portion of a tower may be located:

- (i) within 30 feet of the #street line# of Nevins Street;

- (ii) within 65 feet of Bond Street; or
(iii) within 30 feet of a #waterfront yard#. However, for #zoning lots# located south of Carroll Street, no portion of a tower shall be permitted within 10 feet of the #waterfront yard# adjoining the First Street Basin.

(2) Tower width

The #street wall# of any tower facing a #shore public walkway# shall not exceed 100 feet in width. Where multiple towers are provided, the combined #street wall# width of all such towers shall not exceed 130 feet.

However, for #zoning lots# located south of Carroll Street, the combined #street wall# width of all towers located west of the required #visual corridor# shall not exceed 150 feet.

(3) Tower coverage

Above a height of 175 feet, any tower shall set back such that it occupies a #lot coverage# no greater than 80 percent of the #story# located immediately below.

(4) Tower height

The maximum height of a tower shall be 225 feet.

(5) Regulations for multiple towers

Wherever two towers are provided on the same #zoning lot#, there shall be a difference in height between such towers of at least 50 feet. The taller of the two towers shall be located north of the mid-#block# line of the #block#.

However, for #zoning lots# located south of Carroll Street, the taller of the two towers shall be located west of the required #visual corridor#. The shorter of the two towers shall be located east of the required #visual corridor#, and no less than 65 feet from Carroll Street.

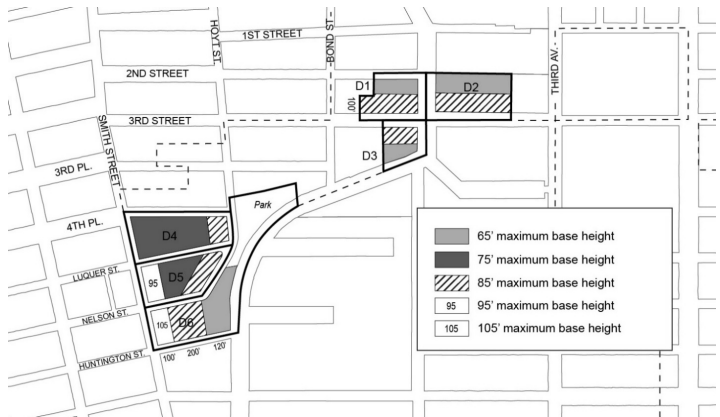
139-236
Special height and setback regulations in Subdistrict D

(a) Street wall location

At least 70 percent of the #aggregate width of street walls# shall be located within eight feet of the #street line# and extend to at least the minimum #base height# specified in paragraph (b) of this Section, or the height of the #building#, whichever is lower. Up to 30 percent of the #aggregate width of street walls# may be recessed beyond eight feet of the #street line#, provided that any such recesses deeper than 10 feet along a #wide street# or 15 feet along a #narrow street# are located within an outer court. However, no #street wall# location requirement shall apply to the #street walls# facing a #shore public walkway#.

(b) Minimum and maximum base heights

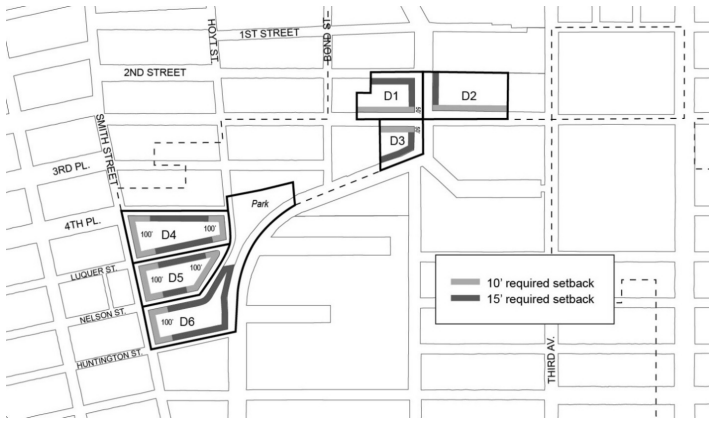
For #zoning lots# in Subareas D1 through D6, #street walls# shall rise without setback to a minimum base height of 40 feet or the height of the #building#, whichever is less, and may rise to a maximum base height as set forth in the map in this paragraph (b). However, this requirement shall not apply to the #aggregate width of street walls# facing a #shore public walkway#.



(c) Setback requirements

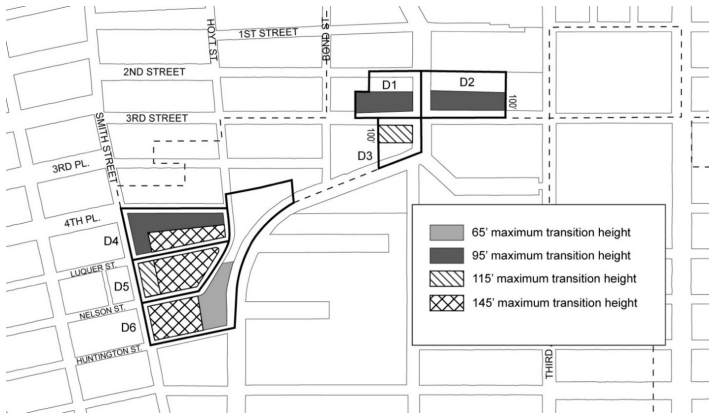
At a height not lower than the minimum base height or higher than the maximum base height, setbacks shall be provided with a minimum depth as set forth in the map in this paragraph (c).

Such setbacks shall also comply with the provisions of paragraph (c) of Section 23-662 (Maximum height of buildings and setback regulations).



(d) Transition heights

Any portion of a #building# located above the setback required by paragraph (c) of this Section shall be permitted to rise to a maximum "transition height" as set forth in this paragraph (d). Any portion of a #building# located above the maximum transition height shall be considered a "tower" and shall comply with the provisions of paragraph (e) of this Section. Except as otherwise set forth in the map in this paragraph (d), such maximum transition height shall be 85 feet.



(e) Tower regulations

(1) Tower location

Any portion of a #building# located above the maximum transition height set forth in paragraph (d) shall be considered a "tower". No portion of a tower may be located:

- (i) in Subarea D4, within 150 feet of Smith Street or within 150 feet of Hoyt Street;
- (ii) in Subarea D5, within 80 feet of Smith Street or within 200 feet of Smith Street north of the mid-#block# line; or
- (iii) within 30 feet of a #waterfront yard#.

(2) Tower width

The #street wall# of any tower facing a #shore public walkway# shall not exceed 100 feet in width. Where multiple towers are provided, the combined #street wall# width of all such towers shall not exceed 130 feet.

However, in Subarea D4, where multiple towers are provided, the combined #street wall# width of all such towers shall not exceed 170 feet.

(3) Tower coverage

In Subareas D1, D2, and D3, above a height of 175 feet, any tower shall set back such that it occupies a #lot coverage# no greater than 80 percent of the #story# located immediately below.

In Subareas D5 and D6, the portion of any tower containing the top four #stories# of such tower shall set back such that it occupies a #lot coverage# no greater than 80 percent of the #story# located immediately below.

(4) Tower height

Except as otherwise specified in this paragraph (e)(4), the maximum height of a tower shall be 225 feet.

- (i) In Subarea D4, towers shall be permitted to rise to a height of 285 feet.
- (ii) In Subarea D5, towers shall be permitted to rise to a height of 245 feet.
- (iii) In Subarea D6, towers shall be permitted to rise to a height of 305 feet.

(5) Regulations for multiple towers

- (i) In Subareas D1 and D2, no more than two towers shall be permitted on a #zoning lot#.
- (ii) In Subareas D4 and D5, no more than two towers shall be permitted in each subarea.
- (iii) In Subareas D3 and D6, no more than one tower shall be permitted in the subarea.
- (iv) Wherever two towers are provided on the same #zoning lot#, there shall be a difference in height between such towers of at least 50 feet.

In addition, in Subarea D1, the taller of the two towers shall be located within 100 feet of Third Street.

139-237

Special street wall articulation requirements

In all subdistricts, for #street walls# with widths exceeding 200 feet, a minimum of 20 percent and no more than 50 percent of the surface area of such #street walls# above the level of the second #story#, or a height of 30 feet, whichever is lower, shall either recess or project a minimum of three feet from the remaining surface of the #street wall#. Any such recess or projection shall be considered a permitted obstruction into a required setback, and the depth of such recess or projection shall not exceed three feet.

In addition, in Subdistrict D, the underlying dormer provisions of paragraph (c) of Section 23-621 shall be modified for portions of #buildings# facing Third Street, so that above the maximum base height, dormers shall be permitted only within 75 feet of the intersection of two #streets#.

139-238

Special height regulations for zoning lots containing schools

In Subdistrict C, and in Subareas D1, D2, and D3, for #zoning lots# containing #schools# regulated by Section 139-213 (Special provisions for zoning lots containing schools), the maximum tower height specified by the regulations in this Section, inclusive, may be increased as-of-right by 40 feet. This allowance may be further modified by the provisions of Section 139-47 (Authorization for sites containing schools).

139-30

SPECIAL PARKING REGULATIONS

In Subdistricts A, B, C, and D, the underlying parking and loading regulations shall be modified by the provisions of this Section. On #waterfront blocks#, the provisions of Section 62-40 shall not apply. In Subdistrict E, the underlying regulations shall apply.

139-31

Special Accessory Off-Street Parking Regulations

139-311

Reduction of parking requirements for residences

In all districts, for the purposes of applying the provisions of Sections 36-33 and 123-72, the provisions of Section 25-23 shall be modified to require that #accessory# off-street parking spaces be provided for at least 20 percent of #residences# on a #zoning lot#.

For the purposes of applying waivers, the provisions of of Section 25-26 shall be modified so that the maximum number of #accessory# off-street parking spaces for which requirements are waived is 20 spaces.

Notwithstanding the above, in Subarea D4, and in Subarea D5 north of the mid-#block# line, no #accessory# off-street parking spaces for #residences# shall be required.

139-312

Elimination of parking requirements for non-residential uses

In all districts, no #accessory# off-street parking spaces shall be required for #manufacturing#, #commercial#, or #community facility uses#.

139-313

Off-site parking facilities

For #residences# in #Commercial# and #Mixed Use Districts#, the provisions of Sections 25-51 and 36-42 (Off-site Spaces for Residences) shall be modified to allow the #zoning lot# containing required

#accessory# off-street parking spaces for #residences# to be located in any zoning district, as well as anywhere within the #Special Gowanus Mixed Use District#.

### **139-314**

#### **Joint facilities**

For #residences# in #Commercial# and #Mixed Use Districts#, the provisions of Sections 25-541 and 36-441 (Joint facilities) shall not apply. In lieu thereof, the provisions of this Section shall apply.

Required #accessory# off-street parking spaces may be provided in facilities designed to serve jointly two or more #buildings# or #zoning lots#, provided that the number of spaces in such joint facilities shall be not less than that required for the combined number of #dwelling units# in such #buildings# or #zoning lots#, and provided that the design and layout of such joint facilities meets the standards of adequacy set forth in regulations promulgated by the Commissioner of Buildings.

### **139-315**

#### **Use of parking facilities for car sharing vehicles**

The underlying regulations regarding the occupation of #accessory# or required off-street parking spaces by #car sharing vehicles# shall be modified so that, in all districts, the number of spaces occupied by #car sharing vehicles# shall not exceed 20 percent of all spaces in a #group parking facility#.

### **139-316**

#### **Use of parking facilities for public parking**

All #accessory# off-street parking spaces may be made available for public use. However, parking spaces #accessory# to #residences# shall be made available to the occupant of a #residence# to which it is #accessory# within 30 days after written request is made to the landlord.

### **139-32**

#### **Special Permitted Off-Street Parking Regulations**

For portions of an #automated parking facility#, as that term is defined in Section 13-02, each tray upon which a vehicle is stored shall be considered one parking space, regardless of its size. In addition, at a height in excess of 23 feet above #curb level# each parking tray shall be considered #floor area# in an amount of 153 square feet or the size of such lifted tray, whichever is greater.

### **139-33**

#### **Special Loading Regulations**

In all districts, the loading regulations of an M1-5 District shall apply, and shall be further modified as follows:

- (a) the requirements of Section 44-50 (GENERAL PURPOSES), inclusive, shall not apply to changes of #uses#;
- (b) the provisions of Section 44-53 (Special Provisions for a Single Zoning Lot With Uses Subject to Different Loading Requirements), and Sections 36-64 and 44-54 (Wholesale, Manufacturing, or Storage Uses Combined With Other Uses), shall not apply; and
- (c) the minimum length requirements for loading berths #accessory# to #commercial uses#, other than funeral establishments, set forth in Section 44-581 (Size of required loading berths) shall be increased to 37 feet.

### **139-34**

#### **Special Curb Cut Regulations**

For #zoning lots# existing on or after [date of adoption], with frontage along both a #primary street frontage# and a #secondary street frontage#, as set forth in Section 139-41 (Ground Floor Level Requirements), curb cuts accessing off-street parking spaces and loading berths shall not be permitted along the #primary street frontage#. In addition, no curb cut shall be permitted within 40 feet of a #waterfront public access area#.

Curb cuts prohibited by this Section may be authorized by the City Planning Commission provided the Commission finds that a curb cut at such a location:

- (a) is not hazardous to traffic safety;
- (b) will not create or contribute to serious traffic congestion, or unduly inhibit vehicular movement;
- (c) will not adversely affect pedestrian movement;
- (d) will not interfere with the efficient functioning of bus lanes, specially designated streets or public transit facilities; and
- (e) will not be inconsistent with the character of the existing streetscape.

The Commission may prescribe appropriate conditions and safeguards to minimize adverse effects on the character of the surrounding area.

### **139-40**

#### **DISTRICT PLAN ELEMENTS**

In all Subdistricts, the provisions of this Section shall apply to all #zoning lots#, as specified below.

### **139-41**

#### **Ground Floor Level Requirements**

For the purposes of applying the special #ground floor level# streetscape provisions set forth in Section 37-30 to this Chapter, the portion of a #ground floor level street# frontage considered a #primary street frontage# shall be as shown on Map 3 (Ground Floor Use Requirements) in Appendix A of this Chapter. A #ground floor level street# frontage along any other #street# shall be considered a #secondary street frontage#.

The provisions of this Section shall apply to #developments# or #ground floor level enlargements#.

#### (a) Along #primary street frontages#

##### (1) Type 1 #primary street frontages#

For #buildings#, or portions thereof, with Type 1 #primary street frontage#, #uses# on the #ground floor level#, to the minimum depth set forth in Section 37-32 (Ground Floor Depth Requirements for Certain Uses), shall be limited to #Gowanus retail and entertainment uses#, except for Type 1 lobbies and entrances and exits to #accessory# parking spaces provided in accordance with the applicable provisions of Section 37-33 (Maximum Width of Certain Uses). Group parking facilities located on the #ground floor level# shall be wrapped by #floor area# in accordance with the provisions of paragraph (a) of Section 37-35 (Parking Wrap and Screening Requirements). #Ground floor level street walls# shall be glazed in accordance with the provisions set forth in Section 37-34 (Minimum Transparency Requirements).

##### (2) Type 2 #primary street frontages#

For #buildings#, or portions thereof, with Type 2 #primary street frontage#, #uses# on the #ground floor level#, to the minimum depth set forth in Section 37-32, shall be limited to non-residential uses#, except for Type 1 lobbies and entrances and exits to #accessory# parking spaces provided in accordance with the applicable provisions of Section 37-33. Group parking facilities located on the #ground floor level# shall be wrapped by #floor area# in accordance with the provisions of paragraph (a) of Section 37-35. #Ground floor level street walls# shall be glazed in accordance with the provisions set forth in Section 37-34.

#### (b) Along #secondary street frontages#

For #buildings#, or portions thereof, with #secondary street frontage#, all #uses# permitted by the underlying district shall be permitted on the #ground floor level#, provided that any off-street parking spaces on the #ground floor level# shall be wrapped or screened in accordance with Section 37-35. Entrances and exits to accessory parking facilities shall be subject to the provisions of paragraph (b) of Section 37-33.

#### (c) For blank walls

In all districts, any #street wall# width exceeding 50 feet with no transparent elements on the #ground floor level# shall provide visual mitigation elements in accordance with the provisions of Section 37-36 (Special Requirements for Blank Walls).

### **139-42**

#### **Street Tree Requirements**

In all districts, all #developments#, or #enlargements# that increase the #floor area# on a #zoning lot# by 20 percent or more, shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting).

In addition, for #zoning lots# with over 100 feet of street frontage, wherever two required #street# tree pits will be separated by less than 25 feet, such tree pits shall be combined and designed as a single continuous tree pit.

### **139-43**

#### **Sidewalk Widening Requirements**

For #developments# along the portions of #streets# designated on Map 4 (Sidewalk Widening Lines) in Appendix A of this Chapter, a sidewalk widening shall be required, providing a total sidewalk width of:

- (a) 17 feet along Third Avenue;
- (b) 15 feet along Nevins Street; and
- (c) 13 feet along Fifth Street.

The total sidewalk width shall be measured perpendicular from the #street line#. Such sidewalk shall be improved to Department of

Transportation standards and shall be provided at the same level as the adjoining public sidewalk and be accessible to the public at all times.

Awnings and canopies shall be considered permitted obstructions within a sidewalk widening provided that no structural posts or supports may be located within any portion of the sidewalk or such widening.

**139-44  
Bridge Connection Requirements**

For all #zoning lots# abutting bridge structures supporting #streets# which cross the Gowanus Canal at Union Street, Carroll Street, and Third Street, and are subject to #waterfront public access area# requirements, such #waterfront public access area# shall be designed to provide pedestrian connection to the #street# adjacent to the terminus of the bridge structure.

The requirements of this Section may be waived where the New York City Department of Transportation determines that such a pedestrian connection to the #street# would result in a hazard to traffic safety.

**139-45  
Waterfront Public Access Area Requirements**

For all #waterfront zoning lots#, the exemptions from #waterfront public access area# requirements listed in paragraph (a) of Section 62-52 shall not apply.

(a) Reduced requirement for certain manufacturing uses

For #zoning lots# with #developments#, #enlargements#, or #conversions# comprised of #predominantly# Use Group 18 #uses#, as listed in Section 42-15, the reduced design requirements of Section 62-58 (Requirements for Water-Dependent Uses and Other Developments) shall apply to #waterfront public access areas#.

(b) Authorization for incompatible uses

For #zoning lots# comprised #predominantly# of Use Group 16, 17, or 18 #uses#, the City Planning Commission may authorize the waiver of #waterfront public access area# requirements, provided the Commission finds that:

- (1) such #uses# produce objectionable effects on its surroundings such that the #uses# are incompatible with a waterfront public access requirement; or
- (2) such #uses# have demonstrable operational requirements which would be incompatible with waterfront public access requirements; and
- (3) such waiver is the least necessary to accommodate the proposed #uses#.

Such waivers shall be in effect for as long as the proposed #use# remains on the #zoning lot#. Upon #development# of the #zoning lot# following cessation of the #use# for a period of more than two years, full compliance with #waterfront public access area# requirements, as may be modified by future approvals, is required.

**139-46  
Transit Improvements**

**[Note: the provisions of Section 139-461 will be removed upon adoption of similar provisions in Elevate Transit – Zoning for Accessibility.]**

**139-461  
Certification for transit easements**

For all #developments#, or #enlargements# involving ground floor level construction, on a #zoning lot# with a #lot area# of 5,000 square feet or greater and wholly or partially located within 50 feet of a subway station, a transit easement volume may be needed on such #zoning lot# for public access between the #street# and the adjacent above- or below-grade subway station, pursuant to paragraph (a) of this Section.

(a) Transit easement volume certification

Prior to filing any application with the Department of Buildings for an excavation permit, foundation permit, new building permit or alteration permit for a #development# or #enlargement#, the owner of the #zoning lot# shall file an application with the Metropolitan Transportation Authority (MTA) and the Chairperson of the City Planning Commission requesting a certification as to whether or not a transit easement volume is needed on the #zoning lot#.

Within 60 days of receipt of such application, the MTA and the Chairperson shall jointly certify whether or not a transit easement volume is needed on the #zoning lot#. Failure to certify within the 60-day period will release the owner from any obligation to provide a transit easement volume on such #zoning lot#.

When the MTA and the Chairperson indicate that a transit easement volume is needed, the MTA shall, in consultation with

the owner of the #zoning lot# and the Chairperson, determine the location and appropriate type of transit easement and reasonable dimensions for such transit easement volume, as well as the mechanism for and the terms of the eventual conveyance.

The owner shall submit a site plan showing a proposed location of such transit easement volume that would provide access between the #street# and the adjacent subway station and be compatible with the proposed #development# or #enlargement# on the #zoning lot# for joint approval and final certification by the MTA and the Chairperson. The MTA and the Chairperson shall comment on such site plan within 45 days of its receipt and may, within such 45-day period or following its expiration, permit the granting of an excavation permit while the location and size of the transit easement volume is being finalized. Upon joint approval of a site plan by the MTA and the Chairperson, copies of such certification shall be forwarded by the Chairperson to the Department of Buildings.

Legally enforceable instruments, running with the land, creating a transit easement volume, and setting forth the obligations of either the MTA or the owner and developer, their successors and assigns, to design and construct the improvement, as well as other basic terms of the easement shall be executed and recorded in a form acceptable to the MTA and the Chairperson. The execution and recording of such instruments shall be a precondition to the issuance of any foundation permit, new building permit, or alteration permit by the Department of Buildings allowing such #development# or #enlargement#.

(b) Construction and maintenance

Where a transit easement volume is needed pursuant to this Section, transit access improvements within such volume shall be constructed and maintained either by the MTA or the owner of the #zoning lot# with the #development# or #enlargement#.

- (1) Where such mass transit improvement is constructed and maintained by the owner of the #development # or #enlargement#
  - (i) a transit access improvement shall be provided in accordance with standards set forth by the MTA;
  - (ii) such improvement shall be accessible to the public at all times, except as otherwise approved by the MTA;
  - (iii) such improvement shall include #signs# to announce accessibility to the public. Such #signs# shall be exempt from the maximum #surface area# of non-#illuminated signs# permitted by Section 32-642 (Non-illuminated signs); and
  - (iv) no temporary certificate of occupancy shall be granted by the Department of Buildings for the #building# until the Chairperson of the City Planning Commission, acting in consultation with the MTA, has certified that the improvement is substantially complete and usable by the public.
- (2) Where such mass transit improvement is constructed and maintained by the MTA:
  - (i) Where the construction of the improvement is not contemporaneous with the construction of the #development# or #enlargement#, any underground walls constructed along the #front lot line# adjacent to a below-grade subway station shall include a knockout panel, not less than 12 feet wide, below #curb level# down to the bottom of the easement. The actual location and size of such knockout panel shall be determined through consultation with the MTA.
  - (ii) Temporary construction access shall be granted to the MTA on portions of the #zoning lot# outside of the transit easement volume, as necessary, to enable construction within and connection to the transit easement volume.
  - (iii) In the event that the MTA has approved of obstructions associated with the #development# or #enlargement# within the transit easement volume, such as building columns or footings, such construction and maintenance shall exclude any such obstructions within the transit easement volume.

(c) Additional modifications

Where a transit easement volume is needed pursuant to paragraph (a) of this Section, the Chairperson of the City Planning Commission shall certify the following modifications in conjunction with such transit easement volume certification:

- (1) the edge of the transit easement volume facing the #street# shall be considered a #street wall# for the purposes of applying the #street wall# location provisions set forth in



Section 139-23 (Special Height and Setback Regulations), inclusive, irrespective of whether such volume is incorporated into a #building#;

- (2) for #zoning lots# adjacent to a below-grade subway station, the maximum height for the #building# set forth in Section 139-23, inclusive, shall be increased by 10 feet;
- (3) the floor space contained within any transit easement volume needed pursuant to this Section shall be excluded from the definition of #floor area#; and
- (4) the street frontage of such transit easement volume shall be excluded for the purpose of applying the provisions of Section 139-41 (Ground Floor Level Requirements).

(d) Temporary use

Any easement volume needed on a #zoning lot# pursuant to paragraph (a) of this Section may be temporarily used for any permitted #commercial# or #community facility uses# until such time as needed by the MTA for transit access improvements. The floor space allocated to such temporary #uses# within the transit easement volume shall continue to be exempt from the definition of #floor area# and shall not be included for the purpose of calculating #accessory# off-street parking, bicycle parking, or loading berths.

Improvements or construction of a temporary nature within the easement volume for such temporary #uses# shall be removed by the owner of the #building# or portion of the #zoning lot# within which the easement volume is located prior to the time at which public #use# of the easement area is needed, except as otherwise specified by the MTA. A minimum notice of six months shall be given, in writing, by the MTA to the owner of the #building# or portion of the #zoning lot# to vacate the easement volume.

(e) Termination of an easement volume

In the event that the MTA and the City Planning Commission jointly notify the Department of Buildings and the owner in writing that a transit easement volume is not needed on a #zoning lot# in its final construction plans, the restrictions imposed on such #zoning lot# by the provisions of this Section shall lapse, following receipt of notification thereof by the owner, and the owner shall have the right to record an instrument reciting the consent of the MTA to the extinguishment of the easement volume.

On any #zoning lot# which has been #developed# or #enlarged# in accordance with the provisions of this Section and on which termination of transit easement has been certified, pursuant to this paragraph, any floor space in a previously needed transit easement volume shall continue to be exempt from the definition of #floor area# and shall not be included for the purpose of calculating requirements for #accessory# off-street parking, bicycle parking or loading berths. However, where such previously needed volume is located within a #building#, the ground floor space shall be subject to the provisions of Section 139-41 (Ground Floor Level Requirements).

**139-462**

**Certification for transit improvements**

In #Commercial Districts# with a residential equivalent of an R9 District, for #developments# on #zoning lots# that are located within 500 feet of the Union Street subway station, the Chairperson of the City Planning Commission may, by certification to the Commissioner of Buildings, allow a #development# to:

- (1) receive a #floor area# bonus not to exceed 20 percent of the maximum #floor area ratio# permitted by Section 139-211 (Basic floor area regulations); and
- (2) further modify additional height permitted pursuant to paragraph (c)(2) of Section 139-461, provided the total combined modification does not exceed 30 feet;

where a major improvement to the Union Street subway station consisting of one new off-street station entrance with an accessible route for persons with physical disabilities between two levels servicing the southbound platform is provided.

Prior to issuing such a certification, the Chairperson shall be provided with a letter and legal instrument as set forth in paragraph (e) of Section 139-463. The #development# shall also be subject to the recordation and completion procedures set forth in paragraph (f) of Section 139-463.

**[Note: the provisions of Section 139-463 will be removed upon adoption of similar provisions in Elevate Transit – Zoning for Accessibility.]**

**139-463**

**Authorization for transit improvements**

In #Commercial Districts# with a residential equivalent of an R9 District, for all #developments# or #enlargements# on a #zoning lot# that is wholly or partially located within 500 feet of a subway station, the City Planning Commission may authorize a #floor area# bonus not to exceed 20 percent of the basic maximum floor area ratio permitted by Section 139-21 (Floor Area Regulations), and may modify the maximum #building height# permitted by Section 139-23 (Special Height and Setback Regulations), provided the modification does not exceed 30 feet, and street wall location requirements of Section 139-23 (Special Height and Setback Regulations) and the street wall continuity provisions of Section 139-41 (Ground Floor Level Requirements) where major improvements to adjacent subway stations are provided in accordance with the provisions of this Section.

The selection of subway station improvements shall be on a case-by-case basis and shall be subject to the approval of the Metropolitan Transportation Authority (MTA), and the City Planning Commission. All such improvements shall comply with all applicable design standards of the current station planning guidelines of MTA.

(a) Pre-application requirements

Prior to submitting an application for an authorization pursuant to this Section, the applicant shall submit a schematic or concept plan for the proposed improvement to the MTA and the Chairperson of the City Planning Commission.

(b) Requirements for application

An application for an authorization pursuant to this Section shall include a letter from MTA to the City Planning Commission containing conceptual approval of the improvement and a statement of any special considerations regarding MTA's future operation of the improvement. The applicant shall submit all information and justification sufficient to enable the City Planning Commission to:

- (1) evaluate the benefits to the City;
- (2) determine the appropriate amount of bonus #floor area#; and
- (3) where applicable, assess the advantages and disadvantages of waiving or modifying #street wall# continuity requirements.

(c) Conditions

- (1) The additional #floor area# authorized shall not exceed 20 percent of the basic maximum #floor area ratio# established in Row G of the table in Section 139-211 (Basic floor area regulations).
- (2) The amount of modification to the maximum #building height# established in Section 139-23 (Special Height and Setback Regulations) shall not exceed 20 percent of the maximum #building height#.

(d) Findings

- (1) In determining the amount of #floor area# bonus, the City Planning Commission shall consider the degree to which:
  - (i) the general accessibility and security of the subway station will be improved by the provision of new connections, additions to or reconfigurations of circulation space, including provision of escalators or elevators; and
  - (ii) significant improvements to the station's environment by increasing direct daylight access, or improvements to noise control, air quality, lighting or rider orientation and satisfactory integration of the #street# level entryway into the #development# or #enlargement# will occur.
- (2) In determining #bulk# modifications, the City Planning Commission shall find that such modifications would not unduly obstruct the light and air of neighboring properties.
- (3) In determining modifications to ground floor level requirements, the City Planning Commission shall find that the provisions of a subway improvement cannot be accommodated without modification to these requirements.
- (4) In determining modifications to #street wall# provisions, the Commission shall find that the modification will permit the proposed design to provide for access of daylight and air to the subway platform, mezzanine or concourse and that the advantages of such access outweigh the disadvantages incurred by the interruption of #street wall# and retail continuity.

(e) Procedural requirements

Prior to the granting of an authorization, the City Planning Commission shall be provided with the following:

- (1) a letter from MTA stating that the drawings and other documents submitted by the applicant have been determined by MTA to be of sufficient scope and detail to fix and describe the size and character of the subway improvement as to architectural, structural, mechanical and electrical systems, materials, relationship to existing site conditions and such other conditions as may be appropriate, and that the construction of the subway improvement in accordance with such submission is feasible; and
- (2) a legally enforceable instrument, acceptable of the Department of City Planning, running with the land and signed by the applicant and all parties in interest, other than parties in interest who have waived and subordinated their interests, containing complete drawings of the improvement and setting forth the obligations of owner and developer, their successors and assigns, to construct and provide capital maintenance for the improvement, establish a construction schedule and provide a performance bond for completion of the improvement.

(f) **Recordation and completion procedures**

Any instrument creating a transit easement on the #zoning lot# pursuant to paragraph (e)(2) of Section 139-462 shall be recorded against the #zoning lot# receiving the #floor area# bonus in the Office of the Register of the City of New York and a certified copy of the instrument shall be submitted to the City Planning Commission and MTA. The applicant shall not apply for nor accept a temporary certificate of occupancy for the bonus #floor area#, and the Department of Buildings shall not issue such a temporary certificate of occupancy, until MTA has determined that the bonused subway improvement is substantially complete which shall, for this purpose, mean open to and usable by the public.

The applicant shall not apply for or accept a permanent certificate of occupancy for the #development# or #enlargement#, nor shall the Department of Buildings issue such permanent certificate of occupancy, until the bonused subway improvement has been completed in accordance with the approved plans and such completion has been certified by MTA.

The Commission may prescribe additional appropriate conditions and safeguards to enhance the character of the surrounding area.

**139-47  
Authorization for sites containing schools**

For #zoning lots# containing #schools# regulated by the provisions of Section 139-214 (Special provisions for zoning lots containing schools), the City Planning Commission may authorize the modification of any #bulk# regulation, including the amount of floor space exempted from the definition of #floor area# by Section 139-214, in order to better accommodate a #school# upon such #zoning lot#.

(a) **Conditions**

- (1) No modification to the maximum #building# height shall exceed 30 feet; and
- (2) No modification to the amount of floor space exempted from the definition of #floor area# shall exceed an additional 60,000 square feet of floor space.

(b) **Findings**

In determining such modifications, the Commission shall find:

- (1) such modification is the least modification required to achieve the purpose for which it is granted;
- (2) the proposed modification does not impair the essential character of the surrounding area; and
- (3) the proposed modification will not have adverse effects upon light, air, and privacy of adjacent properties and of any existing #buildings# on the #zoning lot#.

Applications for authorizations shall be referred to the affected Community Board for a period of at least 30 days for comment. The Commission shall grant in whole or in part or deny the application within 60 days of the completion of the Community Board review period.

**139-48  
Authorization for Large Mixed-use Sites**

In Subdistrict B, for #developments# on #zoning lots# located in a #Mixed-Use District#, on a #zoning lot# greater than 40,000 square feet in #lot area#, the City Planning Commission may authorize the modification of the regulations set forth in paragraph (a) of this Section to facilitate a #development# that will result in a mix of #predominantly# non-#residential uses# on the #zoning lot#, provided that the findings set forth in paragraph (b) of this Section are met.

(a) **Modifications**

The Commission may modify the following regulations:

- (1) the #use# regulations of this Chapter, limited to ground floor #use# regulations and supplemental #use# regulations;
- (2) the #bulk# regulations of this Chapter, except #floor area ratio# regulations, provided that any modifications to height and setback regulations do not exceed the heights permitted in an M1-4 District as set forth in Section 43-43; and
- (3) the parking regulations related to the number of required #accessory# off-street parking spaces and the location and spacing of curb cuts.

(b) **Findings**

In order to grant such authorization, the Commission shall find that:

- (1) where modifying #bulk# regulations, such modifications shall result in a superior configuration of non-#residential uses# within the #building# than would be feasible by applying the #Special Gowanus Mixed Use District# regulations;
- (3) where modifying ground floor #use# regulations, the advantages of an off-street loading and access outweigh the disadvantages incurred by the interruption of retail continuity; and
- (4) where modifying supplemental #use# and parking regulations, that such modifications would present a limited interruption and would not create serious vehicular traffic congestion that would adversely affect the surrounding area.

Upon completion of the #development#, the #zoning lot# shall remain occupied by #predominantly# non-#residential use#. Such requirements shall be reflected in a notice of restrictions recorded against all tax lots comprising such #zoning lot#, and a copy of such notice shall be provided to the Department of Buildings.

The Commission may prescribe appropriate conditions and safeguards to minimize adverse effects on the character of the surrounding area.

**139-50  
GOWANUS CANAL WATERFRONT ACCESS PLAN**

The provisions of Article VI, Chapter 2 (Special Regulations Applying in the Waterfront Area), shall apply, except as superseded, supplemented or modified by the provisions of this Section, inclusive.

The boundaries of the area comprising the Gowanus Canal Waterfront Access Plan, and the location of certain features mandated or permitted by the Plan, are shown on the maps in Appendix B of this Chapter.

The waterfront access plan has been divided into Parcels as shown on Map 1 of Appendix B of this Chapter, consisting of tax #blocks# and lots existing on [date of referral], as follows:

Parcel 1:	Block 417, Lots 1, 10, 14, 21
Parcel 2:	Block 424, Lots 1, 20
Parcel 3:	Block 431, Lots 1, 2, 5, 6, 7, 12, 17, 43
Parcel 4:	Block 425, Lot 1
	Block 432, Lots 15, 25, 7501
Parcel 5:	Block 439, Lot 1
Parcel 6:	Block 438, Lots 1, 2, 3, 7
	Block 445, Lots 1, 7, 8, 11, 20, 50
Parcel 7:	Block 452, Lots 1, 5, 19
	Block 458, Lot 1
Parcel 8a:	Block 453, Lots 1, 21
Parcel 8b:	Block 453, Lot 26
Parcel 8c:	Block 453, Lots 30, 31, 32, 33, 35, 36, 38, 39, 41, 42, 43, 44, 44, 45, 46, 48, 49, 50, 51
Parcel 8d:	Block 453, Lot 54
Parcel 9:	Block 967, Lot 1
Parcel 10:	Block 967, Lot 24
Parcel 11:	Block 972, Lots 1, 43, 58
Parcel 12:	Block 462, Lots 1, 3, 4, 5, 6, 8, 9, 12, 14, 42, 44, 50, 51
Parcel 13:	Block 466, Lot 19
Parcel 14a:	Block 466, Lots 17, 60
Parcel 14b:	Block 466, Lot 1
Parcel 14c:	Block 466, Lot 46
Parcel 15a:	Block 471, Lot 125
Parcel 15b:	Block 471, Lot 104, 110, 114, 116
Parcel 16:	Block 471, Lots 1, 100
Parcel 17:	Block 471, Lot 200

For the purposes of this Section, inclusive, the definition of #development# shall be as set forth in Section 62-11 (Definitions).

**139-51  
Area-Wide Modifications**

The provisions of Article VI, Chapter 2 (Special Regulations Applying in the Waterfront Area) shall be modified in the area comprising the

Gowanus Canal Waterfront Access Plan by the provisions of this Section.

- (a) All #waterfront public access areas#
- (1) Balconies  
Balconies complying with the provisions of Section 23-132 (Balconies in R6 through R10 Districts) shall be permitted obstructions in #waterfront public access areas#, provided the depth of obstruction is limited to four feet, and provided they are located at or above the floor level of the third #story# above grade of the #building#.
- (2) Sun control devices  
Awnings and other sun control devices shall be permitted obstructions in #waterfront public access areas#. However, when located at a level higher than the first #story#, excluding a #basement#, all such devices:
- (i) shall be limited to a maximum projection from a #building# wall of 2 feet, 6 inches; and
- (ii) shall have solid surfaces that, in aggregate, cover an area no more than 30 percent of the area of the #building# wall (as viewed in elevation) from which they project.
- (3) Kiosks  
Where a #supplemental public access area# exceeds 15,000 square feet, a kiosk shall be a permitted obstruction in such #supplemental public access area# with an area up to 400 square feet, including roofed areas.
- (b) #Shore public walkways#
- (1) Width of circulation paths  
#Shore public walkways# shall provide a required circulation path with a minimum clear width of 10 feet. Secondary paths, where provided, shall have a minimum clear width of at least 4.5 feet.
- (2) Level of circulation paths  
At least 80 percent of a required circulation path shall be located at a level no less than six feet above the #shoreline#. However, up to 40 percent of such required circulation path may be provided below such level when providing access to a "get-down" located no more than two feet above the level of the #shoreline#.
- (3) Access to circulation paths  
The provisions of paragraph (a)(1) of Section 62-62 (Design Requirements for Shore Public Walkways and Supplemental Public Access Areas) shall apply, except that where a #shore public walkway# is on a #zoning lot# that is adjacent to a #zoning lot# which has not been improved with a #shore public walkway#, the portion of the circulation path that terminates at the common #zoning lot line# may be located within 40 feet of the shoreline.  
In addition, for #zoning lots# adjoining #streets# containing bridge structures, the required connection of circulation paths to such a #street# may be waived by certification by the Department of Transportation, pursuant to Section 139-44 (Bridge Connection Requirements).
- (4) Grading  
The provisions of paragraph (d)(2) of Section 62-61 (General Provisions Applying to Waterfront Public Access Areas) shall be modified so that within five feet of the edge of any planting area, the grade level of such planting area shall be no more than 36 inches higher or lower than the adjoining level of the pedestrian circulation path.
- (c) #Supplemental public access areas#
- (1) Lawns  
The provisions of paragraph (c)(1) of Section 62-62 shall be modified such that a lawn shall only be required where a #supplemental public access area# is greater than 15,000 square feet. The Commission may authorize use of artificial turf within a lawn pursuant to Section 62-822 (Modification of waterfront public access area and visual corridor requirements).  
Where required, a lawn may be substituted for a publicly accessible field of equivalent size, which may be unplanted, and shall be suitable for active recreational use.
- (2) Comfort stations  
Where a publicly-accessible comfort station is provided as part of a #development#, the amount of #supplemental

public access area# may be reduced by an amount equal to the size of the comfort station, provided that:

- (i) the comfort station has an entrance fronting upon a #waterfront public access area#; and
- (ii) a restrictive declaration, acceptable to the Department of City Planning and Department of Parks and Recreation, shall be executed and recorded, binding the owners, successors and assigns to provide and maintain such comfort station for the life of the #development#.
- (d) Screening  
Wherever a screening buffer is required to be provided, the minimum width of such buffer shall be four feet.  
In addition to the waiver allowances of paragraph (c)(2)(iii) of Section 62-62, no screening buffer shall be required along the upland boundary, or portion thereof, which is adjacent to an unenclosed seating area #accessory# to a #Gowanus retail and entertainment use#. Where a screening buffer is so waived, design features shall be utilized to demarcate the #shore public walkway# or #supplemental public access area# from the non-publicly accessible area, which may include, but shall not be limited to, railings, fences, planting boxes, and distinct paving materials.
- (e) #Street# treatment  
For #streets#, or portions thereof, located within the Gowanus Canal Waterfront Access Plan, the portion of the #street# that is adjacent to a #shore public walkway# shall be improved as upland access, for a depth equivalent to the adjacent #shore public walkway#. This upland access area shall be designed to include, at a minimum, the following design elements:
- (1) a foot path with a minimum clear width of ten feet, providing a connection to both the sidewalk located in the #street# as well as to the adjacent #zoning lot#;
- (2) eight linear feet of seating complying with Section 62-652 (Seating) for every 30 feet of #shoreline# upon which the #street# fronts; and
- (3) planted areas, containing planting or trees complying with Section 62-655 (Planting and trees) and occupying no less than 25 percent of the continuation area.
- The provisions of this paragraph (e) shall not apply to portions of #streets# which will be improved pursuant to a site plan approved prior to [date of adoption].
- (f) Bulkheads  
Wherever the United States Environmental Protection Agency requires the installation of a bulkhead in a location seaward of the #zoning lot line#, the area located between the #lot line# and bulkhead may be utilized for the purposes of satisfying the #waterfront public access area# requirements of the #zoning lot#. Where the provisions of this paragraph (f) are utilized, the location of the bulkhead shall be considered the #shoreline# for the purposes of providing the required #waterfront public access areas#.
- 139-52**  
**Special Public Access Provisions**  
 The provisions of Sections 62-50 (GENERAL REQUIREMENTS FOR VISUAL CORRIDORS AND WATERFRONT PUBLIC ACCESS AREAS) and 62-60 (DESIGN REQUIREMENTS FOR WATERFRONT PUBLIC ACCESS AREAS) are modified at the following designated locations which are shown on Map 1 in Appendix B of this Chapter.
- 139-521**  
**Parcels 4, 5, 13, 14 and 15**  
 On Parcels 4, 5, 13, 14 and 15, where a #shore public walkway# is required, such #shore public walkway# shall have a minimum width of 30 feet. The required minimum depth of a #waterfront yard# shall be 30 feet.
- 139-522**  
**Parcel 8**  
 On Parcels 8a, 8b, and 8d, where a #shore public walkway# is required, such #shore public walkway# shall have a minimum width of 20 feet. The required minimum depth of a #waterfront yard# shall be 30 feet, except that for #waterfront yards# adjoining the First Street Basin, the minimum depth shall be 20 feet. An area equal to at least 25 percent of the area of the #shore public walkway# shall be planted, and one linear foot of seating shall be provided for every 125 feet of frontage along the Gowanus Canal.
- 139-523**  
**Parcel 12**

On Parcel 12, where a supplemental public access area adjoining an upland connection or street is provided, such supplemental public access area shall be permitted to be provided with a maximum width to depth ratio of 3:1, and the longest side shall be permitted to adjoin the street.

139-524 Parcel 14

On Parcel 14a, a supplemental public access area shall be provided along the entire length of the lot line adjoining Parcel 13, connecting the street to the shore public walkway, and shall comply with the design reference standards applicable to a Type 1 upland connection set forth in Section 62-64 (Design Requirements for Upland Connections). Such supplemental public access area may coincide with a visual corridor required pursuant to Section 139-53 (Special Visual Corridor Provisions).

139-525 Parcel 17

On Parcel 17, the total lot area utilized in the calculation of required supplemental public access area shall include all zoning lot portions located within Parcel 17, including portions of a zoning lot located within a street.

139-53 Special Visual Corridor Provisions

The provisions of Sections 62-512 (Dimension of visual corridors) and 64-82 (Modification of Waterfront Regulations Relating to Level of Yards, Visual Corridors and the Ground Floor) shall be modified by the provisions of this Section.

The lowest level of a visual corridor shall be determined by establishing a plane connecting the two points along the street lines from which the visual corridor emanates at an elevation five feet above curb level with the two points where the prolonged street lines intersect the shoreline, stabilized natural shore, bulkhead, upland edge of a waterfront yard raised pursuant to the provisions of paragraph (a) of Section 62-512, or the base plane of a pier or platform, whichever intersection occurs first. Such plane shall then continue horizontally seaward from the line of intersection. Visual corridors that are not prolongations of mapped streets shall be determined by establishing a plane connecting an elevation five feet above curb level at the two points along the lot line from which the visual corridor emanates with the two points of intersection at the shoreline, stabilized natural shore, bulkhead, upland edge of a waterfront yard raised pursuant to the provisions of paragraph (a) of Section 62-512, or the base plane of a pier or platform, whichever intersection occurs first.

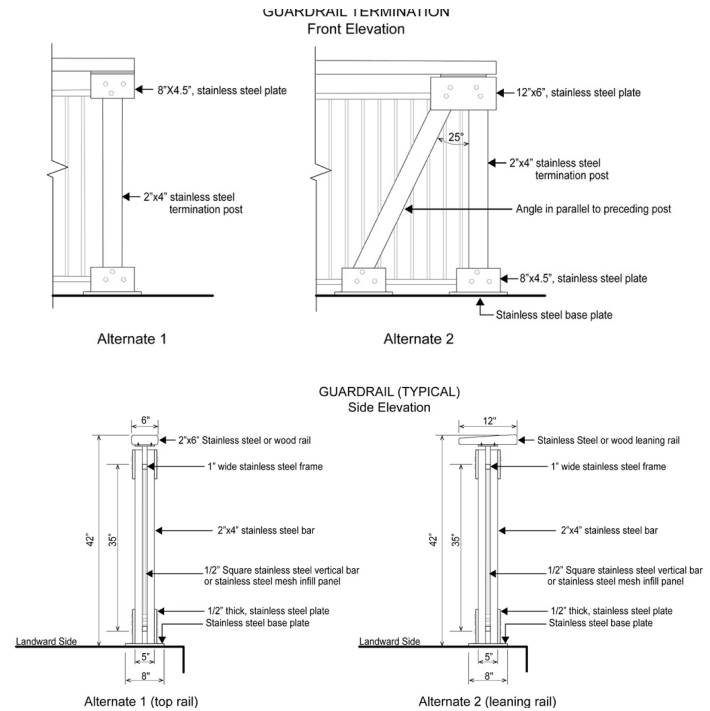
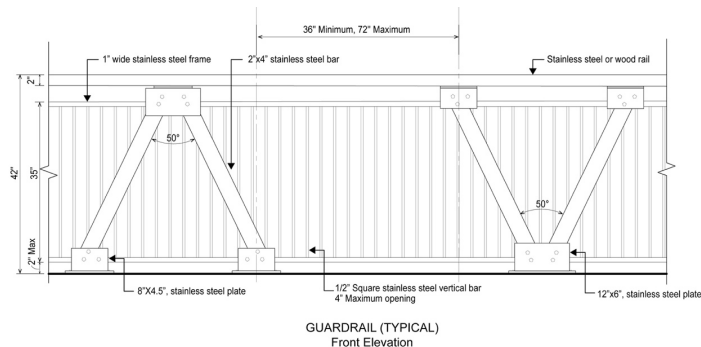
139-54 Special Design Standards

The design requirements of Section 62-60 (DESIGN REQUIREMENTS FOR WATERFRONT PUBLIC ACCESS AREAS) are modified by the provisions of this Section, inclusive.

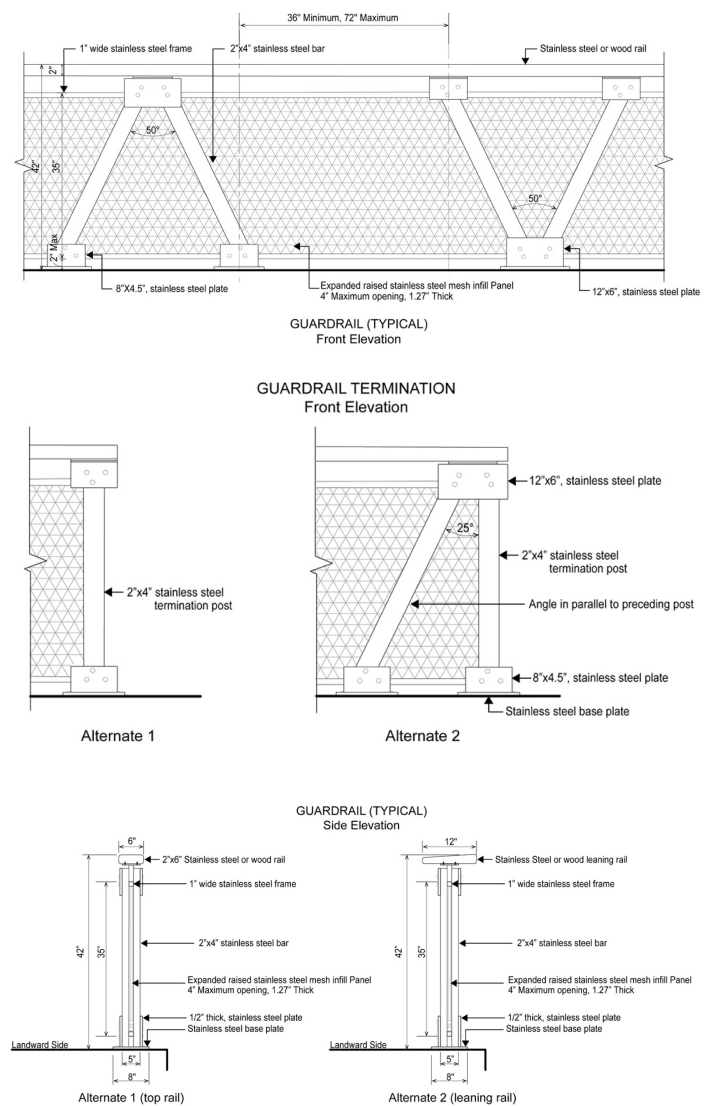
139-541 Special design standards for guardrails

In addition to the provisions of paragraph (a) of Section 62-651 (Guardrails, gates and other protective barriers), guardrails shall comply with the illustrations provided in either paragraph (a) or (b) of this Section, or shall be of a comparable design which is the minimum modification needed. Where modification is sought, it shall be deemed suitable by the Chair of the City Planning Commission in consultation with the NYC Department of Parks and Recreation (DPR).

(a) Option 1: vertical bar guardrail



(b) Option 2: mesh guardrail



All guardrail components and hardware shall be in unpainted stainless steel and shall conform to any additional standards set forth by DPR.

**139-542**  
**Special design standards for seating**

The design requirements of paragraph (b) of Section 62-62 (Design Requirements for Shore Public Walkways and Supplemental Public Access Areas) and the design reference standards of 62-652 (Seating) shall be modified as follows:

(a) **Design feature seating**

Planter ledges, seating walls, and seating steps may be provided, and shall be limited to 50 percent of the required seating. Walls and planter ledges shall be flat and smooth with at least one inch radius rounded edges.

(b) **Seating depth**

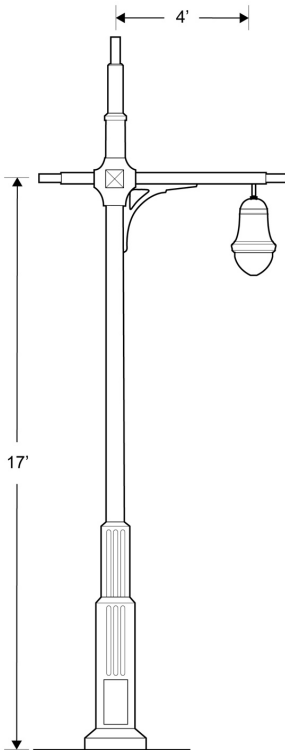
For all #waterfront public access areas#, the minimum seat depth requirement of paragraph (b) of Section 62-652 shall be modified to 16 inches.

**139-543**  
**Special design standards for lighting**

The lighting requirements of 62-653 (Lighting) shall be modified such that an average maintained level of illumination not less than 0.5 horizontal foot candle (lumens per foot) shall be provided throughout all walkable areas, and the average illumination to minimum foot candle uniformity ratio shall be no greater than 6:1 within any #waterfront public access area#.

In addition, fixtures providing the required lighting along any public access area shall comply with the lightpost illustration in this Section, or shall be of a comparable design which is the minimum modification needed. Where modification is sought, it shall be deemed suitable by the Chair of the City Planning Commission in consultation with the by the New York City Department of Transportation (DOT).

Fixtures providing supplemental lighting beyond the requirements of this Section need not comply with this illustration.



LIGHTPOST  
Side Elevation

The lightpost shall conform to the street lighting standard drawings for a 17 foot "TBTA" short pole with "Tear Drop Luminaire" set forth by the DOT.

**139-544**  
**Special design standards for planting**

The design requirements of paragraph (c)(1) of Section 62-62(c)(1) (Design Requirements for Shore Public Walkways and Supplemental

Public Access Areas) and the design reference standards of Section 62-655 (Planting and trees) shall be modified as follows:

(a) **Reduction in planting requirement**

An area equal to at least 35 percent of the area of the #shore public walkway# and #supplemental public access area# shall be planted. Such planting area may be reduced to 30 percent if an amenity is provided in accordance with the following tables:

TABLE 1

Amenity	Reduction per feature (in square feet)
Picnic tables	22 square feet
Historic interpretation elements	20 square feet
Public art pieces	100 square feet
Fountains and water features	150 square feet

TABLE 2

Amenity	Ratio of reduction to size of feature (in square feet)
Active recreation courts	1:1
Tot-lots and playgrounds	1:1
Dog runs	1:1
Boat or kayak launches	1:1.5
Interactive water features	1:1.5

(b) **Shade tree substitution**

Where shade trees are required, no more than one required shade tree may be substituted by a shading element covering at least 450 square feet, when viewed in plan.

**139-545**  
**Special design standards for paving**

The design reference standards of Section 62-656 (Paving) shall be modified as follows:

(a) **#Upland connections#**

Paving for driveways and pedestrian paths located within Type 2 #upland connections# shall be subject to the "shared street" standards of the New York City Department of Transportation for roadbeds and sidewalks.

In addition, where a Type 2 #upland connection# is provided with a vehicular turnaround, the paved area of the vehicular turnaround shall be designed with at least two different paving materials, or a single material with at least two different unit paver or slab sizes.

(b) **Dimensional requirements**

The maximum sizes for unit pavers or concrete slabs shall not apply.

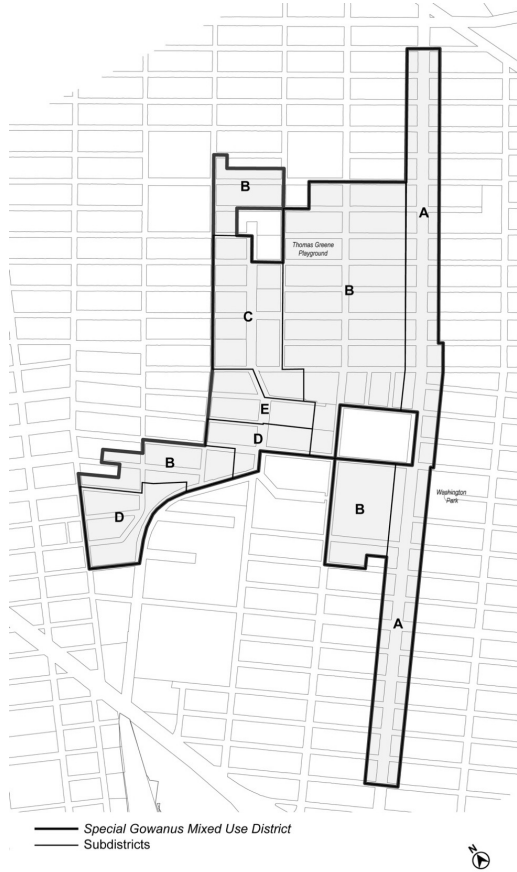
**139-55**  
**Special Signage Regulations**

Any #accessory sign# that is provided adjacent to any #waterfront public access area# shall be limited to a single non-illuminated #sign#, indicating only the name or address of the #building# or commercial establishment to which it is #accessory#, not exceeding 16 inches in height.

APPENDIX A

Special Gowanus Mixed Use District Plan

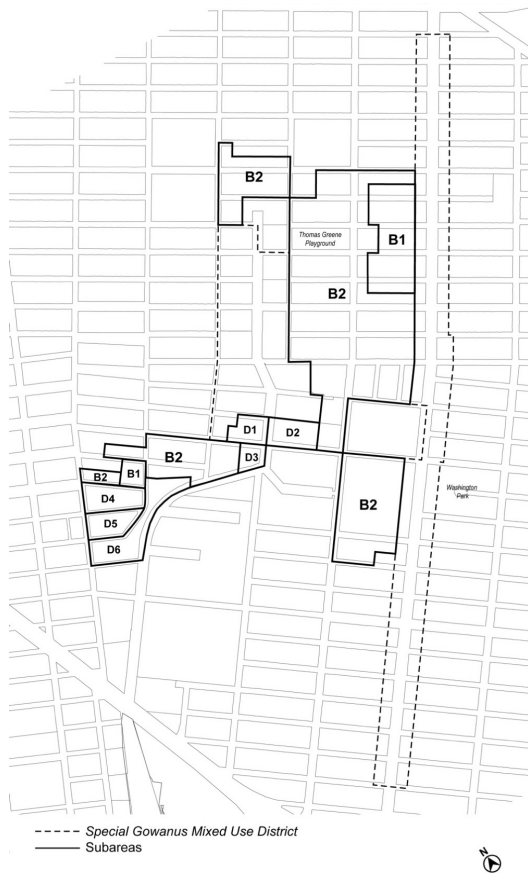
Map 1: Subdistricts



Map 3: Ground Floor Use Requirements



Map 2: Subareas



Map 4: Sidewalk Widening Lines

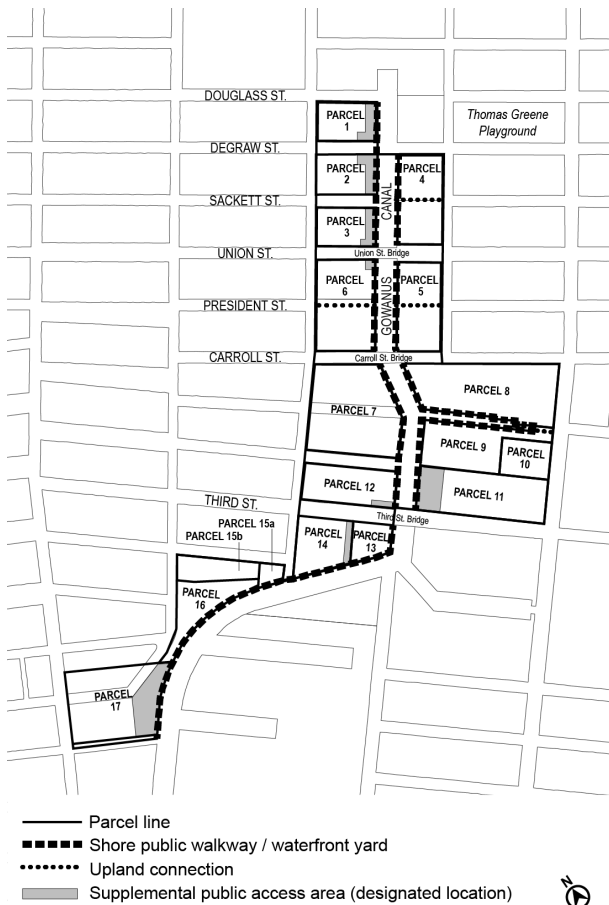


**APPENDIX B**  
**Gowanus Canal Waterfront Access Plan**

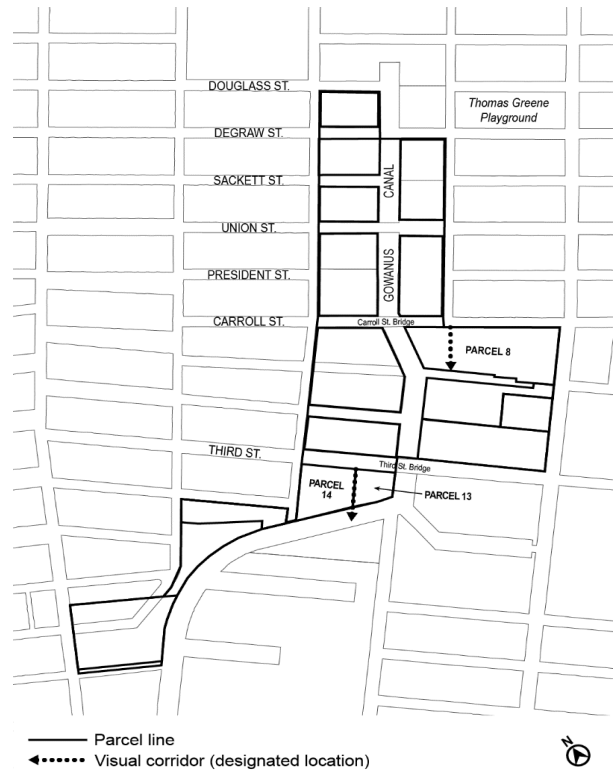
Map 1: Parcel Designation



Map 2: Public Access Elements



Map 3: Designated Visual Corridors



**APPENDIX F**

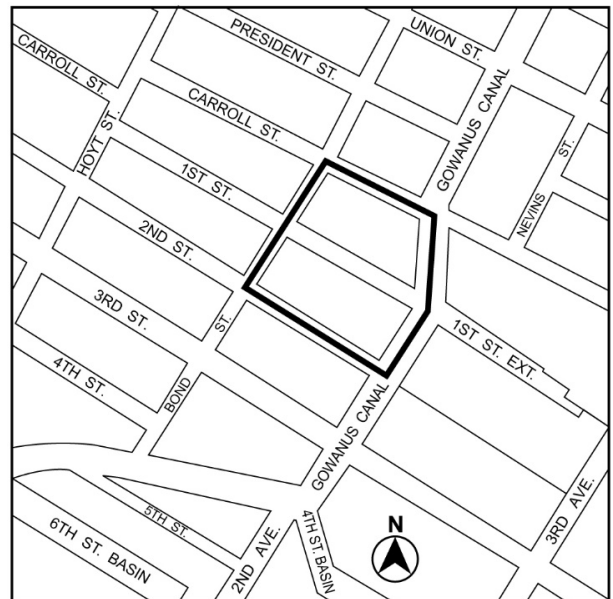
**Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas**

**BROOKLYN**

**Brooklyn Community District 6**

Map 1 - (3/11/09) [date of adoption]

[EXISTING MAP]



[PROPOSED MAP]



Portion of Community District 6, Brooklyn

\* \* \*

No. 7

**CD 6**  
**IN THE MATTER OF** an application submitted by the New York City Department of City Planning pursuant to Sections 197-c and 199 of the New York City Charter for an amendment to the City Map involving:

- 1) the establishment of Hoyt Street between 5th Street and Nelson Street;
- 2) the establishment of Luquer Street and Nelson Street between Smith Street and the Gowanus Canal;
- 3) the elimination, of a 7th Street between Smith Street and The Gowanus Canal;
- 4) the elimination of Public Place;
- 5) the establishment of legal grades;
- 6) the adjustment of grades and block dimensions necessitated thereby;

including authorization for any acquisition or disposition of real property related thereto, in accordance with Map No. X-2754 dated December 7, 2020 and signed by the Borough President.

No. 8

**CD 6**  
**IN THE MATTER OF** an application submitted by the New York City Department of City Planning and the New York City Department of Parks and Recreation pursuant to Sections 197-c and 199 of the New York City Charter for an amendment to the City Map involving:

- 1) the establishment of Park within the area bounded by Huntington Street, Smith Street, Nelson Street, Hoyt Street, 4th Street, Bond Street and The Gowanus Canal;
- 2) the adjustment of grades and block dimensions necessitated thereby;

including authorization for any acquisition or disposition of real property related thereto, in accordance with Map Nos. X-2755 and X-2756 dated December 7, 2020 and signed by the Borough President

No. 9

**CD 6**  
**IN THE MATTER OF** an application submitted by the New York City Department of Citywide Administrative Services (DCAS), pursuant to Section 197-c of the New York City Charter, for the disposition of city-owned property, located at 276 4th Avenue (Block 456, Lot 29), pursuant to zoning.

No. 10

**CD 6**  
**IN THE MATTER OF** an application submitted by the Department of Housing Preservation and Development (HPD)

- 1) pursuant to Article 16 of the General Municipal Law of New York State for:
    - a. the designation of property located at 5th Street and 431 Hoyt Street (Block 471, Lots 1 and 100) as an Urban Development Action Area; and
    - b. Urban Development Action Area Project for such area; and
  - 2) pursuant to Section 197-c of the New York City Charter for the disposition of such property to a developer to be selected by HPD;
- to facilitate an affordable mixed-use development with approximately 950 units.

NOTICE

On Wednesday, July 28, 2021, a public hearing is being held by the City Planning Commission (CPC), accessible both in person and remotely, in conjunction with the above ULURP hearing to receive comments related to a Draft Environmental Impact Statement (DEIS) concerning an application by The City of New York. The City of New York, acting through the Department of City Planning (DCP), together with the Department of Housing Preservation and Development, the Department of Parks and Recreation, and the Department of Citywide Administrative Services is proposing a series of land use actions—including zoning map amendments, zoning text amendments, City Map amendments, and disposition of City-owned property (collectively, the “Proposed Actions”)—to implement land use and zoning recommendations in the Gowanus Rezoning and Related Actions. The area subject to the Proposed Actions (the “Project Area”) is generally bounded by Bond, Hoyt, and Smith Streets to the west; 3rd and 4th Avenues to the east; Huntington, 3rd, 7th, and 15th Streets to the south; and Warren, Baltic, and Pacific Streets to the north. The Proposed Actions would affect an approximately 81-block area of the Gowanus neighborhood of Brooklyn, Community Districts 2 and 6. Overall, the Proposed Actions are expected to result in a net increase of approximately 8,500 dwelling units (DU), 735,000 square feet (sf) of commercial space, 251,000 sf of community facility space, and approximately six acres of new open space, including over an acre of newly mapped parkland. The Proposed Actions would result in net decreases of approximately 132,000 sf of warehouse space, 125,000 sf of self-storage space, and 60,000 sf of other industrial space. On privately owned sites, the Proposed Actions could result in a net increase of approximately 7,500 DUs, including approximately 2,000 permanently affordable DUs for lower-income New Yorkers in accordance with the Mandatory Inclusionary Housing Program (MIH). On City-owned sites, the Proposed Actions would result in approximately 1,000 affordable DUs, designated to serve a wide range of incomes.

Written comments on the DEIS are requested and will be received and considered by the Lead Agency through Monday, August 9, 2021.

For instructions on how to submit comments and participate remotely, please refer to the instructions at the beginning of this agenda.

This hearing is being held pursuant to the State Environmental Quality Review Act (SEQRA) and City Environmental Quality Review (CEQR), CEQR No. 19DCP157K.

BOROUGH OF QUEENS

Nos. 11 & 12

62-04 ROOSEVELT AVENUE REZONING

No. 11

**CD 2**  
**IN THE MATTER OF** an application submitted by Woodside 63 Management, LLC and Mare Nostrum Elements, Inc., pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 9d:

1. eliminating from an existing R6 District a C1-4 District bounded by Roosevelt Avenue, 63rd Street, a line 100 feet southerly of Roosevelt Avenue, and the northwesterly prolongation of the southwesterly street line of Trimble Road; and



- 2. changing from an existing R6 to a C4-4 District property bounded by Roosevelt Avenue, 63<sup>rd</sup> Street and its southerly prolongation, and the northwesterly prolongation of the southwesterly street line of Trimble Road;

as shown on a diagram (for illustrative purposes only) dated April 5, 2021, and subject to the conditions of CEQR Declaration of E-603.

**No. 12**

**CD 2 N 200069 ZRQ**

**IN THE MATTER OF** an application submitted by Woodside 63 Management, LLC and Mare Nostrum Elements, Inc., pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;  
 Matter ~~struck out~~ is to be deleted;  
 Matter within # # is defined in Section 12-10;  
 \* \* \* indicates where unchanged text appears in the Zoning Resolution.

\* \* \*

**APPENDIX F  
 Inclusionary Housing Designated Areas and Mandatory  
 Inclusionary Housing Areas**

\* \* \*

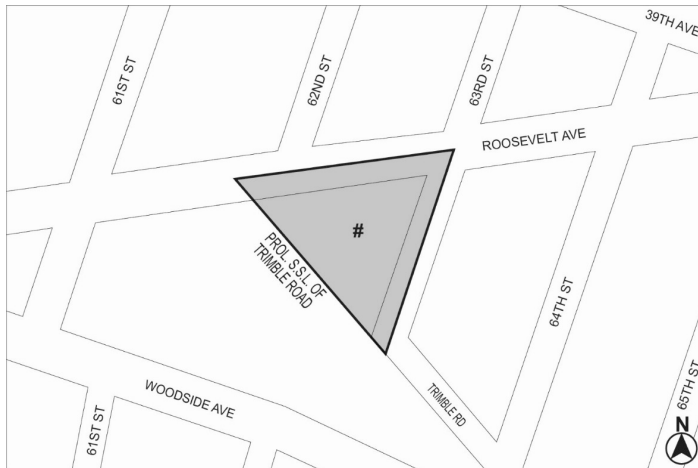
**QUEENS**

\* \* \*

**Queens Community District 2**

\* \* \*

Map 5 – [date of adoption]



Mandatory Inclusionary Housing Program Area see Section 23-154(d)(3)  
 Area # [date of adoption] — MIH Program Option 1 and Option 2

Portion of Community District 2, Queens

\* \* \*

**No. 13**

**48-18 VAN DAM TEAMSTERS REZONING**

**CD 2 C 190260 ZMQ**

**IN THE MATTER OF** an application submitted by 48-18 Van Dam Property Holdings, LLC pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 9b, by changing from an M2-1 District to an M1-5 District property bounded by 48<sup>th</sup> Avenue, Van Dam Street, Hunters Point Avenue, and 31<sup>st</sup> Place, as shown on a diagram (for illustrative purposes only) dated April 5, 2021, and subject to the conditions of CEQR Declaration E-608.

**BOROUGH OF MANHATTAN  
 Nos. 14, 15 & 16  
 495 ELEVENTH AVENUE  
 No. 14**

**CD 4 C 210324 ZMM**

**IN THE MATTER OF** an application submitted by 495 11 Avenue Owner Realty LLC and New York City Economic Development Corporation pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 8d:

- 1. changing from an M1-5 District to a C6-4 District bounded by West 40<sup>th</sup> Street, Eleventh Avenue, West 39<sup>th</sup> Street, and a line 125 feet westerly of Eleventh Avenue, and

- 2. establishing a Special Hudson Yard District bounded by West 40<sup>th</sup> Street, Eleventh Avenue, West 39<sup>th</sup> Street, and a line 125 feet westerly of Eleventh Avenue.

as shown on a diagram (for illustrative purposes only) dated April 19, 2021, and subject to the conditions of CEQR Declaration E-610.

**No. 15**

**CD 4 N 210325 ZRM**

**IN THE MATTER OF** an application submitted by 495 11 Avenue Owner Realty LLC and the New York City Economic Development Corporation, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying Article IX, Chapter 3 for the purpose establishing a new Subdistrict G within the Special Hudson Yards District, and modifying APPENDIX F, for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;  
 Matter struck out is to be deleted;  
 Matter within # # is defined in Section 12-10;  
 \* \* \* indicates where unchanged text appears in the Zoning Resolution.

**ARTICLE IX  
 SPECIAL PURPOSE DISTRICTS**

**Chapter 3  
 Special Hudson Yards District (HY)**

\* \* \*

**93-04  
 Subdistricts and Subareas**

In order to carry out the provisions of this Chapter, six subdistricts are established, as follows:

- Large-Scale Plan Subdistrict A
- Farley Corridor Subdistrict B
- 34th Street Corridor Subdistrict C
- Hell's Kitchen Subdistrict D
- South of Port Authority Subdistrict E
- Western Rail Yard Subdistrict F
- Eleventh Avenue Subdistrict G

In each of these subdistricts, certain special regulations apply which do not apply within the remainder of the #Special Hudson Yards District#. Within certain subdistricts, subareas are established, as follows:

Within the Large-Scale Plan Subdistrict A:

- Eastern Rail Yard Subarea A1
- Four Corners Subarea A2
- Subarea A3
- Subarea A4
- Subarea A5

Within Farley Corridor Subdistrict B:

- Western Blocks Subarea B1
- Central Blocks Subarea B2
- Farley Post Office Subarea B3
- Pennsylvania Station Subarea B4

Within Hell's Kitchen Subdistrict D:

- Subarea D1
- Subarea D2
- Subarea D3
- Subarea D4
- Subarea D5

Within these subareas, certain special regulations apply which do not apply within the remainder of the subdistrict.

The subdistricts and subareas are outlined on Map 1 (Special Hudson Yards District, Subdistricts and Subareas) in Appendix A of this Chapter. Additional requirements for specific subdistricts, or portions thereof, are outlined in Appendix B of this Chapter.

\* \* \*

**93-052  
 Applicability of Article I, Chapter 3**

#Public parking lots# authorized prior to January 19, 2005, and #accessory# off-street parking facilities for which a special permit has been granted prior to January 19, 2005, may be renewed subject to the terms of such authorization or special permit.

The provisions of Article I, Chapter 3, in their entirety shall be applied to Subdistricts F and G.

The following provisions of Article I, Chapter 3, governing #automated parking facilities#, as defined in Section 13-02, automobile rental establishments, commercial vehicle parking, and off-street loading berths shall apply to Subdistricts A, B, C, D and E, as applicable:

(a) for #automated parking facilities#, the provisions of Section 13-101 (Calculating parking spaces in automated parking facilities), paragraph (b) of Section 13-25 (Reservoir Spaces), and paragraph (b) of Section 13-27 (Minimum and Maximum Size of Parking Facilities);

(b) for automobile rental establishments, the provisions of Section 13-15 (Permitted Parking for automobile Rental Establishments), paragraph (b) of Section 13-221 (Enclosure and screening requirements), Section 13-241 (Location of curb cuts), paragraph (b) of Section 13-242 (Maximum width of curb cuts), paragraph (c) of Section 13-25, and paragraph (c) of Section 13-27;

(c) for commercial vehicle parking, the provisions of Section 13-16 (Permitted Parking for Car Sharing Vehicles and Commercial Vehicles); and (d) for off-street loading berths, the provisions of Section 13-30, inclusive.

Additional provisions of Article I, Chapter 3, shall be applicable as specified in Section 93-80, inclusive.

\* \* \*

**93-10  
USE REGULATIONS**

The #use# regulations of the underlying districts are modified as set forth in this Section, inclusive.

The only permitted change of #use# for the #High Line# shall be to provide publicly accessible open space in accordance with the provisions of Sections 93-71 (Public Access Areas in the Eastern Rail Yard Subarea A1) and 93-75 (Publicly Accessible Open Spaces in Subdistrict F).

\* \* \*

**93-13  
Special Office Commercial Use Regulations**

**93-131  
Certification for office use**

The provisions of this Section shall apply to all #developments# or #enlargements# in the #Hudson Yards Redevelopment Area#, with the exception of Subdistricts F and G.

\* \* \*

**93-132  
Authorization for office use**

The provisions of this Section shall apply to all #developments# or #enlargements# in the #Hudson Yards Redevelopment Area#, with the exception of Subdistricts F and G.

Where the amount of Use Group 6B office #floor area# in a #development# or #enlargement# will result in over 25 million square feet of such #use developed# or #enlarged# after January 19, 2005, within the #Hudson Yards Redevelopment Area#, and such #development# or #enlargement# utilizes increased #floor area# pursuant to Sections 23-154 (Inclusionary Housing), 93-30 (SPECIAL FLOOR AREA REGULATIONS), inclusive, or 96-25 (Floor Area Bonus for New Theater Use), such #development# or #enlargement# shall be permitted only upon authorization of the City Planning Commission that:

(a) such #development# or #enlargement# will not require any significant additions to the supporting services of the neighborhood or that provisions for adequate supporting services have been made;

(b) the #streets# providing access to the #development# or #enlargement# are adequate to handle the traffic generated thereby or provisions have been made to handle such traffic; and

(c) such #development# or #enlargement# is consistent with the goals of the applicable special district.

**93-133  
Vehicle storage establishments**

Within Subdistrict G, Use Group 16C commercial or public utility vehicle storage, open or enclosed, including #accessory# motor fuel pumps shall be permitted as-of-right. The #floor area# of a #building# shall not include floor space used for public utility vehicle storage provided in any #story# located not more than 56 feet above #curb level#.

\* \* \*

**93-14  
Ground Floor Level Requirements**

The following provisions relating to retail continuity and transparency requirements shall apply to all subdistricts in the #Special Hudson Yards District#, except that the provisions of this Section shall not apply in Subdistrict G and along the northern #street# frontage of West 35th through West 39th Streets within 100 feet of Eleventh Avenue, as shown on Map 2 (Mandatory Ground Floor Retail) in Appendix A of this Chapter. However, any #zoning lot# fronting on such #streets# and partially within 100 feet of Eleventh Avenue may, as an alternative, apply the provisions of this Section to the entire West 35th, West 36th, West 37th, West 38th or West 39th Street frontage of the #zoning lot#.

\* \* \*

**93-19  
Physical Culture or Health Establishments**

Within Subdistrict G, #physical culture or health establishments# shall be permitted as-of-right. For the purposes of applying the underlying regulations to such #use#, a #physical culture or health establishment# shall be considered a Use Group 9 #use#.

**93-20  
FLOOR AREA REGULATIONS**

The #floor area# regulations of this Section, inclusive, shall apply to #zoning lots#.

\* \* \*

**93-22  
Floor Area Regulations in Subdistricts B, C, D, E, and F and G**

\* \* \*

(b) Subdistrict F

In Subdistrict F, the #floor area ratio# provisions of Section 93-225 (Floor area regulations in Subdistrict F) shall apply.

(c) Subdistrict G

In Subdistrict G, the #floor area ratio# provisions of Section 93-226 (Floor area regulations in Subdistrict G) shall apply.

\* \* \*

**93-226  
Floor area regulations in Subdistrict G**

In Subdistrict G, the basic maximum permitted #floor area ratio# for #residential#, #community facility#, and #commercial# #uses# on a #zoning lot# shall be as follows:

- (a) the maximum #floor area ratio# for #residential uses# shall be 12.0, pursuant to Section 23-154 (Inclusionary Housing);
- (b) the maximum #floor area ratio# for #community facility uses# shall be 12.0;
- (c) the maximum #floor area ratio# for #commercial# #uses# shall be 12.0; and
- (d) the total maximum #floor area ratio# shall be 24.0.

\* \* \*

**93-40  
HEIGHT AND SETBACK REGULATIONS**

In the #Special Hudson Yards District#, height and setback regulations shall be as set forth in this Section, inclusive.

**93-41  
Rooftop Regulations**

(a) Subdistricts A, B, C, D, and E and G

The provisions of Section 33-42 (Permitted Obstructions) shall apply to all #buildings# within Subdistricts A through E and G, except that dormers may penetrate a maximum base height in accordance with the provisions of paragraph (c)(1) of Section 23-621 (Permitted obstructions in certain districts).

(b) Subdistrict F

In Subdistrict F, the provisions of paragraph (f) of Section 33-42 shall apply, except that for towers above a height of 350 feet, rooftop mechanical structures shall comply with the tower top articulation provisions set forth in Section 93-569.

**93-42  
Height and Setback in Subdistricts A, B, C, D, E, and F and G**

In Subareas D4 and D5 of the Hell's Kitchen Subdistrict D, the underlying height and setback regulations shall apply as set forth in Section 93-542, as modified by Section 93-41 (Rooftop Regulations).

In Subdistricts A, B and C, Subareas D1, D2 and D3 of the Hell's Kitchen Subdistrict D, and Subdistrict E, the underlying height and setback regulations shall not apply. In lieu thereof, the provisions of Section 93-41 and paragraphs (a) through (d) of this Section shall apply. These regulations are further modified in certain locations as set

forth in Section 93-50 (SPECIAL HEIGHT, AND SETBACK AND YARD REGULATIONS). The height of all #buildings or other structures# shall be measured from #curb level#.

In Subdistrict F, the underlying height and setback regulations shall not apply. In lieu thereof, the provisions of Section 93-41 and Section 93-56 (Special Height and Setback Regulations in Subdistrict F) shall apply.

In Subdistrict G, the underlying height and setback regulations and paragraphs (b) through (d) of this Section shall not apply. In lieu thereof, Section 93-57 (Special Height and Setback Regulations in Subdistrict G) shall apply.

\* \* \*

**93-50 SPECIAL HEIGHT, AND SETBACK AND YARD REGULATIONS**

In Subdistricts A, B and C, and Subareas D1, D2 and D3 of the Hell's Kitchen Subdistrict D, and Subdistrict E, the height and setback regulations set forth in paragraphs (a) through (d) of Section 93-42 (Height and Setback in Subdistricts A, B, C, D, E, and F and G) shall apply, except that such regulations are modified in certain locations as set forth in this Section. Such modifications include the establishment of #street wall# location regulations, and minimum and maximum base heights, as shown on Map 3 (Mandatory Street Wall Requirements) of Appendix A of this Chapter. Such modifications also include depths of required setbacks, maximum length of #building# walls for towers, and tower #lot coverage#. Special provisions for recesses and sidewalk widenings are as follows:

\* \* \*

In Subdistrict F, the provisions of Section 93-41 (Rooftop Regulations) and Section 93-56 (Special Height and Setback Regulations in Subdistrict F) shall apply.

In Subdistrict G, the provisions of Sections 93-57 (Special Height and Setback Regulations in Subdistrict G) and 93-58 (Special Permit for Modification of Height and Setback Regulations) shall apply.

\* \* \*

**93-57 Special Height and Setback Regulations in Subdistrict G**

(a) Required setbacks

The required minimum setback for portions of #buildings or other structures# that exceed the maximum base height specified in paragraph (a) of Section 93-42 shall be 10 feet from a #wide street# and 15 feet from a #narrow street#. However, the required minimum setback along West 39th Street shall be five feet.

(b) Tower #lot coverage#

The portion of any #building# or #buildings# located above a height of 150 feet shall be considered a "tower."

- (1) Towers shall occupy a minimum of 20 percent of the #lot area# of the #zoning lot#, except that this requirement shall not apply to the highest 40 feet of such tower or towers.
(2) Towers containing #residences# shall occupy a maximum of 40 percent of the #lot area#.
(3) The aggregate #lot area# of all towers, including #residential# and non-#residential# towers, shall not exceed 65 percent of the #lot area#.

**93-578 Special Permit for Modification of Height and Setback Regulations**

Within the #Special Hudson Yards District#, except within C1-7A Districts or C2-5 Districts mapped within R8A Districts, for #developments# or #enlargements# on #zoning lots# with at least 20,000 square feet of #lot area# or #developments# or #enlargements# on any size #zoning lot# that occupy the entire #block# front along a #wide street#, the City Planning Commission may modify the regulations set forth in Sections 93-40 (HEIGHT AND SETBACK REGULATIONS), inclusive, and 93-50 (SPECIAL HEIGHT, SETBACK AND YARD REGULATIONS), inclusive, provided the Commission finds that:

- (a) such modifications will result in a better distribution of #bulk# on the #zoning lot# and will not adversely affect access to light and air for surrounding public access areas, #streets# and properties;
(b) where the #development# or #enlargement# is subject to the requirements of Sections 93-60 (MANDATORY IMPROVEMENTS), inclusive, or 93-70 (PUBLIC ACCESS REQUIREMENTS FOR SPECIAL SITES), inclusive, such modifications will not impair the quality of such public access areas on the #zoning lot#;
(c) such modifications are consistent with the goal of the special district to provide flexibility of architectural design and encourage more attractive building forms; and

(d) such modifications will result in a #development# or #enlargement# that enhances the streetscape and will be compatible with development in the surrounding area.

The Commission may prescribe additional conditions and safeguards to minimize adverse effects of the #development# or #enlargement# on the character of the surrounding area.

**93-59 Special Yard Regulations in Subdistrict G**

No rear yard equivalent shall be required in Subdistrict G.

**93-60 MANDATORY IMPROVEMENTS**

\* \* \*

**93-63 Pedestrian Circulation Space**

In C2-8 and C6-4 Districts, except within Subdistrict G, all #developments# or #enlargements# on #zoning lots# of 5,000 square feet or larger with more than 70,000 square feet of new #floor area# shall provide pedestrian circulation space in accordance with the provisions of Section 37-50. In addition, for #developments# or #enlargements# that provide subway entranceways constructed after December 21, 2005, one and one-half times the area of such entranceway accessible to the public at #street# level may qualify as pedestrian circulation space, up to a maximum amount of 3,000 square feet.

\* \* \*

**93-80 OFF-STREET PARKING REGULATIONS**

In Subdistricts A, B, C, D and E, the regulations governing permitted #accessory# off-street parking spaces of Article I, Chapter 3 (Comprehensive Off-street Parking and Loading Regulations in the Manhattan Core), and Article II, Chapter 5; Article III, Chapter 6; and Article IV, Chapter 4 (Accessory Off-street Parking and Loading Regulations) shall not apply, except as set forth in this Section. In lieu thereof, the provisions of this Section, inclusive, shall apply.

In Subdistricts F and G, the regulations of Article I, Chapter 3, shall apply.

\* \* \*

**APPENDIX A Special Hudson Yards District**

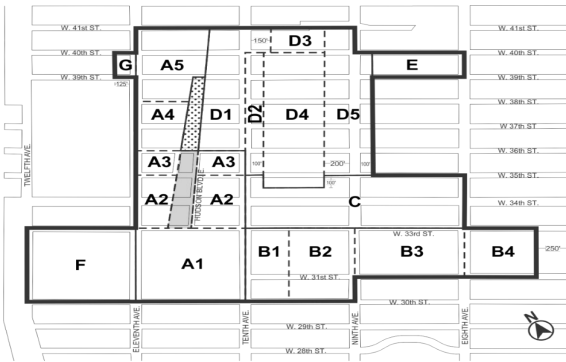
Map 1 – Special Hudson Yards District, Subdistricts and Subareas

[EXISTING MAP]



- Special Hudson Yards District
Subdistricts
Subareas within subdistricts
Phase 1 Hudson Boulevard and Park
Phase 2 Hudson Boulevard and Park
Large-Scale Plan Subdistrict A
Eastern Rail Yard Subarea A1
Four Corners Subarea A2
Subareas A3 through A5
Farley Corridor Subdistrict B
Western Blocks Subarea B1
Central Blocks Subarea B2
Farley Post Office Subarea B3
Pennsylvania Station Subarea B4
34th Street Corridor Subdistrict C
Hell's Kitchen Subdistrict D
Subareas D1 through D5
South of Port Authority Subdistrict E
Western Rail Yard Subdistrict F

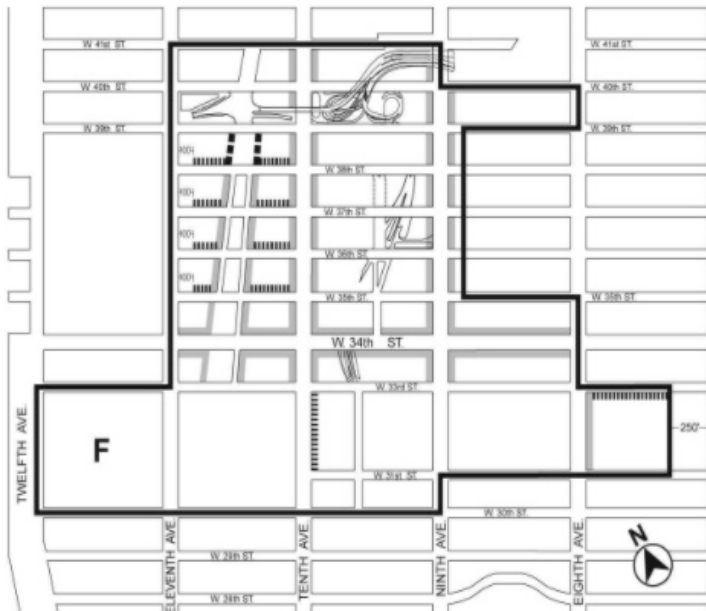
[PROPOSED MAP]



- Special Hudson Yards District
  - Subdistricts
  - Subareas within subdistricts
  - Phase 1 Hudson Boulevard and Park
  - Phase 2 Hudson Boulevard and Park
- Large-Scale Plan Subdistrict A**
- Eastern Rail Yard Subarea A1
  - Four Corners Subarea A2
  - Subareas A3 through A5
- Farley Corridor Subdistrict B**
- Western Blocks Subarea B1
  - Central Blocks Subarea B2
  - Farley Post Office Subarea B3
  - Pennsylvania Station Subarea B4
- 34th Street Corridor Subdistrict C**
- Hell's Kitchen Subdistrict D**
- Subareas D1 through D5
- South of Port Authority Subdistrict E**
- Western Rail Yard Subdistrict F**
- Eleventh Avenue Subdistrict G**

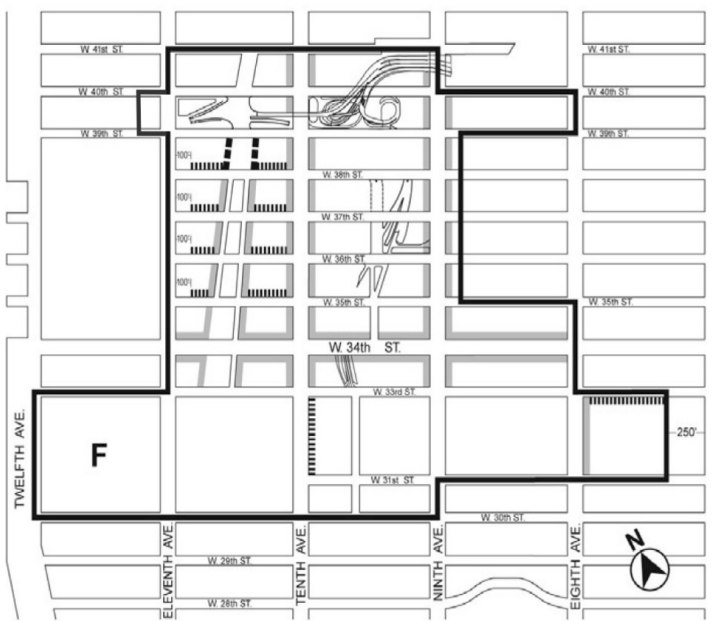
Map 2 – Mandatory Ground Floor Retail

[EXISTING MAP]



- Special Hudson Yards District
  - 100% Retail and Glazing Requirement
  - 50% Retail and Glazing Requirement
  - Glazing Requirement Only
- F** Subdistrict F (See Map 9 for Mandatory Ground Floor requirements)

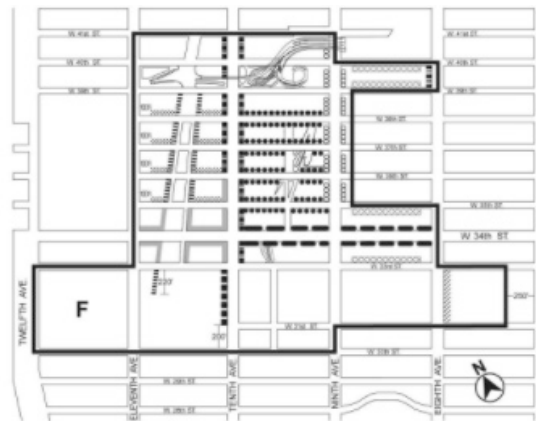
[PROPOSED MAP]



- Special Hudson Yards District
  - 100% Retail and Glazing Requirement
  - 50% Retail and Glazing Requirement
  - Glazing Requirement Only
- F** Subdistrict F (See Map 9 for Mandatory Ground Floor requirements)

Map 3 – Mandatory Street Wall Requirements

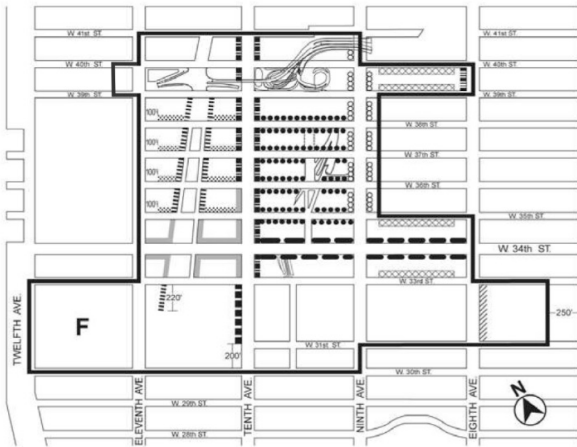
[EXISTING MAP]



Special Hudson Yards District		
Minimum Base Height	Maximum Base Height	Percentage of zoning lot street frontage that must be occupied by a street wall
60'	85'	100%
60'	85'	None
60'	120'	50%
80'	90'	100%
90'	120'	70%
60'	150'	70%
90'	120'	100%
90'	150'	100%
90'	150'	70%
90'	150'	35%
120'	150'	100%

**F** Subdistrict F (See Map 10 for Street Wall requirements)

[PROPOSED MAP]



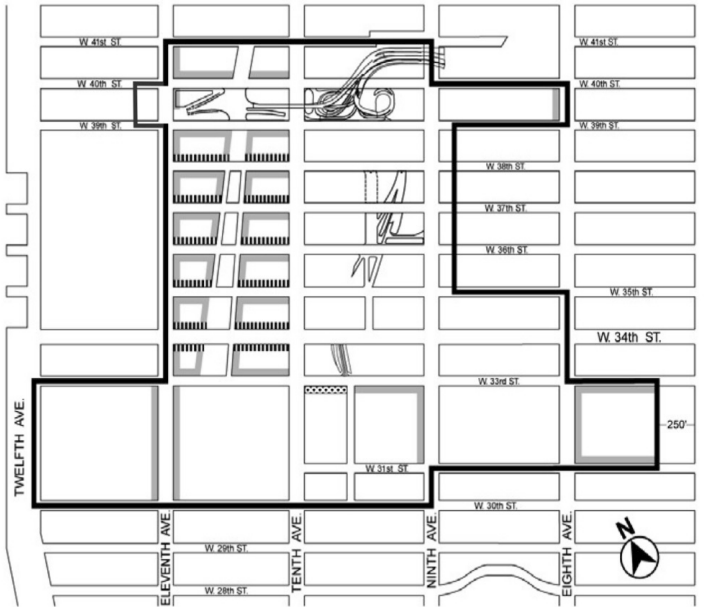
**Special Hudson Yards District**

	Minimum Base Height	Maximum Base Height	Percentage of zoning lot street frontage that must be occupied by a street wall
	60'	85'	100%
	60'	85'	None
	60'	120'	50%
	80'	90'	100%
	90'	120'	70%
	60'	150'	70%
	90'	120'	100%
	90'	150'	100%
	90'	150'	70%
	90'	150'	35%
	120'	150'	100%

**F** Subdistrict F (See Map 10 for Street Wall requirements)

Map 4 – Mandatory Sidewalk Widening

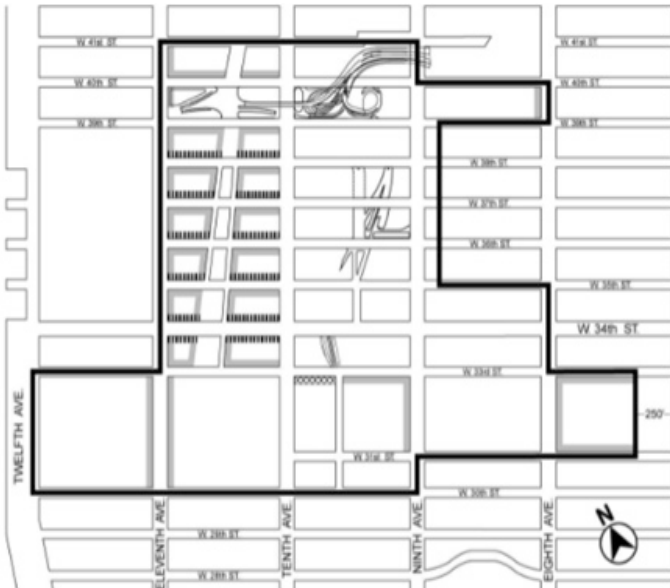
[PROPOSED MAP]



- Special Hudson Yards District
- 10' Sidewalk widening
- 5' Sidewalk widening
- 5' Sidewalk widening required if more than 75% of the total floor area existing on the zoning lot on January 19, 2005 is demolished

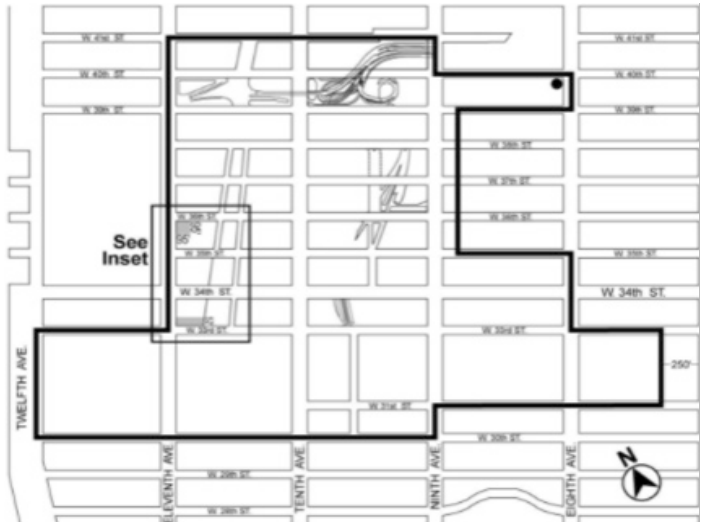
Map 5 – Transit Facilities

[EXISTING MAP]

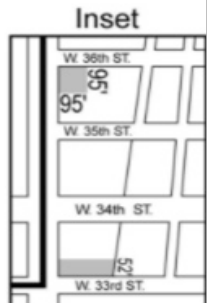


- Special Hudson Yards District
- 10' Sidewalk widening
- 5' Sidewalk widening
- 5' Sidewalk widening required if more than 75% of the total floor area existing on the zoning lot on January 19, 2005 is demolished

[EXISTING MAP]

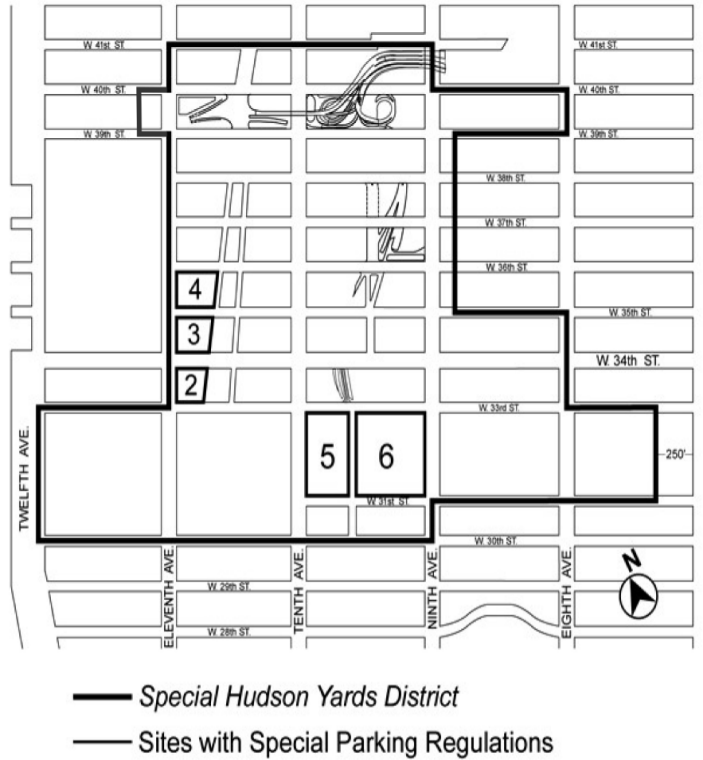
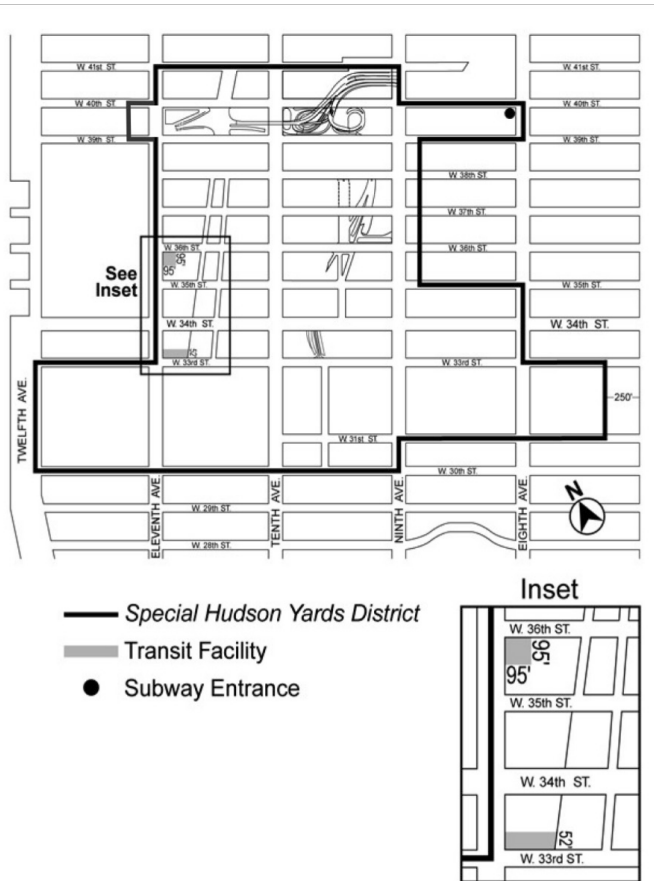


- Special Hudson Yards District
- Transit Facility
- Subway Entrance



[PROPOSED MAP]

[PROPOSED MAP]



Map 6 – Sites Where Special Parking Regulations Apply

APPENDIX F

Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas

\* \* \*

MANHATTAN

\* \* \*

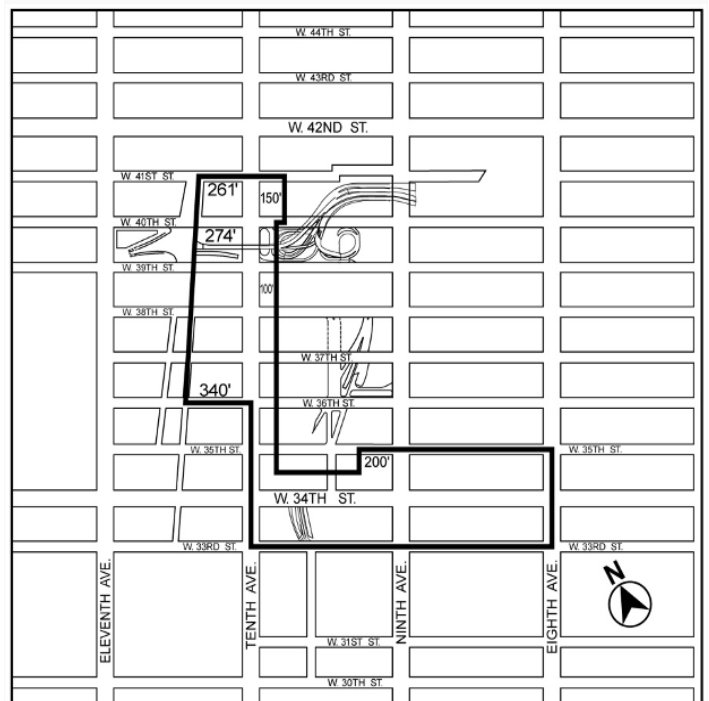
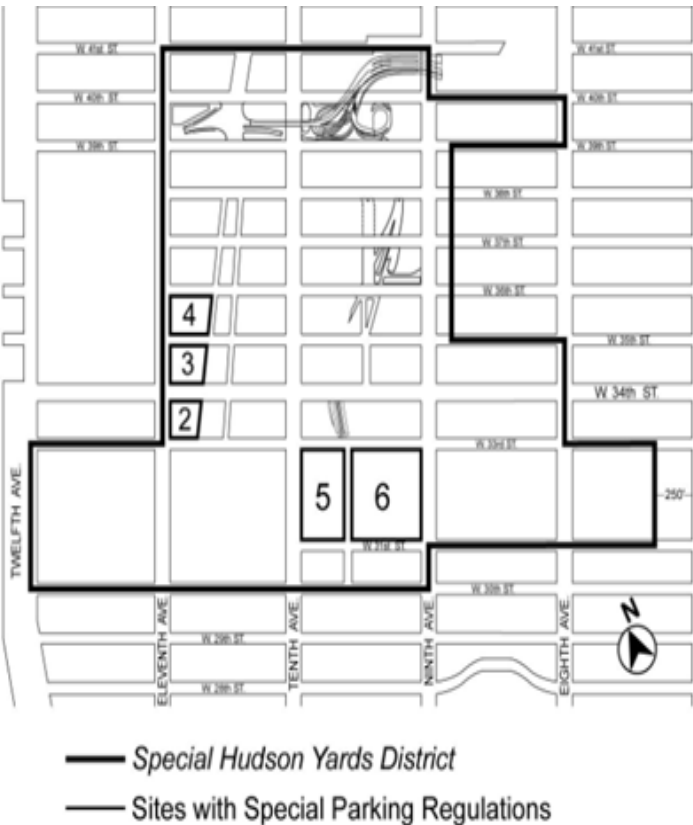
Manhattan Community District 4

\* \* \*

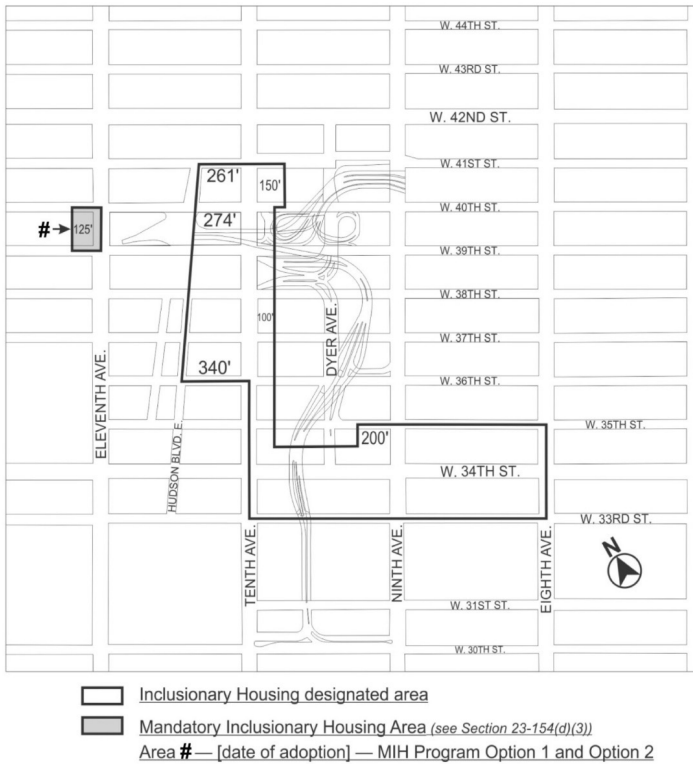
Map 4 – (12/21/09) [date of adoption]

[EXISTING MAP]

[EXISTING MAP]



[PROPOSED MAP]



Portion of Community District 4, Manhattan

\* \* \*

No. 16

**CD 4** **C 210326 PCM**  
**IN THE MATTER OF** an application submitted by New York City Police Department (NYPD) and the Department of Citywide Administrative Services (DCAS), pursuant to Section 197-c of the New York City Charter, for a site selection and acquisition of property located at 495 Eleventh Avenue (Block 685, Lot 38) for use as an NYPD vehicle storage facility.

NOTICE

On Wednesday, July 28, 2021, a public hearing is being held by the City Planning Commission (CPC), accessible both in person and remotely, in conjunction with the above ULURP hearing to receive comments related to a Draft Environmental Impact Statement (DEIS) concerning an application by 495 11 Avenue Owner Realty LLC and the New York City Economic Development Corporation (NYCEDC) (The "Applicant"). The Applicant is seeking a series of discretionary approvals, including a zoning map and zoning text amendments to rezone the Project Site, to establish a new subdistrict to the Special Hudson Yards District (SHYD), to designate the site as a Mandatory Inclusionary Housing ("MIH") area, and to facilitate the redevelopment of a site located at 495 Eleventh Avenue (Block 685, Lot 38) in Manhattan Community District (CD) 4. The NYC Police Department (NYPD) is the applicant and the NYC Department of Citywide Administrative Services (DCAS) is the Co-applicant for the acquisition and site selection actions to facilitate the siting of an NYPD Strategic Response Group (SRG) and Manhattan South Operations Unit parking facility within this proposed development. These discretionary actions are collectively referred to as the "Proposed Actions." Specifically, the redevelopment would result in an up to approximately 703,529 gross square feet (gsf) (581,601 zoning square feet (zsf)), mixed-use development comprised of residential dwelling units (DUs), community facility space comprised of supportive housing DUs, commercial office and retail supermarket spaces, a hotel, a restaurant, amenities, and vehicle and equipment storage. The New York City Office of the Deputy Mayor for Housing and Economic Development (ODMHED) is the lead agency for this environmental review.

Written comments on the DEIS are requested and will be received and considered by the Lead Agency through Monday, August 9, 2021.

For instructions on how to submit comments and participate in the remote hearing, please refer to the instructions at the beginning of this agenda.

This hearing is being held pursuant to the State Environmental Quality Review Act (SEQRA) and City Environmental Quality Review (CEQR), CEQR No. 18DME001M.

No. 17

**DORRANCE BROOKS SQUARE STREET HISTORIC DISTRICT CD 10 N 210498 HKM**

**IN THE MATTER OF** a communication dated June 25, 2021, from the Executive Director of the Landmarks Preservation Commission regarding the Dorrance Brooks Square Street Historic District designation, designated by the Landmarks Preservation Commission on June 15, 2021 (Designation List No. 524). The Dorrance Brooks Square Historic District consists of approximately 325 buildings within two sections on either side of Fredrick Douglass Boulevard, generally bounded by St. Nicholas Avenue to the west, West 140th Street to the north, West 136th Street to the south, and Adam Clayton Powell Boulevard to the east.

YVETTE V. GRUEL, Calendar Officer  
 City Planning Commission  
 120 Broadway, 31<sup>st</sup> Floor, New York, NY 10271  
 Telephone (212) 720-3370



jy14-28

In light of the Governor's announcement on June 24, 2021, of the end of the State-Declared State of Emergency, and in support of the City's continued efforts to contain the spread of COVID-19, the City Planning Commission, will hold a public hearing accessible both in person and remotely.

The public hearing will be held on Thursday, July 29, 2021, starting at 10:00 A.M. Eastern Daylight Time. The public hearing will be held in person in the NYC City Planning Commission Hearing Room, Lower Concourse, 120 Broadway, New York, NY. Masks are required to be worn to enter the building and during the hearing.

The meeting will be live streamed through Department of City Planning's (DCP's) website and accessible from the following webpage, which contains specific instructions on how to observe and participate remotely, via the teleconferencing application Zoom, as well as materials relating to the meeting: <https://www1.nyc.gov/site/nycengage/events/city-planning-commission-special-public-meeting/295196/1>.

Members of the public attending remotely should observe the meeting through DCP's website. Verbal testimony can be provided remotely by joining the meeting using either Zoom, or by calling the following number and entering the information listed below:

877 853 5247 US Toll-free  
 888 788 0099 US Toll-free

253 215 8782 US Toll Number  
 213 338 8477 US Toll Number

Meeting ID: **618 237 7396**  
 [Press # to skip the Participation ID]  
 Password: 1

Written comments will also be accepted until 11:59 P.M., one week before the date of vote. Such written testimony may be submitted, at the hearing, or through the CPC Comments form that is accessible through the above webpage.

Please inform the Department of City Planning if you need a reasonable accommodation, such as a sign language interpreter, in order to participate in the meeting. The submission of testimony, verbal or written, in a language other than English, will be accepted, and real time interpretation services will be provided based on available resources. Requests for a reasonable accommodation or foreign language assistance during the meeting should be emailed, to [\[AccessibilityInfo@planning.nyc.gov\]](mailto:AccessibilityInfo@planning.nyc.gov), or made by calling [\[212-720-3508\]](tel:212-720-3508). Requests must be submitted at least five business days before the meeting.

**BOROUGH OF MANHATTAN**  
**Nos. 1, 2 & 3**  
**NEW YORK BLOOD CENTER**  
**No. 1**

**CD 8** **C 210351 ZMM**  
**IN THE MATTER OF** an application submitted by New York Blood Center, Inc., pursuant to Sections 197-c and 201 of the New York City Charter, for an amendment of the Zoning Map, Section No. 8c:

1. changing from an R8B District to a C2-7 District property, bounded by East 67<sup>th</sup> Street, a line 325 feet easterly of Second Avenue, East 66<sup>th</sup> Street and a line 100 feet easterly of Second Avenue; and
2. changing from a C1-9 District to a C2-8 District property, bounded by East 67<sup>th</sup> Street, a line 100 feet easterly of Second Avenue, East 66<sup>th</sup> Street, Second Avenue, East 66<sup>th</sup> Street, and a line 100 feet westerly of Second Avenue;

as shown on a diagram (for illustrative purposes only), dated April 19, 2021, and subject to the conditions of CEQR Declaration E-612.

No. 2

CD 8 N 210352 ZRM

IN THE MATTER OF an application submitted by New York Blood Center, Inc., pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying Article VII, Chapter 4, for the purpose of allowing scientific research and development facilities in C2-7 Districts and allowing related use and bulk modifications, and modifying APPENDIX F, for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added; Matter ~~struck out~~ is to be deleted; Matter within # # is defined in Section 12-10; \* \* \* indicates where unchanged text appears in the Zoning Resolution.

ARTICLE III COMMERCIAL DISTRICT REGULATIONS

Chapter 2 Use Regulations

\* \* \*

32-30 USES PERMITTED BY SPECIAL PERMIT

32-32 By the City Planning Commission

In the districts indicated, the following #uses# are permitted by special permit of the City Planning Commission, in accordance with standards set forth in Article VII, Chapter 4, or as otherwise indicated in this Section.

\* \* \*

C1 C2 C3 C4 C5 C6 C7 C8

Railroad passenger stations

C2-7 C6

Research and development facility, scientific, in C2-7 Districts within Community District 8 in the Borough of Manhattan, and in C6 Districts

C1 C2 C3 C4 C5 C6 C7 C8

Seaplane bases

\* \* \*

ARTICLE VII Administration

\* \* \*

Chapter 4 Special Permits by the City Planning Commission

74-40 USE PERMITS

\* \* \*

74-48 Scientific Research and Development Facility

In C2-7 Districts within Community District 8 in the Borough of Manhattan, and in C6 Districts, the City Planning Commission may permit a scientific research and development facility containing as a #commercial use#, where such facility contains laboratories for medical, biotechnological, chemical or genetic research, including space for production, storage and distribution of scientific products generated through research and may modify height and setback regulations for the facility. Such facility shall conform to the performance standards applicable to M1 Districts and occupy a #zoning lot# that either contains a minimum #lot area# of 40,000 square feet or comprises an entire #block#. No #residential use# is to be located anywhere on a #zoning lot# containing such a facility, in conjunction with such facility, may allow the modifications set forth in paragraph (a) of this Section. For a special permit to be granted, applications shall comply with conditions in paragraph (b) and the findings of paragraph (c) of this Section. Additional requirements are set forth in paragraph (d).

a. Additional modifications

For such scientific research and development facility, the Commission may modify the following:

- 1. height and setback regulations; and
2. where such facility is located within C2-7 Districts:
i. #sign# regulations;

ii. #floor area ratio# regulations, up to the maximum #floor area ratio# permitted for #community facility uses# for the District; and

iii. #yard# regulations.

b. Conditions

As a condition for granting a special permit, such facility shall:

- 1. conform to the performance standards applicable to M1 Districts;
2. occupy a #zoning lot# that either contains a minimum #lot area# of 40,000 square feet or comprises an entire #block#; and
3. occupy a #zoning lot# containing no #residential use#.

c. Findings

As a condition for granting a special permit, the Commission shall find that the scientific research and development facility:

- (a)(1) will not unduly affect the essential character or impair the future use and development of the surrounding area;
(b)(2) will be located so as to draw a minimum of vehicular traffic to and through local #streets#;
(c)(3) provides fully enclosed storage space for all raw materials, finished products, by-products and waste materials including debris, refuse and garbage; and
(d)(4) that the modification of such height and setback to any applicable #bulk# regulations will not unduly obstruct the access of light and air to adjoining properties or public #streets#.

5. with regard to #sign# modifications:

- i. a signage plan has been submitted showing the location, size, height, and illumination of all #signs# on the #zoning lot#;
ii. the modifications are consistent with the amount and location of commercial life sciences laboratories that the Commission finds appropriate on the #zoning lot#; and
iii. #illuminated signs#, if provided:
a. utilize an illumination type, and are located and oriented in a manner so as to minimize any negative effects on nearby residences; and
b. do not alter the essential character of the adjacent area.

d. Additional requirements

- 1. To minimize traffic congestion in the area, the Commission shall require the provision of off-street loading berths conforming to the requirements set forth in Section 36-62 (Required Accessory Off-street Loading Berths) for #commercial uses#.
2. The Commission may also require the provision of #accessory# off-street parking facilities to prevent the creation of traffic congestion caused by the curb parking of vehicles generated by such #use#. The size and location of such parking, bicycle parking, and loading facilities shall comply with the applicable provisions of Section 36-00, inclusive.
3. All applications for the grant of a special permit, pursuant to this Section shall be referred to the Commissioner of Health of the City of New York or its successor for a report and recommendations on matters relating to health, safety and general welfare of the public with regard to the proposed facility. If the report is received within 45 days from the date of referral, the Commission shall, in its determination, give due consideration to the report and its recommendations. If such agency does not report within 45 days, the Commission may make a final determination without reference thereto.

In order to promote and protect the public health, safety and general welfare, the City Planning Commission may impose additional conditions and safeguards and more restrictive performance standards where necessary.

\* \* \*

No. 3

CD 8 C 210353 ZSM
IN THE MATTER OF an application submitted by New York Blood Center, Inc., pursuant to Sections 197-c and 201 of the New York City Charter for the grant of a special permit, pursuant to Section 74-48\* of the Zoning Resolution as follows:



1. to allow a scientific research and development facility as a commercial use;
2. to allow the floor area ratio regulations, up to the maximum floor area ratio permitted for community facility uses for the District, to apply to the scientific research and development facility use;
3. to modify the height and setback regulations of Section 33-432 (In other Commercial Districts), and the required yard equivalents regulations of Section 33-283 (Required rear yard equivalents); and,
4. to modify the signage regulations of Section 32-641 (Total surface area of signs), Section 32-642 (Non-illuminated signs), Section 32-643 (Illuminated non-flashing signs), Section 32-655 (Permitted Projections or Height of Signs), and Section 32-67 (Special Provisions Applying Along District Boundaries);

to facilitate a proposed 16-story building on property, located at 310 East 67th Street (Block 1441, Lot 40), in a C2-7\*\* District.

\* Note: A zoning text amendment is proposed to Section 74-48 under a concurrent related application for a Zoning Text change (N 210352 ZRM).

\*\* Note: This site is proposed to be rezoned by changing an R8B District to a C2-7 District under a concurrent related application for a Zoning Map change (C 210351 ZMM).

Plans for this proposal are on file with the City Planning Commission and may be seen at 120 Broadway, 31st Floor, New York, NY 10271-0001.

**NOTICE**

On Thursday, July 29, 2021, a public hearing is being held by the City Planning Commission (CPC), accessible both in person and remotely, in conjunction with the above ULURP hearing to receive comments related to a Draft Environmental Impact Statement (DEIS) concerning an application by the New York Blood Center (the Applicant). The Applicant is requesting a rezoning and other discretionary actions from the CPC to facilitate the construction of the Proposed Project, an approximately 596,200 gross-square-foot (gsf) state-of-the-art laboratory building with related offices on the site of the Applicant's existing building at 310 East 67th Street, Block 1441 Lot 40 (the "Development Site"). The Development Site is located on the Upper East Side in Manhattan Community District 8. Block 1441 is bounded by East 66th and East 67th Streets and First and Second Avenues. The Development Site is part of a larger Rezoning Area, which also includes Block 1441, Lots 1001-1202, and Block 1421, p/o Lot 21. To facilitate the Proposed Project the Applicant is requesting several actions from the New York CPC: a zoning map amendment to rezone the Development Site from R8B to C2-7; designation of the Development Site for Mandatory Inclusionary Housing (MIH); and to rezone the remainder of the Rezoning Area (Block 1441, Lots 1001-1202 and the eastern 100 feet of Block 1421, p/o Lot 21) from C1-9 to C2-8. The Applicant is also requesting a zoning text amendment to Section 74-48 of the Zoning Resolution; and a special permit, pursuant to the amended Section 74-48 to modify various sections of the Zoning Resolution, as detailed below. In addition, the Applicant may seek a revocable consent from the New York City Department of Transportation (DOT) to allow a Marquee projection over the building's entrance in accordance with the NYC Building Code.

Written comments on the DEIS are requested and will be received and considered by the Lead Agency through Monday, August 9, 2021.

For instructions on how to submit comments and participate remotely, please refer to the instructions at the beginning of this agenda.

This hearing is being held, pursuant to the State Environmental Quality Review Act (SEQRA) and City Environmental Quality Review (CEQR), CEQR No. 21DCP080M.

**BOROUGH OF BROOKLYN**  
Nos. 4-7  
**960 FRANKLIN AVENUE REZONING**  
No. 4

**CD 9** **C 200184 ZMK**  
**IN THE MATTER OF** an application submitted by Franklin Ave. Acquisition LLC, pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 16d:

1. changing from an R6A District to an R9D District property, bounded by Montgomery Street, Franklin Avenue, a line 150 feet northerly of Sullivan Place, a line 100 feet easterly of Washington Avenue, and a line 300 feet northwesterly of Franklin Avenue; and
2. establishing within the proposed R9D District a C2-4 District bounded by Montgomery Street, Franklin Avenue, a line 150 feet northerly of Sullivan Place, and a line 100 feet northwesterly of Franklin Avenue;

as shown on a diagram (for illustrative purposes only) dated February 1, 2021, and subject to the conditions of CEQR Declaration E-586.

**No. 5**

**CD 9**

**N 200185 ZRK**

**IN THE MATTER OF** an application submitted by Franklin Ave.

Acquisition LLC, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;

Matter ~~struck out~~ is to be deleted;

Matter within # # is defined in Section 12-10;

\* \* \* indicates where unchanged text appears in the Zoning Resolution

\* \* \*

**APPENDIX F**

**Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas**

\* \* \*

**BROOKLYN**

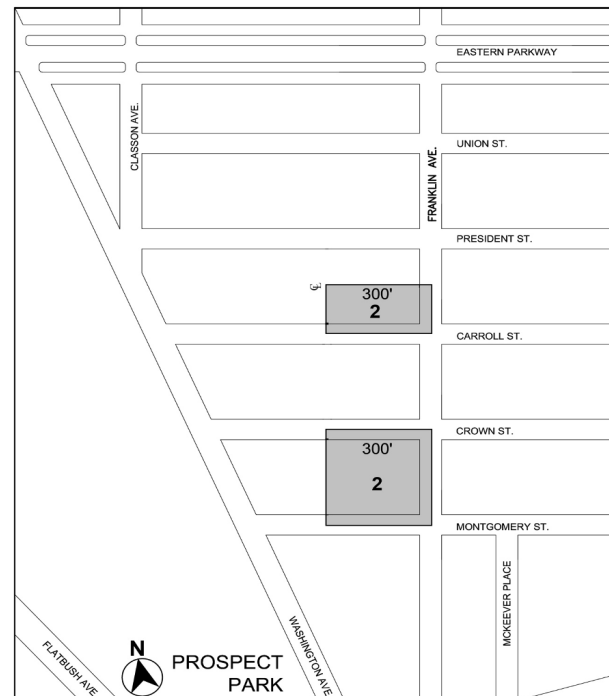
\* \* \*

**Brooklyn Community District 9**

\* \* \*

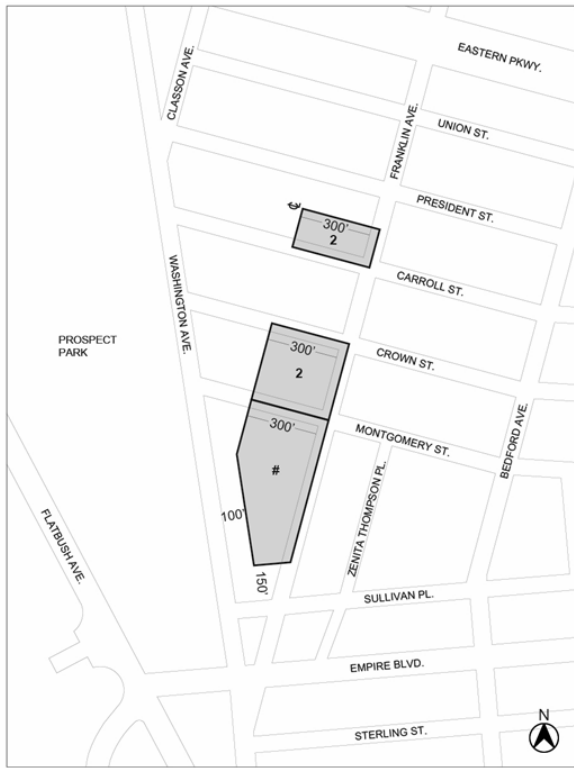
Map 2 - [date of adoption]

[EXISTING MAP]



Mandatory Inclusionary Housing Program area see Section 23-154(d)(3)  
Area 2 12/20/18 — MIH Program Option 1

[PROPOSED MAP]



Mandatory Inclusionary Housing Area (see Section 23-154(d)(3))  
 Area 2 — 12/20/2018 — MIH Program Option 1  
 Area # — [date of adoption] — MIH Program Option 1 and Option 2

Portion of Community District 9, Brooklyn

\* \* \*  
**No. 6**

**CD 9** **C 200186 ZSK**

**IN THE MATTER OF** an application submitted by Franklin Ave. Acquisition LLC, pursuant to Sections 197-c and 201 of the New York City Charter, for the grant of a special permit, pursuant to Sections 74-743 of the Zoning Resolution to modify the height and setback requirements of Section 23-662 (Maximum Height of Buildings and Setback Regulations), and the tower coverage requirements of Section 23-663 (Tower Regulations in R9D and R10X Districts), in connection with a proposed mixed-use development, within a large-scale general development, on property, generally bounded by Montgomery Street, Franklin Avenue, a line 150 feet northerly of Sullivan

Place, a line 100 feet easterly of Washington Avenue, and a line 300 feet northwesterly of Franklin Avenue (Block 1192, Lots 41, 46, 63, & 66), in R9D\* and R9D/C2-4\* Districts.

\* Note: This site is proposed to be rezoned by changing an existing R6A District to R9D and R9D/C2-4 Districts under a concurrent related application for a Zoning Map change (C 200184 ZMK).

Plans for this proposal are on file with the City Planning Commission and may be seen at 120 Broadway, 31<sup>st</sup> Floor, New York, NY 10271-0001.

**No. 7**

**CD 9** **C 200187 ZSK**

**IN THE MATTER OF** an application submitted by Franklin Ave. Acquisition LLC, pursuant to Sections 197-c and 201 of the New York City Charter for the grant of a special permit, pursuant to Sections 74-533 of the Zoning Resolution to reduce from 40 percent to 16 percent, the required number of accessory off-street parking spaces for dwelling units in a development within a Transit Zone, that includes at least 20 percent of all dwelling units as income-restricted housing units, in connection with a proposed mixed-use development, on property generally bounded by Montgomery Street, Franklin Avenue, a line 150 feet northerly of Sullivan Place, a line 100 feet easterly of Washington Avenue, and a line 300 feet northwesterly of Franklin Avenue (Block 1192, Lots 41, 46, 63, & 66), in R9D\* and R9D/C2-4\* Districts.

\* Note: This site is proposed to be rezoned by changing an existing R6A District to an R9 and R9/C2-4 District under a concurrent related application for a Zoning Map change (C 200184 ZMK).

Plans for this proposal are on file with the City Planning Commission and may be seen at 120 Broadway, 31<sup>st</sup> Floor, New York, N.Y. 10271-0001.

**NOTICE**

**On Thursday, July 29, 2021, a public hearing is being held by the City Planning Commission (CPC), accessible both in person and remotely, in conjunction with the above ULURP hearing to receive comments related to a Draft Environmental Impact Statement (DEIS), concerning an application by Franklin Ave. Acquisition LLC (the Applicant). The Applicant is requesting several discretionary actions that would facilitate the development of two mixed-use buildings comprising approximately 1,369,314 gross square feet (gsf) (1,151,671 (zsf) mixed-use commercial/residential development on the block bound by Montgomery Street, Franklin Avenue, Sullivan Place, and Washington Avenue, on the eastern side of the Franklin Avenue subway shuttle right-of-way, in the Crown Heights neighborhood of Brooklyn Community District (CD) 9. The site is comprised of Brooklyn Block 1192, Lots 41, 46, 63 and 66 (the "Development Site"), while the Affected Area also includes Lot 40 and parts of Lot 1 (a portion of the MTA's Franklin Avenue subway shuttle right-of-way), Lot 77 and Lot 85 (the "Affected Area"). To facilitate the Proposed Project, the Applicant is requesting several actions from the CPC including: a zoning map amendment to rezone the Affected Area from R6A to R9D and R9D/C2-4 (within 100 feet of Franklin Avenue), a text amendment to designate the Affected Area as a Mandatory Inclusionary Housing (MIH) area, as well as a Large Scale General Development (LSGD) special permit, and special permit to waive parking.**

Written comments on the DEIS are requested and will be received and considered by the Lead Agency through Monday, August 9, 2021.

For instructions on how to submit comments and participate remotely, please refer to the instructions at the beginning of this agenda.

**This hearing is being held, pursuant to the State Environmental Quality Review Act (SEQRA) and City Environmental Quality Review (CEQR), CEQR No. 19DCP095K.**

YVETTE V. GRUEL, Calendar Officer  
 City Planning Commission  
 120 Broadway, 31<sup>st</sup> Floor, New York, NY 10271  
 Telephone (212) 720-3370



jy15-29

**HOUSING AUTHORITY**

■ MEETING

REVISED NOTICE

The Board Meeting of the New York City Housing Authority, scheduled for Wednesday, July 28, 2021, at 10:00 A.M., will be held in-person in the Ceremonial Room on the 5th Floor, of 90 Church Street, New York, NY, and will be streamed live on NYCHA's YouTube Channel, <http://nyc.gov/nycha>, and NYCHA's Website, [on.nyc.gov/boardmeetings](http://on.nyc.gov/boardmeetings).

Because of capacity limitations, the Board Meeting may also be accessed via Zoom by calling (646) 558-8656 using Webinar ID: 848 6573 9121 and Passcode: 4624786748.

For those wishing to provide public comment, either in-person or via Zoom, pre-registration is required via email, to [corporate.secretary@nycha.nyc.gov](mailto:corporate.secretary@nycha.nyc.gov), or by contacting (212) 306-6088, no later than 5:00 P.M., on the day prior to the Board Meeting. No in-person registration will be conducted. When pre-registering, please provide your name, development, or organization name, contact information and item you wish to comment on. You will then be contacted with instructions for providing comment. Comments are limited to the items on the Calendar.

Speaking time will be limited to three (3) minutes. Speakers will provide comment in the order in which the requests to comment are received. The public comment period will conclude upon all speakers being heard or at the expiration of thirty (30) minutes allotted for public comment, whichever occurs first.

Copies of the Calendar are available on this web page, no earlier than 24 hours before the upcoming Board Meeting. Copies of the Minutes are available on this web page, no earlier than 3:00 P.M., on the Thursday following the Board Meeting.

Any changes to the schedule will be posted here on this web page and via social media to the extent practicable at a reasonable time before the meeting. Any person requiring a reasonable accommodation to participate in the Board Meeting, should contact the Office of the Corporate Secretary, by phone at (212) 306-6088, or by email, at

corporate.secretary@nycha.nyc.gov, no later than Wednesday, July 21, 2021, at 5:00 P.M.

This meeting is open to the public.

- Members of the public attending the Board Meeting are required to wear a face covering when entering and when travelling through the public spaces (lobbies, elevators) of 90 Church Street. Once inside the meeting venue, unvaccinated persons will be required to maintain a face covering and practice physical distancing for the duration of the meeting.

For additional information regarding the Board Meeting, please contact the Office of the Corporate Secretary, by phone at (212) 306-6088, or by email, at corporate.secretary@nycha.nyc.gov.

jl15-28

## LANDMARKS PRESERVATION COMMISSION

### ■ PUBLIC HEARINGS

**NOTICE IS HEREBY GIVEN** that pursuant to the provisions of Title 25, Chapter 3 of the Administrative Code of the City of New York (Sections 25-303, 25-307, 25-308, 25-309, 25-313, 25-318, 25-320) on Tuesday, July 27, 2021, at 9:30 A.M., a public hearing will be held at 1 Centre Street, 9th Floor, Borough of Manhattan with respect to the following properties and then followed by a public meeting.

The final order and estimated times for each application will be posted on the Landmarks Preservation Commission website, the Friday before the hearing. Please note that the order and estimated times are subject to change. Any person requiring reasonable accommodation in order to participate in the hearing or attend the meeting should contact the Landmarks Commission no later than five (5) business days before the hearing or meeting. **Finally, please be aware:** COVID-19 safety protocols are in effect at the location; all members of the public and applicants and their teams must wear a proper face covering.

#### 174 Bergen Street - Boerum Hill Historic District

LPC-21-03796 - Block 386 - Lot 26 - Zoning: R6B

#### CERTIFICATE OF APPROPRIATENESS

A modified Italianate style rowhouse, built in 1873-74. Application is to replace windows.

#### 267 Cumberland Street - Fort Greene Historic District

LPC-21-06055 - Block 2102 - Lot 2 - Zoning: R6B

#### CERTIFICATE OF APPROPRIATENESS

A rowhouse, built in 1863. Application is to construct a rear yard addition.

#### 347 President Street - Carroll Gardens Historic District

LPC-21-05095 - Block 436 - Lot 46 - Zoning: R6B

#### CERTIFICATE OF APPROPRIATENESS

A Neo-Grec style rowhouse, built in 1878. Application is to construct a rear yard addition.

#### 29 Center Drive - Douglaston Historic District

LPC-21-00717 - Block 8064 - Lot 76 - Zoning: R1-2

#### CERTIFICATE OF APPROPRIATENESS

A Greek Revival/Italianate style freestanding house with attached garage, built c. 1848-1850. Application is to construct additions, modify the garage, porch, steps and retaining wall, and reconstruct a cupola.

#### 100 Prospect Avenue - Douglaston Historic District

LPC-21-04351 - Block 8095 - Lot 42 - Zoning: R1-2

#### CERTIFICATE OF APPROPRIATENESS

An Arts and Craft/Shingle style house, built in 1910. Application is to construct a retaining wall and fencing, at the rear yard and widen the driveway.

#### 145 Hudson Street - Tribeca West Historic District

LPC-21-06618 - Block 214 - Lot 7502 - Zoning: C6-2A

#### CERTIFICATE OF APPROPRIATENESS

A 1920s Industrial style factory, with Art Deco style elements, designed by Renwick, Aspinwall & Guard and, built in 1929. Application is to alter the entrance.

#### 53 West 9th Street - Greenwich Village Historic District

LPC-21-07882 - Block 573 - Lot 71 - Zoning: R6

#### CERTIFICATE OF APPROPRIATENESS

An Anglo-Italianate style house, with English and Italianate style elements, built in 1854. Application is to install shutters.

#### 547 West 26th Street - West Chelsea Historic District

LPC-21-08999 - Block 698 - Lot 10 - Zoning: M1-5

#### CERTIFICATE OF APPROPRIATENESS

A utilitarian garage, designed by Charles H. Caldwell and, built in 1912-14. Application is to install and alter canopies and install signage.

#### 333 Central Park West - Upper West Side/Central Park West Historic District

#### LPC-21-05268 - Block 1207 - Lot 29 - Zoning: R10A R7-2

#### CERTIFICATE OF APPROPRIATENESS

A Neo-Renaissance style apartment building, designed by Albert Joseph Bodker and, built in 1909-1910. Application is to install a rooftop pergola.

#### 1083 Fifth Avenue - Expanded Carnegie Hill Historic District

LPC-21-01604 - Block 1501 - Lot 4 - Zoning: R10, P1

#### CERTIFICATE OF APPROPRIATENESS

A Beaux-Arts style townhouse, designed by Turner & Kilian and, built in 1901-02, with significant alterations by Ogden Codman in 1913-15. Application is to enlarge a rooftop bulkhead.

#### 15 East 91st Street - Expanded Carnegie Hill Historic District

LPC-21-05725 - Block 1503 - Lot 14 - Zoning: R10 R8B

#### CERTIFICATE OF APPROPRIATENESS

A Modern style apartment building, designed by Leonard Schultze & Associates and, built in 1946-47. Application is to remove a balcony enclosure.

#### 1047 Amsterdam Avenue - Individual Landmark

LPC-21-09853 - Block 1865 - Lot 1 - Zoning: R7-2

#### CERTIFICATE OF APPROPRIATENESS

An ecclesiastical complex set in landscaped grounds comprising seven religious and institutional buildings, designed in varied styles, by Ithiel Town, Heins & LaFarge, Cram, Goodhue & Ferguson, Hoyle, Doran & Berry, Cook & Welch, Ralph Adams Cram, and C. Grant LaFarge and built over the course of the 19th and 20th Century. Application is to remove a retaining wall, regrade, and install fencing and light fixtures.

#### 120 East 106th Street - Individual Landmark

LPC-21-09366 - Block 1633 - Lot 61 - Zoning: R7-2

#### CERTIFICATE OF APPROPRIATENESS

A Romanesque Revival style church building, designed by Napoleon Le Brun & Sons and, built in 1883-1887. Application is to install a barrier-free access lift.

jl13-26

### CORRECTED NOTICE

**NOTICE IS HEREBY GIVEN** that, pursuant to the provisions of Title 25, Chapter 3 of the Administrative Code of the City of New York (Sections 25-303, 25-307, 25-308, 25-309, 25-313, 25-318, 25-320) on Tuesday, August 3, 2021 at 9:30 A.M., a public hearing will be held at 1 Centre Street, 9th Floor, Borough of Manhattan with respect to the following properties and then followed by a public meeting.

The final order and estimated times for each application will be posted on the Landmarks Preservation Commission website, the Friday before the hearing. Please note that the order and estimated times are subject to change. Any person requiring reasonable accommodation in order to participate in the hearing or attend the meeting should contact the Landmarks Commission no later than five (5) business days before the hearing or meeting. **Finally, please be aware:** COVID-19 safety protocols are in effect at the location; all members of the public and applicants and their teams must wear a proper face covering.

#### 50-02 39th Avenue, aka Phipps Playground - Sunnyside Gardens Historic District

LPC-21-00012 - Block 129 - Lot 30 - Zoning: R4

#### BINDING REPORT

A quarter-acre fenced-in playground, with a shed and pavilion. Application is to refurbish the playground.

#### 291 St. Paul's Avenue - St. Paul's Avenue-Stapleton Heights Historic District

LPC-21-06249 - Block 517 - Lot 49 - Zoning: R3X

#### CERTIFICATE OF APPROPRIATENESS

A Neo-Colonial style freestanding house, designed by Otto Loeffler and built in 1917. Application is to construct a rear deck.

#### 49-51 Chambers Street - African Burial Ground & The Commons Historic District

LPC-21-10492 - Block 153 - Lot 7501 - Zoning: C6-4

#### MISCELLANEOUS - AMENDMENT

A Beaux-Arts style skyscraper and interior banking hall, designed by Raymond F. Almirell and built in 1909-12. Application is to amend a proposal approved at the Public Meeting of July 21, 2020 for alterations to the banking hall, to include the installation of partitions, desk and cabinetry.

#### 408-410 Broadway - SoHo-Cast Iron Historic District

LPC-21-08147 - Block 196 - Lot 5 - Zoning: M1-5

#### CERTIFICATE OF APPROPRIATENESS

An Italianate style store and loft building, designed by Henry Engelbert and built c. 1866-1868. Application is to modify openings, replace infill and install signage.

#### 140 West Broadway (aka 140-142 West Broadway and 82 Thomas Street) - Tribeca West Historic District

LPC-21-04082 - Block 144 - Lot 26 - Zoning: C6-2A

#### CERTIFICATE OF APPROPRIATENESS

An Italianate/Neo-Grec style store and loft building, designed by Carl Pfeiffer and built in 1866. Application is to remove and relocate vault lights and replace the sidewalk and loading dock.

**495 Broadway - SoHo-Cast Iron Historic District**  
LPC-21-06057 - Block 484 - Lot 24 - Zoning: CERTIFICATE OF APPROPRIATENESS

A Beaux-Arts style store and loft building, designed by Alfred Zucker and built in 1892-1893. Application is to construct rooftop additions.

**13 Crosby Street - SoHo-Cast Iron Historic District Extension**  
LPC-21-10606 - Block 233 - Lot 4 - Zoning: M1-5B  
CERTIFICATE OF APPROPRIATENESS

A Renaissance Revival style store and loft building, designed by Charles Abbott French and built in 1901. Application is to enlarge a rooftop bulkhead and extend a chimney.

**36 Walker Street - Tribeca East Historic District**  
LPC-21-01775 - Block 194 - Lot 14 - Zoning: C6-2A  
CERTIFICATE OF APPROPRIATENESS

An Italianate style store and loft building, built in 1859-60. Application is to construct bulkheads and a pergola, remove steps, replace storefront infill, and install a cornice.

**400 West 57th Street - The Windmere**  
LPC-22-00009 - Block 1066 - Lot 32 - Zoning: C1-8/R8/C1-5  
CERTIFICATE OF APPROPRIATENESS

An Eclectic style apartment complex, designed by Theophilus G. Smith and built in 1880-81. Application is to construct rooftop and rear yard additions, install rooftop mechanical equipment, alter the areaways and install a barrier-free access lift.

**451-455 Madison Avenue, aka 29 1/2 East 50th Street - Individual Landmark**  
LPC-21-06662 - Block 1286 - Lot 21 - Zoning: C5-3, C5-2.5  
CERTIFICATE OF APPROPRIATENESS

A complex of Italian Renaissance-style townhouses, designed by McKim, Meade, and White and built in 1882-85. Application is to establish a restoration master plan for the use of substitute materials.

**118 East 62nd Street - Upper East Side Historic District**  
LPC-21-04098 - Block 1396 - Lot 65 - Zoning: R8B  
CERTIFICATE OF APPROPRIATENESS

A rowhouse, designed by Robert Mook and built in 1869-70 and altered in a late Beaux Arts style by Carrere & Hastings in 1909. Application is to replace areaway ironwork.

jy20-a3

**OFFICE OF THE MAYOR**

MEETING

NOTICE IS HEREBY GIVEN that the Report and Advisory Board Review Commission will hold a public meeting, on Wednesday, July 28, 2021, at 253 Broadway, RFK Conference Room, 8th Floor, from 2:00 P.M. - 3:00 P.M. During the coming months, the commission will be reviewing reports and advisory boards that are required by local law, and will be making recommendations as to which should be removed, improved, or otherwise streamlined to improve efficiency and transparency.

Accessibility questions: Fiona Peach, (212) 748-0307, fpeach@cityhall.nyc.gov, by: Monday, July 26, 2021, 5:00 P.M.



jy19-28

**PROPERTY DISPOSITION**

**CITYWIDE ADMINISTRATIVE SERVICES**

SALE

The City of New York in partnership with PropertyRoom.com posts vehicle and heavy machinery auctions online every week, at: <https://www.propertyroom.com/s/nyc+fleet>

All auctions are open, to the public and registration is free.

Vehicles can be viewed in person, at: Kenben Industries Ltd., 1908 Shore Parkway, Brooklyn, NY 11214 Phone: (718) 802-0022

No previous arrangements or phone calls are needed to preview. Hours are Monday and Tuesday from 10:00 A.M. - 2:00 P.M.

f23-a4

**HOUSING PRESERVATION AND DEVELOPMENT**

PUBLIC HEARINGS

All Notices Regarding Housing Preservation and Development Dispositions of City-Owned Property appear in the Public Hearing Section.

j4-d30

**PROCUREMENT**

*“Compete To Win” More Contracts!*

*Thanks to a new City initiative - “Compete To Win” - the NYC Department of Small Business Services offers a new set of FREE services to help create more opportunities for minority and Women-Owned Businesses to compete, connect and grow their business with the City. With NYC Construction Loan, Technical Assistance, NYC Construction Mentorship, Bond Readiness, and NYC Teaming services, the City will be able to help even more small businesses than before.*

- Win More Contracts, at [nyc.gov/competetowin](http://nyc.gov/competetowin)

*“The City of New York is committed to achieving excellence in the design and construction of its capital program, and building on the tradition of innovation in architecture and engineering that has contributed to the City’s prestige as a global destination. The contracting opportunities for construction/construction services and construction-related services that appear in the individual agency listings below reflect that commitment to excellence.”*

HHS ACCELERATOR

To respond to human services Requests for Proposals (RFPs), in accordance with Section 3-16 of the Procurement Policy Board Rules of the City of New York (“PPB Rules”), vendors must first complete and submit an electronic prequalification application using the City’s Health and Human Services (HHS) Accelerator System. The HHS Accelerator System is a web-based system maintained by the City of New York for use by its human services Agencies to manage procurement. The process removes redundancy by capturing information about boards, filings, policies, and general service experience centrally. As a result, specific proposals for funding are more focused on program design, scope, and budget.

Important information about the new method

- Prequalification applications are required every three years.
- Documents related to annual corporate filings must be submitted on an annual basis to remain eligible to compete.
- Prequalification applications will be reviewed to validate compliance with corporate filings, organizational capacity, and relevant service experience.
- Approved organizations will be eligible to compete and would submit electronic proposals through the system.

The Client and Community Service Catalog, which lists all Prequalification service categories and the NYC Procurement Roadmap, which lists all RFPs to be managed by HHS Accelerator may be viewed, at <http://www.nyc.gov/html/hhsaccelerator/html/roadmap/roadmap.shtml>. All current and prospective vendors should frequently review information listed on roadmap to take full advantage of upcoming opportunities for funding.

Participating NYC Agencies

HHS Accelerator, led by the Office of the Mayor, is governed by an Executive Steering Committee of Agency Heads who represent the following NYC Agencies:

Administration for Children's Services (ACS)  
 Department for the Aging (DFTA)  
 Department of Consumer Affairs (DCA)  
 Department of Corrections (DOC)  
 Department of Health and Mental Hygiene (DOHMH)  
 Department of Homeless Services (DHS)  
 Department of Probation (DOP)  
 Department of Small Business Services (SBS)  
 Department of Youth and Community Development (DYCD)  
 Housing and Preservation Department (HPD)  
 Human Resources Administration (HRA)  
 Office of the Criminal Justice Coordinator (CJC)

To sign up for training on the new system, and for additional information about HHS Accelerator, including background materials, user guides and video tutorials, please visit [www.nyc.gov/hhsaccelerator](http://www.nyc.gov/hhsaccelerator)

**AGING**

■ AWARD

*Human Services/Client Services*

**FY22-23 RENEWAL 12522VRNA638** - Renewal - PIN# 12520F8005KXLR002 - AMT: \$740,000.00 - TO: New York Foundation for Senior Citizens, Inc., 11 Park Place, Suite 1416, New York, NY 10007-2801.

DFTA ID: 638 Home Sharing - FY22-23 Renewal DFTA baseline funds to continue home sharing services for older adults

☛ jy26

**CITYWIDE ADMINISTRATIVE SERVICES**

■ AWARD

*Goods*

**COVID-19 AIR PURIFIERS** - Emergency Purchase - PIN# 85622E0001001 - AMT: \$10,042,200.00 - TO: K&S Industries Corp., 432 Castleton Avenue, Staten Island, NY 10301.

Pursuant to Executive Order 101, the Commissioner of Department of Citywide Administrative Services has designated the awarded contract as necessary to respond to the COVID-19 emergency. This procurement is being made for Personal Protective Equipment (PPE), to aid in this effort.

Award Date 7/15/2021

☛ jy26

**HEATING OIL: BIO-BLEND & BIO-HEAT, BULK DELIVERY** - Competitive Sealed Bids - PIN# 85721B0093 - AMT: \$52,007,000.00 - TO: United Metro Energy Corp, 500 Kingsland Avenue, Brooklyn, NY 11222.

☛ jy26

**HEATING OIL: BIO-BLEND & BIO-HEAT, BULK DELIVERY** - Competitive Sealed Bids - PIN# 85721B0093 - AMT: \$5,852,000.00 - TO: Approved Oil Company of Brooklyn Inc., 6717 4th Avenue, Brooklyn, NY 11220.

☛ jy26

**TRUCKS, CREW CAB/DRY FREIGHT W/POWER LIFT GATE** - Competitive Sealed Bids - PIN# 8571900295 - AMT: \$811,473.14 - TO: Gabrielli Truck Sales Limited, 153-20 South Conduit Avenue, Jamaica, NY 11434.

☛ jy26

**COMPTROLLER**

**INFORMATION TECHNOLOGY**

■ INTENT TO AWARD

*Goods*

**RENEWAL OF TEAMMATE SOFTWARE LICENSES** - Sole Source - Available only from a single source - PIN# 01522BIST52290 - Due 8-3-21 at 5:00 P.M.

The New York City Comptroller's Office, intends to enter into a Sole Source procurement, in accordance with Section 3-05 of the New York City Procurement Policy Board Rules with Wolters Kluwer Financial Services Inc. for Teammate Software Licenses. The term of the license coverage will be from October 1, 2021 to September 30, 2022. Wolters Kluwer Financial Services Inc. is the sole provider of the proprietary software package "TeamMate".

Any qualified vendor that wishes to express interest in providing such product and believes that, at present or in the future it can also provide these software licenses, is invited to do so by submitting an expression of interest which must be received, no later than August 3, 2021, at 5:00 P.M. to Caroline Wisniewski, Manager Administration, Contracts and Procurement, at [cwisnie@comptroller.nyc.gov](mailto:cwisnie@comptroller.nyc.gov).

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids, at date and time specified above.

Comptroller, 1 Centre Street, Room 1200, New York, NY 10007. Caroline Wisniewski (212) 669-8218; [cwisnie@comptroller.nyc.gov](mailto:cwisnie@comptroller.nyc.gov)

jy23-29

**DISTRICT ATTORNEY - NEW YORK COUNTY**

**PROCUREMENT AND CONTRACT MANAGEMENT**

■ SOLICITATION

*Goods and Services*

**AUCTION SERVICES** - Request for Proposals - PIN# 20211500005AUCTION - Due 8-23-21 at 3:00 P.M.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids, at date and time specified above.

District Attorney - New York County, One Hogan Place, New York, NY 10013. Tracey Robinson (212) 335-3910; [robinsontr@dany.nyc.gov](mailto:robinsontr@dany.nyc.gov)

jy23-29

**HEALTH AND MENTAL HYGIENE**

■ AWARD

*Human Services/Client Services*

**81621N0318-NAE** - Negotiated Acquisition - Other - PIN# 81621N0318001 - AMT: \$41,157.00 - TO: Association For Neurologically Impaired Brain Injure, 61-35 220th Street, Oakland Gardens, NY 11362.

PIN: 22MR008201R0X00. DOHMH, is entered into a Negotiated Acquisition Extension with Association for Neurologically Impaired Brain Injured Children to provide a year round program of social, recreational, leisure activities which are intellectually and interpersonally stimulating but which may not necessarily be part of a goal-based program plan. The program will provide opportunities to any individual with a developmental disability. The contract will begin July 1, 2021 and will terminate on June 30, 2022. Pursuant to Section 3-04(b)(2)(iii) of the Procurement Policy Board Rules, the Agency intends to enter into negotiated acquisition extension with the existing vendor to ensure continuity of services. An RFP is currently in development, with anticipated completion by Fall 2022.

Due to the COVID-19 pandemic, DOHMH is experiencing administrative delays in the processing of an RFP that will provide Family Support Services. DOHMH intends to contract with the existing vendors to ensure continuity of services in order to prevent a gap in services until the new RFP is implemented. DOHMH is currently processing the RFP, the anticipated start date for the awarded vendor(s) is on or about October 2021 at which time these contracts will be terminated.

☛ jy26

**HOMELESS SERVICES**

■ AWARD

*Human Services/Client Services*

**TO DEV. & OPERATE A STAND ALONE TRANSITIONAL RES. FOR HOMELESS FAMILIES WITH CHILDREN - HALL PLACE FAMILY RES, 1075 HALL PLACE, BX, NY 10459** - Competitive Sealed Proposals - Judgment required in evaluating proposals - PIN# 07110P000227 - AMT: \$21,688,490.00 - TO: New Hope Transitional Housing Inc., 154 Watson Avenue, Bronx, NY 10472-5328.

Contract Term: 7/1/2021 to 6/30/2026

☛ jy26

**HOUSING AUTHORITY**

**PROCUREMENT**

**SOLICITATION**

*Construction Related Services*

**SMD SERVICES INDEFINITE DELIVERY INDEFINITE QUANTITY (IDIQ) GAS PIPING RESTORATION, ASBESTOS INVESTIGATION, AIR MONITORING AND ASBESTOS ABATEMENT AT VARIOUS DEVELOPMENTS LOCATED WITHIN ALL FIVE (5) BOROUGHES OF NEW YORK CITY**  
- Competitive Sealed Bids - Due 8-12-21 at 10:00 A.M.

PIN# 336880  
PIN# 336881  
PIN# 336882

This Contract shall be subject to the New York City Housing Authority's Project Labor Agreement and, as part of its bid, the Bidder must submit: (1) a Letter of Assent to the Project Labor Agreement signed by the Bidder and (2) Letters of Assent signed by each of the Bidder's proposed Subcontractors. The Bidder must submit along with its bid a Letter of Assent signed by the Bidder.

The scope of work under this contract is to restore gas services by replacing existing underground gas distribution piping between buildings up to and including building shutoff valve and includes but not limited to Core boring and drilling, Removal and installation of piping, fittings and valves, Stove hook-up, Fire stopping, Inspections etc.

Interested vendors are invited to obtain a copy of the opportunity at NYCHA's website by going to the <http://www.nyc.gov/nychabusines>. On the left side, click on "iSupplier Vendor Registration/Login" link. (1) If you have an iSupplier account, then click on the "Login for registered vendors" link and sign into your iSupplier account. (2) If you do not have an iSupplier account you can Request an account by clicking on "New suppliers register in iSupplier" to apply for log-in credentials. Once you have accessed your iSupplier account, log into your account, then choose under the Oracle Financials home page, the menu option "Sourcing Supplier", then choose "Sourcing", then choose "Sourcing Homepage"; and conduct a search in the "Search Open Negotiations" box for the RFQ Number (s) 336880, 336881, 336882.

Note: In response to the COVID-19 outbreak, we are accepting only electronic bids submitted online via iSupplier. Paper bids will not be accepted or considered. Please contact NYCHA Procurement, at [procurement@nycha.nyc.gov](mailto:procurement@nycha.nyc.gov), for assistance.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.  
*Housing Authority, 90 Church Street, 6th Floor, New York, NY 10007.  
Miriam Rodgers (212) 306-4718; [miriam.roddgers@nycha.nyc.gov](mailto:miriam.roddgers@nycha.nyc.gov)*

← jy26

**HUMAN RESOURCES ADMINISTRATION**

**INTENT TO AWARD**

*Human Services/Client Services*

**06921R0309-REQ. 6/28/2021 HUNGER FREE AMERICA SNAP OUTREACH** - Required/Authorized Source - PIN# 06921R0309 - Due 7-27-21 at 2:00 P.M.

Hunger Free America will increase SNAP participation among low-income NYC residents by maximizing accessibility to SNAP Outreach Services and case mediation.

jy20-26

**PARKS AND RECREATION**

**AWARD**

*Services (other than human services)*

**AWARD FOR QUEENS BIKE RENTALS** - Competitive Sealed Proposals - Judgment required in evaluating proposals - PIN# Q99-BR-2020 - AMT: \$74,343.00 - TO: Freetime, Inc., d/b/a Wheel Fun Rentals, 4526 Telephone Road, Suite 202, Ventura, CA 93003.

The City of New York Department of Parks & Recreation ("Parks") has awarded a concession to Freetime, Inc., d/b/a Wheel Fun Rentals, of

4526 Telephone Road, Suite 202, Ventura, CA 93003, for the development, operation and maintenance of bicycle rental stations at various locations in Queens with the option at Parks' sole discretion for additional Queens locations in the future. The concession, which was solicited by a Request for Proposals, will operate pursuant to a permit agreement for one (1) five (5) year term with two (2) one (1) year renewal options at Parks' sole discretion. Compensation to the City will be as follows: Year 1: \$10,000 vs. 10% of annual gross receipts; Year 2: \$10,200 vs. 10% of annual gross receipts; Year 3: \$10,404 vs. 10% of annual gross receipts; Year 4: \$10,612 vs. 10% of annual gross receipts; Year 5: \$10,824 vs. 10% of annual gross receipts; Option 1 - Year 6: \$11,041 vs. 10% of annual gross receipts; Option 2 - Year 7: \$11,262 vs. 10% of annual gross receipts.

← jy26

**REVENUE AND CONCESSIONS**

**SOLICITATION**

*Services (other than human services)*

**FOR THE OPERATION AND MAINTENANCE OF FOOD CONCESSIONS AT RANDALL'S ISLAND PARK, MANHATTAN** - Competitive Sealed Proposals - Judgment required in evaluating proposals - PIN# M104-SB-2021 - Due 8-27-21 at 3:00 P.M.

In accordance with Section 1-13 of the Concession Rules of the City of New York, the New York City Department of Parks and Recreation ("Parks"), is issuing, as of the date of this notice, a non-significant Request for Proposals ("RFP") for the operation and maintenance of one (1) interior food concession at Icahn Stadium, the operation and maintenance of three (3) seasonal cafes, and the operation and maintenance of up to four (4) mobile food units at Randall's Island Park, Manhattan.

There will be a recommended remote proposer meeting on Thursday, July 22, 2021, at 2:00 P.M. If you are considering responding to this RFP, please make every effort to attend this recommended remote proposer meeting.

The Cisco WebEx link for the remote proposer meeting is as follows:

<https://nycparks.webex.com/nycparks/j.php?MTID=m960da9c5e99332eef01fa12ee8a21974>

Meeting number: 179 644 1388

Password: Parks123

You may also join the remote proposer meeting by phone using the following information:

+1-646-992-2010 OR +1-408-418-9388

Access code: 179 644 1388

Subject to availability and by appointment only, we may set up a meeting at the proposed concession site, which is located at Icahn Stadium, 10 Central Road, New York, NY 10035.

All proposals submitted in response to this RFP must be submitted no later than Friday, August 27, 2021 at 3:00 P.M.

Hard copies of the RFP can be obtained at no cost, commencing Friday, July 16, 2021 through Friday, August 27, 2021, by contacting Andrew Coppola, Senior Project Manager at (212) 360-3454, or at Andrew.Coppola@parks.nyc.gov.

The RFP is also available for download, on Friday, July 16, 2021, through Friday, August 27, 2021, on Parks' website. To download the RFP, visit <http://www.nyc.gov/parks/businessopportunities>, and click on the "Concessions Opportunities at Parks" link. Once you have logged in, click on the "download" link that appears adjacent to the RFP's description.

For more information or if you cannot attend the remote proposer meeting, prospective proposers may contact Andrew Coppola, Senior Project Manager, at (212) 360-3454, or at Andrew.Coppola@parks.nyc.gov.

**TELECOMMUNICATION DEVICE FOR THE DEAF (TDD)**  
(212) 504-4115.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

*Parks and Recreation, The Arsenal, 830 Fifth. Andrew Coppola (212) 360-3454; [andrew.coppola@parks.nyc.gov](mailto:andrew.coppola@parks.nyc.gov)*

jy16-29

**REQUEST FOR PROPOSALS TO MANAGE THE SEASONAL ICE SKATING RINK IN BRYANT PARK, MANHATTAN** - Competitive Sealed Proposals - Judgment required in evaluating proposals - PIN# 2021-M8-IS - Due 8-6-21 at 5:00 P.M.

The Bryant Park Corporation ("BPC"), is issuing, as of the date of this notice, a Request for Proposals (RFP) to manage the season ice skating rink in Bryant Park, Manhattan.

All proposals submitted in response to this RFP must be submitted no later than Friday, August 6, 2021, at 5:00 P.M.

The RFP is available for download, commencing on Monday, July 12, 2021, on BPC's website. To download the RFP, please visit <https://bryantpark.org/about-us/#job-openings> and click on the Ice Rink Management Section.

For more information, prospective proposers may contact Rachel Zurier, Director of Operations, at the Bryant Park Corporation, at (917) 438-5134, or [rzurier@urbanmgt.com](mailto:rzurier@urbanmgt.com).

TELECOMMUNICATION DEVICE FOR THE DEAF (TDD) (212) 504-4115.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

*Parks and Recreation, 5 Bryant Park, Suite 2400 New York, NY 10018. Rachel Zurier (917) 438-5134; rzurier@urbanmgt.com*

**jy16-29**

**FOR THE RENOVATION, OPERATION, AND MAINTENANCE OF A CAFÉ AT HUNTER'S POINT SOUTH PARK, QUEENS**

- Competitive Sealed Proposals - Judgment required in evaluating proposals - PIN# Q471-SB-2021 - Due 8-27-21 at 3:00 P.M.

In accordance with Section 1-13 of the Concession Rules of the City of New York, the New York City Department of Parks and Recreation ("Parks"), is issuing, as of the date of this notice, a significant Request for Proposals (RFP) for the Renovation, Operation, and Maintenance of a café at Hunter's Point South Park, Queens.

There will be a recommended remote proposer meeting on Friday, July 23, 2021, at 2:00 P.M. If you are considering responding to this RFP, please make every effort to attend this recommended remote proposer meeting.

The Cisco WebEx link for the remote proposer meeting is as follows:

<https://nycparks.webex.com/nycparks/j.php?MTID=m48dc96701c6ea9809ceca4f4d0125bd9>

Meeting number: 179 427 5972

Password: Parks123

You may also join the remote proposer meeting by phone using the following information:

+1-646-992-2010 OR +1-408-418-9388

Access code: 179 427 5972

Subject to availability and by appointment only, we may set up a meeting at the proposed concession site, which is located in Hunter's Point South Park, Long Island City, NY.

All proposals submitted in response to this RFP must be submitted no later than Friday, August 27, 2021, at 3:00 P.M.

Hard copies of the RFP can be obtained at no cost, commencing Friday, July 16, 2021 through Friday, August 27, 2021, by contacting Andrew Coppola, Senior Project Manager, at (212) 360-3454, or at [Andrew.Coppola@parks.nyc.gov](mailto:Andrew.Coppola@parks.nyc.gov).

The RFP is also available for download, on Friday, July 16, 2021, through Friday, August 27, 2021, on Parks' website. To download the RFP, visit, <http://www.nyc.gov/parks/businessopportunities>, and click on the "Concessions Opportunities at Parks" link. Once you have logged in, click on the "download" link that appears adjacent to the RFP's description.

For more information or if you cannot attend the remote proposer meeting, prospective proposers may contact Andrew Coppola, Senior Project Manager, at (212) 360-3454, or at [Andrew.Coppola@parks.nyc.gov](mailto:Andrew.Coppola@parks.nyc.gov).

TELECOMMUNICATION DEVICE FOR THE DEAF (TDD) (212) 504-4115.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

*Parks and Recreation, The Arsenal, 830 Fifth. Andrew Coppola (212) 360-3454; andrew.coppola@parks.nyc.gov*

**jy16-29**

**FOR THE RENOVATION, OPERATION AND MAINTENANCE OF AN OUTDOOR CAFÉ AT MINERAL SPRINGS, CENTRAL PARK, MANHATTAN**

- Competitive Sealed Proposals - Judgment required in evaluating proposals - PIN# M10-33-SB-2021 - Due 9-3-21 at 3:00 P.M.

In accordance with Section 1-13 of the Concession Rules of the City of New York, the New York City Department of Parks and Recreation ("Parks") is issuing, as of the date of this notice a significant Request for Proposals ("RFP") proposals for the renovation, operation, and maintenance of an outdoor café at Mineral Springs, Central Park, Manhattan.

There will be a recommended remote proposer meeting on Wednesday, August 4, 2021, at 2:00 P.M. If you are considering responding to this RFP, please make every effort to attend this recommended remote proposer meeting.

The Cisco WebEx link for the remote proposer meeting is as follows: <https://nycparks.webex.com/nycparks/j.php?MTID=mb39364b67f573e3248c9e533703e599f>

Meeting Number: 179 020 4930 Password: Parks123

You may also join the remote proposer meeting by phone using the following information:

+1-646-992-2010 OR +1-408-418-9388

Access code: 179 020 4930

Subject to availability and by appointment only, we may set up a meeting at the proposed concession site (Block #1111 & Lot #1), which is located between 69th and 70th Streets and between Terrace Drive and Sheep Meadow in Central Park, Manhattan.

All proposals submitted in response to this RFP must be submitted no later than Friday, September 3, 2021, at 3:00 P.M.

Hard copies of the RFP can be obtained at no cost, commencing Friday, July 23, 2021 through Friday, September 3, 2021, by contacting Eric Weiss, Senior Project Manager, at (212) 360-3483 or at [Eric.Weiss@parks.nyc.gov](mailto:Eric.Weiss@parks.nyc.gov).

The RFP is also available for download, on Friday, July 23, 2021 through Friday, September 3, 2021, on Parks' website. To download the RFP, visit <http://www.nyc.gov/parks/businessopportunities> and click on the "Concessions Opportunities at Parks" link. Once you have logged in, click on the "download" link that appears adjacent to the RFP's description.

For more information or if you cannot attend the remote proposer meeting, prospective proposers may contact Eric Weiss, Senior Project Manager at (212) 360-3483 or at [Eric.Weiss@parks.nyc.gov](mailto:Eric.Weiss@parks.nyc.gov).

TELECOMMUNICATION DEVICE FOR THE DEAF (TDD) (212) 504-4115.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

*Parks and Recreation, The Arsenal, Central Park, 830 Fifth Avenue, Room 407, New York, NY 10065. Eric Weiss (212) 360-3483; eric.weiss@parks.nyc.gov*

**jy23-a5**

**NEW YORK CITY POLICE PENSION FUND**

■ AWARD

*Services (other than human services)*

**ORACLE DBA** - Request for Proposals - PIN# RFP2562103COPS - AMT: \$160,000.00 - TO: Mlogica, 6720 Via Austi Parkway, Suite 400, Las Vegas, NV 89119.

**jy26**

**CONTRACT AWARD HEARINGS**

**NOTE: LOCATION(S) ARE ACCESSIBLE TO INDIVIDUALS USING WHEELCHAIRS OR OTHER MOBILITY DEVICES. FOR FURTHER INFORMATION ON ACCESSIBILITY OR TO MAKE A REQUEST FOR ACCOMMODATIONS, SUCH AS SIGN LANGUAGE INTERPRETATION SERVICES, PLEASE CONTACT THE MAYOR'S OFFICE OF CONTRACT SERVICES (MOCS) VIA EMAIL, AT [DISABILITYAFFAIRS@MOCS.NYC.GOV](mailto:DISABILITYAFFAIRS@MOCS.NYC.GOV) OR VIA PHONE, AT (212) 788-0010. ANY PERSON REQUESTING REASONABLE ACCOMMODATION FOR THE PUBLIC**

**HEARING, SHOULD CONTACT MOCS, AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF THE HEARING, TO ENSURE AVAILABILITY.**



**PARKS AND RECREATION**

**■ PUBLIC HEARINGS**

**NOTICE IS HEREBY GIVEN** that a Contract Public Hearing will be held on August 11, 2021, at 2:30 PM.

The Public Hearing will be held via Zoom Virtual Meeting. <https://us02web.zoom.us/j/9573076290?pwd=cnVXVzN2Q014SjBlaktyVzIzWnlvUT09>  
Meeting ID: 957 307 6290; Passcode: 118035

**IN THE MATTER OF** a proposed Purchase Order/Contract between the New York City Department of Parks and Recreation and DEBORAH BRADLEY CONSTRUCTION AND MANAGEMENT SERVICES INC., for B245-118MA St. John's Recreation Center Adult Fitness Area, Borough of Brooklyn. The amount of this Purchase Order/Contract is \$438,975.81. The term shall be 365 consecutive calendar days from the Order to Work. Contract B245-118MA; E-PIN 84622W0001001.

The Vendor has been selected by M/WBE Noncompetitive Small Purchase Method, pursuant to Section 3-08 (c)(1)(iv) of the Procurement Policy Board Rules.

In order to access the Public Hearing and testify, please join our Zoom Virtual Meeting link.

If you need further accommodations, please let us know at least five business days in advance of the Public Hearing via e-mail, at [Kylie.Murphy@parks.nyc.gov](mailto:Kylie.Murphy@parks.nyc.gov).

← jy26

**POLICE DEPARTMENT**

**■ PUBLIC HEARINGS**

**NOTICE IS HEREBY GIVEN** that a Public Hearing will be held on Monday, August 9, 2021 commencing at 10:30 A.M. via a call-in telephone conference. The dial-in phone number is 866-500-7470 and access code is 34817009.

**IN THE MATTER OF** a proposed Purchase Order/Contract between the Police Department of the City of New York and Loom Tech Corp, located at 123 Norwalk Avenue Staten Island, NY 10314 for the provision of the Replacement of Steam traps for the NYPD. The Purchase Order/Contract amount will be \$149,450. The Purchase Order/Contract term will be for one year, with an anticipated contract term from September 01, 2021 through August 31, 2022. (EPIN: 05622W0001001). The Vendor has been selected pursuant to Section 3-08 (c)(1)(iv) of the Procurement Policy Board Rules.

In order to access the Public Hearing and testify, please call 866-500-7470, Access code is 34817009, no later than 10:25 A.M. If you require further accommodations, please send an email to [contracts@nypd.org](mailto:contracts@nypd.org) no later than five business days before the hearing date.

← jy26

**YOUTH AND COMMUNITY DEVELOPMENT**

**■ PUBLIC HEARINGS**

**NOTICE IS HEREBY GIVEN** that a Contract Public Hearing will be held on Tuesday, August 10, 2021 via Phone Conference (Dial In: +1 646-893-7101/Access Code: 627 579 679#) commencing at 10:00 A.M on the following:

**IN THE MATTER of** (1) one proposed FY21 Tax Levy Discretionary contracts between the Department of Youth and Community Development and the Contractor listed below are to provide funding to support five community-based organizations with programs to foster healthier communities. The term of this contract shall be from July 1, 2020 to June 30, 2021 with no option to renew. Contract Number 26020L2118001 Contractor Name WEST HARLEM GROUP ASSISTANCE, INC. Contract Amount \$145,000.00 Contractor Address 1652 Amsterdam Avenue New York, New York 10031 The proposed contractor is being funded through Line Item Appropriations or

Discretionary Funds pursuant to Section 1-02 (e) of the Procurement Policy Board (PPB) Rules.

In order to access the Public Hearing or to testify, please join the public hearing conference call at the toll-free number 866-580-6521: Access Code: 627 579 679# no later than 9:50 am on the date of the hearing. If you require further accommodations, please contact Renise Ferguson via email, [referguson@dycd.nyc.gov](mailto:referguson@dycd.nyc.gov) no later than three business days before the hearing date.

← jy26

**AGENCY RULES**

**ENVIRONMENTAL PROTECTION**

**■ NOTICE**

**NOTICE OF ADOPTION OF FINAL RULE**

**NOTICE IS HEREBY GIVEN**, pursuant to the authority vested in the Commissioner of the Department of Environmental Protection ("Department" or "DEP") by Section 1043(a) of the New York City Charter and section 24-346 of the Administrative Code of the City of New York that the Department promulgates and adopts amendments to its rules governing and restricting the use and supply of water to clarify language, update references to national standards and local codes, and to reflect changes in technology and practice related to the installation, repair, and maintenance of water services and service connections, and to the selection, sizing, and use of water meters. These amendments also implement Local Law 47 for the year 2016 by establishing DEP's authority to deny a permit application and to revoke, suspend, cancel, or terminate any previously issued permit due to the non-payment of civil penalties.

**Statement of Basis and Purpose**

The New York City Department of Environmental Protection ("DEP" or "Department") is amending its rules governing and restricting the use and supply of water (Title 15, chapter 20 of the Rules of the City of New York ("RCNY")), to clarify language, update references to national standards and local codes, and to reflect changes in technology and practice related to the installation, repair, and maintenance of water services and service connections, and to the selection, sizing, and use of water meters. These amendments also implement Local Law 47 for the year 2016 by establishing DEP's authority to deny a permit application and to revoke, suspend, cancel, or terminate any previously issued permit due to the non-payment of civil penalties.

These changes reflect DEP's efforts to improve the clarity of the rules and eliminate outdated rules and specifications. The amendments were developed partly in response to recommendations from oversight agencies.

Additionally, working with the City's rulemaking agencies, the Law Department, the Mayor's Office of Management and Budget, and the Mayor's Office of Operations conducted a retrospective review of the City's existing rules, identifying rules that should be repealed or modified to reduce regulatory burdens, increase equity, support small businesses, and simplify and update content to help support public understanding and compliance. In light of this review, DEP is making various plain language changes in chapter 20 of title 15 of the RCNY to help make it easier to read and understand.

In addition to the replacement of outmoded terms with current terms, the following amendments are being made:

- Subdivision (a) of Section 20-01 is amended to add meter attachment to the list of purposes for which a permit is required and to clarify that permits are not transferable.
- A new subdivision (b)(4) is added to Section 20-01 to provide for the denial of permit applications, and the revocation, suspension, cancellation, or termination of any previously issued permit, for unpaid fines.
- Subdivision (c) of Section 20-01 is amended to clarify the appeal process for Licensed Plumbers who have been cited for violating DEP rules.
- Subdivision (a) of Section 20-02 is amended to replace an outmoded plumbing term with a current term, as well as to clarify the conditions under which two or more tax lots may not share one service connection.



- Subdivision (b) of Section 20-03 is amended to clarify metering requirements for internal water mains, and to clarify an existing term.
- Subdivisions (f), (h), and (q) of Section 20-03 are amended to include more current technical standard references for pipe materials, mechanical piping joints and backfill requirements for service line excavation.
- Subdivision (x) of Section 20-03 is amended to delete the requirement that the meter permit be returned when the property owner does not allow the installation of the meter. This change is being made based on suggestions from the plumbing industry.
- Subdivisions (a), (b), and (c) of Section 20-04 are amended to provide updated standard references. Subdivision (c) is also amended to add a validity period for the approval of the Cross Connection Control Review.
- Subdivisions (d) and (e) of Section 20-04 are amended to clarify the installation requirements, initial testing requirements, and annual testing requirements for Backflow Prevention Devices; and to simplify the language of the rule by splitting the initial and annual testing requirements across 2 subdivisions.
- A new subdivision (i) is added to Section 20-04 to provide requirements for backflow device removal, decommission, relocation, or swapping.
- Subdivision (a) of Section 20-05 is amended to clarify internal water main backflow and metering requirements and to replace outdated and/or confusing plumbing terms with current terms.
- Subdivision (c) of Section 20-05 is amended to specifically reference American Water Works Association standards.
- Subdivision (d) of Section 20-05 is amended by deleting several paragraphs that repeat information already contained in an American Water Works standard, thereby simplifying the language of this rule. This subdivision is also amended to clarify DEP's ability to require meter manufacturers to submit information about the lead content of their products and to include a barcode tag that speeds processing of meter information at the time of a meter replacement or installation.
- Subdivisions (e) and (i) of Section 20-05 are amended to clarify bolt specifications, locations of electromagnetic meters and types of approved inlet and outlet valves.
- Subdivision (j) of Section 20-05 is amended to clarify that unmetered bypasses on service lines are prohibited, but that an owner such as a hospital that wishes to avoid water shutdown disruptions can install a metered bypass or have a set of two meters in parallel allowing one to remain in service while the other is replaced.
- Subdivision (s) of Section 20-05 is amended to clarify that electronic attachments used to obtain pulse data for a Building Management computer from a DEP meter are not a source of consumption data for billing purposes.
- Subdivision (t) is added to Section 20-05 to clarify that meters are the property of DEP and must be returned upon request. Subdivision (t) also clarifies that DEP will allow photographs to be submitted as proof that the meter has been replaced, unless DEP formally requests for the actual meter to be returned.
- Subdivision (a) of Section 20-05 is amended to clarify internal water main backflow and metering requirements, to require replacement of lead or galvanized metal water service pipes prior to installation of a water meter, and to replace outdated and/or confusing plumbing terms with current terms.
- Subdivision (a) of Section 20-07 is amended to specifically include internal water mains as subject to DEP inspection.
- Subdivision (b) of Section 20-07 is amended to provide that Licensed Master Plumbers must request inspections and to simplify the language detailing the types of jobs and structures for which such a request for inspection is required.
- Subdivision (i) is added to Section 20-07 to add a water sampling test requirement for a job requiring the addition of taps to a new internal water main.
- Subdivision (a) of Section 20-08 is amended to remove archaic language that might prevent modern automatic faucets from using the flow of water to charge their battery.
- Subdivision (b) of Section 20-08 is amended to extend the hours of use of hydrant permits and to clarify the requirement for a backflow preventer for connections to a hydrant for purposes other than firefighting.
- Section 20-10 (the Glossary) is amended by adding five new definitions, revising 11 definitions, and removing two definitions.

- The Appendix is amended by replacing 8 existing figures with 4 new figures.

A public hearing regarding the amendments was held on December 31, 2020. Based on comments received at the hearing or submitted in writing, the following changes are being made:

- The repeal of the suction tank section (20-04(h)) is being reversed and the section left in place.
- A validity period for Cross Connection Plan approvals has been added to section 20-04
- Section 20-05 is amended to allow photographs to be submitted as proof of meter replacement, unless DEP requests for the actual meter to be returned.
- A definition has been added in section 20-10 for the term "connection".

The term "shall" indicates a requirement, the term "should" indicates a recommendation for good waterworks practice and the term "may" is permissive.

New material is underlined.

[Deleted material is in brackets.]

**Chapter 20 of Title 15 of the Rules of the City of New York is amended to read as follows:**

Section 1. Subdivision (a) of Section 20-01 of Title 15 of the Rules of the City of New York is amended to read as follows:

(a) *General information.* Subject to the provisions of this chapter, permits will be issued for the following purposes upon receipt of proper applications and permit fees:

Hydrant, Use of  
Meter Accuracy Test  
Meter Attachment  
Meter Disconnect for Repair or Change of Piping ("Break Seal")  
Meter Setting, New, Replacement or Additional  
Meter Testing and Repair Company  
Plug, Tap/Wet Connection (Termination of Service)  
Service [Pipe] Connection, Relay of  
Service [Pipe] Connection, Repair of  
Service [Pipe] Connection, Thawing of  
Tap Installation  
Tap Installation and Plug of Prior Tap  
Tap Location, Electrical Indicator  
Wet Connection Installation (including Internal Water Main)  
Wet Connection Installation and Plug of Prior Tap or Wet Connection

All work under a permit [shall] must be performed by the [permittee] permit holder and/or persons directly employed and supervised by the [permittee] permit holder. Permits are not transferable and valid for the work described thereon.

§ 2. Subdivision (b) of Section 20-01 of Title 15 of the Rules of the City of New York is amended by adding a new paragraph (4) to read as follows:

(4) (i) The Commissioner may deny any permit application, and may revoke, suspend, cancel, or terminate any previously issued permit, where any party related to the work, including but not limited to the contractor, building owner, or licensed master plumber, has docketed, unpaid civil penalties imposed by the New York City Environmental Control Board or a tribunal of the Office of Administrative Trials and Hearings for violations of sections 20-01, 20-02, 20-04, 20-05, 20-06, or 20-08 of these Rules or sections 24-308, 24-337 or 24-339 of the Administrative Code. (ii) In determining whether to exercise the power granted by subparagraph (i) of this paragraph, the Commissioner shall consider whether such applicant or permittee has other unpaid penalties, taxes or other debt owed to the city; the amount of the unpaid civil penalties imposed by the environmental control board or a tribunal of the office of administrative trials and hearings; whether the violation underlying the unpaid penalties imposed by the environmental control board or a tribunal of the office of administrative trials and hearings was issued by the Department of Environmental Protection or another agency; whether such violation is one of a series of violations returnable to such board or tribunal and the nature of the underlying violation; whether the unpaid civil penalties imposed by the environmental control board or a tribunal of the office of administrative trials and hearings were imposed pursuant to a finding of default that was subsequently vacated or whether the applicant or permittee has made a request to vacate such default and obtain a new hearing pursuant to the rules of such board or tribunal; or any other consideration the commissioner deems appropriate.

§ 3. Paragraph (3) of subdivision (c) of Section 20-01 of Title 15 of the Rules of the City of New York is amended to read as follows:

(3) Upon review of the appeal, the Commissioner or his/her designee may, in his/her discretion, grant or deny the petition. Appeals shall be processed within thirty (30) calendar days of receipt of such appeal. If the Department [shall] fails to process an appeal within thirty (30) calendar days the appeal shall be granted, provided that the petitioner has responded to all requests for information submitted by the Department.

§ 4. The title of subdivision (e) of Section 20-01 of Title 15 of the Rules of the City of New York is amended to read as follows:

(e) Permits at [job] work site.

§ 5. Subdivision (a) of Section 20-02 of Title 15 of the Rules of the City of New York is amended to read as follows:

(a) Separate supply. A separate corporation stop (tap) and service [pipe] connection shall be installed for each building supplied with City water, except for buildings that have service [pipes] connections supplied by internal water mains as described in 15 RCNY § 20-03(b). One tax lot cannot be supplied with water from another tax lot. [Siamese] Y-type corporation stops (taps) or service [pipes] connections on the inlet side of the main house control valve or upstream of the backflow prevention device are prohibited. A service [pipe] connection connected to the City main by a T-connection, or by any means other than a corporation stop (tap) or a wet connection, shall be controlled by a gate valve placed in the service [pipe] connection, and located within two (2) feet of the point of connection to the main. Any property that meets any of the following conditions must be in full compliance with this subdivision:

- (1) Any property constructed after January 1, 1992.
- (2) A sale of property either supplying City water to another tax lot or being supplied with City water from another tax lot;
- (3) The installation of a new service connection and/or renovation of an existing service connection where such installation or renovation shall constitute a substantial improvement to or alteration of the property, as defined in § 24-334(2) of the administrative code of the City of New York;
- (4) The renovation of a property supplying City water to another tax lot or being supplied with City water from another tax lot where such renovation shall constitute a substantial improvement to or alteration of the property, as defined in § 24-334(2) of the administrative code of the City of New York; and
- (5) Conversion of a property's billing from metered to flat-rate or flat-rate to metered.

Notwithstanding the foregoing provisions of this subdivision, any property that receives a written waiver from the Department dated after January 1, 2021 shall be considered in full compliance with this subdivision.

§ 6. The title of subdivision (f) of Section 20-02 of Title 15 of the Rules of the City of New York is amended to read as follows:

(f) Permits at [job] work site.

§ 7. Subdivision (g) of Section 20-02 of Title 15 of the Rules of the City of New York is amended to read as follows:

(g) Plugs. If an approved excavation for the removal or destruction of a single corporation stop (tap) reveals that the service [pipe] connection is supplied by two (2) or more corporation stops (taps), the Licensed Master Plumber making the excavation [shall] must plug or destroy the additional corporation stops (taps). The Department will make its records relative to the location of any corporation stop (tap) to be plugged or destroyed available to the licensed plumber. The Licensed Master Plumber shall be solely responsible for locating the corporation stop (tap). A separate permit will be required for each corporation stop (tap) destroyed.

§ 8. Paragraph (5) of subdivision (h) of Section 20-02 of Title 15 of the Rules of the City of New York is amended to read as follows:

(5) Three-way connections to be abandoned [shall] must have all piping disconnected and removed from the branch hub of the three-way, and an approved plug inserted into the hub. The plug [shall] must be anchored to the main as directed by the Department. All work [shall] must be done by a Licensed Master Plumber, and the [permittee] permit holder [shall] must pay all costs associated with shutting the main.

§ 9. Paragraphs (1), (2), and (3) of subdivision (k) of Section 20-02 of Title 15 of the Rules of the City of New York are amended to read as follows:

- (1) Fire connections. The Department of Buildings shall determine the size and type of all fire water service [pipes] connections to be installed. The size of corporation stops (taps) or wet connections for fire service [pipes] connections shall be subject to the approval of the Department.
- (2) Combined service [pipes] connections / dual fire and domestic service [pipes] connections. A connection for [domestic] combined purposes may be made from either a fire service [pipe] connection or a domestic service connection, only upon approval of the Department of Buildings. For such installations, valve(s) and meter(s) must be installed as required by §20-05 of these Rules.
- (3) Prohibitions. Fire service [pipes] connections shall not be cross-connected with any system of piping except as described in §20-02(l)(k)(2), in accordance with the approved water system by the Department.

§ 10. Paragraphs (1), (2), and (3) of subdivision (m) of Section 20-02 of Title 15 of the Rules of the City of New York are amended to read as follows:

- (1) When a [permittee] permit holder fails to provide a safe and adequately sized excavation for installation of a corporation stop (tap) or wet connection on the date and time for which an appointment has been scheduled, the installation will not be made and the [permittee] permit holder will be required to schedule a new appointment.
- (2) When a [permittee] permit holder fails to have a completed service [pipe] connection installation or plug ready for inspection on the date and time for which an inspection has been scheduled, the [permittee] permit holder will be required to schedule a new appointment.
- (3) If a [permittee] permit holder must leave an excavation open for a subsequent corporation stop (tap)/ wet connection [installation] or service [pipe] connection inspection, the excavation [shall] must be made safe, in accordance with DOT requirements.

§ 11. Subdivision (q) of Section 20-02 of Title 15 of the Rules of the City of New York is amended to read as follows:

(q) Shut-off of tap by licensed master plumber. A Licensed Master Plumber must secure a permit to open or shut a tap controlling a service [pipe connected] connection to a City water main for any repair, replacement or installation. If it is necessary to shut off the water main while repairing, replacing or installing a service [pipe] connection, the Licensed Master Plumber [shall] must immediately notify the Department. The shut off [shall] must be made only by the Department, and the [permittee] permit holder must pay all costs associated with shutting off the main. If a property is vacant and sealed longer than one year, the property owner must have the tap destroyed or plugged and the service line plugged. If the property owner fails to take this action, the Department may perform the work upon written notice to the property owner at the mailing address on file with the Department and assess the cost to the property owner.

§ 12. Paragraph (1) of subdivision (a) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (1) A Licensed Professional Engineer, Registered Architect or Licensed Master Plumber may obtain advance conceptual design approval for corporation stops (taps), wet connections, service [pipes] connections or relays by submitting a conceptual design drawing to the Department and paying the required fee. Information on the related water demand, existing service material, length of service [pipe] connection, proposed size of the corporation stop (tap)/ wet connection, type of service [pipe] connection and fire sprinkler [heads] and/or standpipe systems to be utilized must also be provided.

§ 13. Paragraphs (1) and (2) of subdivision (b) of Section 20-03 of Title 15 of the Rules of the City of New York are amended to read as follows:

- (1) Design stage approval for internal water mains [shall] must be obtained from both the Department and the Department of Buildings. Approval for a meter [shall] must be obtained from the Department's Bureau of Customer Services and for [RPZ] Backflow Prevention Devices settings from the Department's Bureau of Water and Sewer Operations (Cross Connection Control Unit). Requests for approval [shall] must be made by a New York State-Licensed Professional Engineer or Registered Architect.
- (2) Internal water mains [shall] must have, in addition to any meters required by §20-05 (a), [an] approved [meter] hydrants and backflow prevention devices in a meter vault or

above-ground enclosure ("hot box") installed inside the property within two (2) feet of the property line. After installation, such hydrants and backflow prevention devices will be owned, maintained and repaired by the property owner while meters at the property line will be owned, maintained, and repaired [and read] by the Department. [If a private street in a development remains privately owned, then the meter at the property line shall be used for billing and any individual meters in the development shall be deemed the owner's submeters. If the City assumes possession of a private street in a development, then the] The meter at the property line shall be used solely for monitoring purposes and any individual meters in the development shall be used for billing unless the tax lot contains only one building in which case the property line meter will be used for billing.

§ 14. Subparagraphs (v) and (vi) of paragraph (3) of subdivision (b) of Section 20-03 of Title 15 of the Rules of the City of New York are amended to read as follows:

- (v) Taps and wet connections to internal water mains [shall] must be installed by the Department. [The service pipes] Service connections [shall] must be installed by a New York City-Licensed Master Plumber with design stage approval to perform the work and must be inspected by the Department.
- (vi) Internal water mains must be disinfected in accordance with American Water Works Association (AWWA) [standards] Standard C651-14 for disinfection of water mains, prior to being accepted for individual service connections or being placed into service. A water quality sample result acceptable to the Department must be obtained for internal water mains prior to placing them into service or issuing design stage approval for connection to such internal water mains.

§ 15. Paragraph (1) of subdivision (d) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (1) [Minimum acceptable] Acceptable sizes of corporation stops (taps), wet connections and service [pipes] connections that provide domestic water supply shall be determined by the Department sizing tables. (See Appendix Tables #1, #2 and #3.)  
The minimum tap size shall be three-quarter (¾) inch and the service connection shall be at least one (1) inch in diameter.

§ 16. Paragraph (5) of subdivision (f) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (5) All service [pipes] connections [shall] must conform to the most recent revision of the following standards, except that all service [pipes] connections, corporation stops, tail pieces, nuts and other fittings [shall] must not have a lead content that [shall not] exceed 0.250%:
  - (i) [Department of Citywide Administrative Services, division of Municipal Supply Services 32-P-3 Standard for Brass and Copper.
  - (ii) Department of Citywide Administrative Services, Division of Municipal Supply Services 32-T-1 Standard for Copper Tubing] New York City Plumbing Code section PC 605, except that above-ground, copper indoor service [pipe] connection four (4) inches or smaller, including the meter setting and piping for any backflow prevention device, [shall] must be Type K or Type L copper.
  - [(iii)] (ii) For three (3) inch and four (4) inch diameter iron pipe: ANSI/AWWA C151/A21.51, Class 52, Standard for Ductile Iron Pipe, Centrifugally Cast, for Water or Other Liquids.
  - [(iv)] (iii) For greater than four (4) inch diameter pipe: ANSI/AWWA C151/A21.51, Class 56, Standard for Ductile-Iron Pipe, Centrifugally Cast, for Water or Other Liquids.

§ 17. Subdivision (h) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (h) Joints. Ductile iron [pipe] piping [shall] must have mechanical or push on joints with field-lock gaskets. Rodding of fittings, when necessary, [shall] must be in accordance with [DDC] NYC DEP Standard Sewer and Water Main Specifications (July 2014 or later editions).

§ 18. Subdivision (j) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

(j) House Control Valves. House control valves, which [shall] must be made of material similar to the corresponding service [pipes] connections, [shall] must be gate OS&Y type with the exception of those between the sizes of three-quarter (¾) inch and two (2) inches, which may be full port ball valves. The lead content of such valves [shall] must not exceed 0.25[0]% as determined by current NSF International Standard/American National Standard NSF/ANSI 61. The house control valve [shall] must be placed [in] on the service [pipe] connection inside the building within two (2) feet of the building wall, and [shall] must be located where it is accessible at all times. All valves [shall] must be designed for a 150 psi minimum working pressure. For fire, sprinkler, and/or standpipe service [pipes] connections, and for any service [pipe] connection which supplies sprinkler heads, the house control valve [shall] must be an OS&Y Valve [or an indicating valve approved by the Department of Buildings]. Notwithstanding the preceding sentence, for fire or combined service [pipes] connections two (2) inches or smaller, the house control valve may be an OS&Y valve or a UL/FM-approved full-port ball valve approved by the Department of Buildings.

§ 19. Paragraphs (1) and (2) of Subdivision (k) of Section 20-03 of Title 15 of the Rules of the City of New York are amended to read as follows:

- (1) Curb valves [shall] must be full port ball valves or non-rising stem gate valves designed for a minimum of 150 psi of working pressure.
- (2) Curb valves [shall be required] must be included on all [domestic] water service [pipes larger than two (2) inch in size and on any water service pipe that provides for fire protection] connections that supply all systems. All curb valves [shall] must be set in the service [pipe] connection in the sidewalk area, and [shall] must be located eighteen (18) inches from the curb line or other such locations as may be approved by the Department.

§ 20. Subdivision (n) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (n) Service [pipe] connection depth. All service [pipes] connections [shall] must be installed at a depth of at least three and one-half (3 ½) feet, no more than six (6) feet below ground, unless a written waiver is obtained from the Department. Where a service [pipe] connection is installed with less than three and one-half (3 ½) feet of cover, it must be insulated and protected in accordance with the requirements described in §20-03(y). A service [pipe] connection [shall] must not be laid within six (6) inches of any other sub-surface structure, conduit or pipe. A service [pipe] connection [shall] must not be laid directly below, and parallel [with,] within six (6) inches of any other sub-surface structure, conduit or pipe.

§ 21. Subdivision (o) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (o) Service in construction trench. Service [pipes] connections laid in a construction trench [shall] must be adequately supported and protected from settlement (deflection).

§ 22. Subdivision (q) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (q) Backfill. Backfill around and one foot over a service [pipe] connection [shall] must be of clean earth, free of stones, and [shall] must be carefully tamped and compacted in accordance with the latest NYC DOT [specifications] Standard Highway Specifications (2015 or later editions). The remainder of the backfill [shall] must be free of stones larger than three (3) inches in diameter, and [shall] must be satisfactorily compacted either by tamping, flushing or both. Where tunneling has been permitted, the backfilling of the tunnel portion [shall] must be well compacted with clean earth fill free of stones.

§ 23. Subdivision (r) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (r) Test of service [pipe] connection. Each new or repaired service [pipe] connection shall be subject to a pressure test performed under street main pressure. This test [shall] must be conducted by the Licensed Master Plumber in the presence of a Department inspector. All service [pipes] connections and [appurtenances] accessories [shall] must remain uncovered for the duration of the test for observance of leakage.

§ 24. Subdivision (s) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

(s) *Service [pipe] connection repairs.* A new service [pipe] connection must be installed where more than one-half (½) of an existing service [pipe] connection is in need of a repair or when any repairs are required and the existing service [pipe] connection is lead, galvanized steel or galvanized iron. All repairs must conform with the standards described in [§20-03 of these Rules] this section.

§ 25. Subdivision (v) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

(v) *Protection of service [pipe] connection and house control valve.* (1) The property owner, and not the Department, is responsible for:

- (i) Preventing physical deterioration of the service, curb valve, house control valve or distribution pipe which may damage a meter or prevent its maintenance or replacement[.];
- (ii) [The owner shall be responsible for] Repairing or replacing equipment, service or distribution piping to allow maintenance, proper operation or replacement of the meter[.]; and
- (iii) [The owner, and not the department, is responsible for] The maintenance of the service and distribution pipe and its associated fittings and equipment.

(2) The meter setting is the responsibility of the Department.

§ 26. Subdivision (x) of Section 20-03 of Title 15 of the Rules of the City of New York is amended to read as follows:

(x) *Installation of a meter on unmetered properties whenever a domestic service [pipe] connection is replaced, repaired or relaid.* Whenever a domestic or combined service connection for an unmetered property is installed, replaced, repaired or relaid, a water meter [shall] must be installed to cover the entire premises in accordance with §20-05 of these Rules. When the work is not performed under emergency conditions, DEP will indicate on the permit that the property is unmetered. When the service [pipe] connection relay, repair or replacement occurs on an emergency basis, the Licensed Master Plumber may install a set of meter inlet and outlet valves and a spool piece of a length similar to the displacement meter for that size service if the Licensed Master Plumber does not have a meter available for installation at the time of the emergency visit. [If the property owner will not allow the installation of a water meter as part of the service replacement, installation, repair or relay, the Licensed Master Plumber must return the meter permit completed but include a statement that the owner would not allow the installation of a meter.]

§ 27. Subdivision (a) of Section 20-04 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (a) *Backflow prevention devices.* Air Gap, Reduced Pressure Zone [devices] Assemblies (RPZs), and Double Check Valve Assemblies (DCVs) are approved backflow prevention devices (BFPs). Double Check Detector Assemblies (DCDAs) and Reduced Pressure Detector Assemblies (RPDAs), which are an outgrowth of DCVs, can be used only on the fire water service. [Backflow prevention devices] BFPs [shall] must be installed to prevent possible backflow/back-siphonage] from a commercial property or dwelling unit into a City water main, private water main, or internal water main (see §20-05 (a) (2) (ii) of these Rules). A property owner [shall] must install an approved [backflow prevention device] BFP in every water service [pipe] connection that has a potential or actual cross connection hazard, as determined by the Commissioner.

§ 28. Subdivision (b) of Section 20-04 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (b) *Backflow prevention device requirements.* [Backflow prevention devices] Containment backflow prevention assemblies shall be installed on the service line upon entrance into the property, to address actual or potential hazards, as follows:

DEP CONTAINMENT REQUIREMENT

DEGREE OF HAZARD	PROTECTION REQUIRED
Hazardous [Facilities]	Air Gap or Reduced Pressure Zone [Device] <u>Assembly</u>
Aesthetically Objectionable	Double Check Valve Assembly
Non-Hazardous [Facilities] with Hazardous Fixtures (such as) <u>large/chemically treated boilers, cooling towers, etc.)</u>	Double Check Valve Assembly (Provided that internal protective devices are installed for [the] <u>these hazardous fixtures in accordance with Department of Building requirements</u> ).
Non-Hazardous Facilities	[None] <u>Internal Plumbing Control</u>

Subject to review by the Department, the degree of hazard shall be [determined] assessed by the property owner's New York State Licensed Professional Engineer, or Registered Architect [or Licensed Master Plumber] in accordance with [guidelines] regulations established by the New York State Department of Health (NYSDOH). Refer to the latest Supplement to the NYSDOH Handbook for Cross Connection Control, as revised by DEP.

§ 29. Subdivision (c) of Section 20-04 of Title 15 of the Rules of the City of New York is amended to read as follows:

(c) *Cross connection control reviews.* A Cross Connection Control Review [shall be] is required prior to approval of a permit application for installation of a corporation stop (tap) or wet connection that will be used to supply water to a property that poses a backflow hazard. A Cross Connection Control Review [shall] is also [be] required prior to installation of a wet connection. Approval of Cross Connection submissions are for backflow prevention devices only and [shall] does not constitute approval of the meter setting or other aspects of the water service design. Cross Connection Control Reviews are valid for two (2) years from the date of approval.

§ 30. Subdivision (d) of Section 20-04 of Title 15 of the Rules of the City of New York is amended to read as follows:

- (d) *Installation of backflow prevention devices and initial testing requirements.* (1) Where the Commissioner determines that a facility poses a potential or actual hazard to the City Water Supply, he or she [shall] must direct the [building] property owner [or customer] to install an approved backflow prevention device in the service [pipe] connection.
- (2) A [Licensed Master Plumber] Professional Engineer or Registered Architect [shall] must submit an application and installation plans for a backflow prevention device to the Department [of Buildings] for [a permit or an] approval to install a RPZ or a Double Check Valve Assembly along with the appropriate filing fee. After plan approval, a Licensed Master Plumber must submit an application to the Department of Buildings for a work permit to install a RPZ or a Double Check Valve Assembly. [RPZ's] RPZs and Double Check Valve Assemblies [shall] must be installed in accordance with plans approved by the Department, and metering shall be permitted from the Department's Bureau of Customer Services, prior to work. A [Licensed] Professional Engineer or Registered Architect and a Licensed Master Plumber [shall] must inspect and certify that the completed installation conforms to the plans approved by the Department and is in proper working order by submitting an initial test report (From Gen 215-B) for each device to the Department within 30 days of testing the backflow prevention device.
- (3) A [building] property owner [or customer] who fails [of] to install a backflow prevention device as directed by the Commissioner or fails to submit an initial test report to the Department within 30 days of testing of the RPZs or Double Check Valve Assemblies [shall be] is subject to the issuance of [notices of violation] summonses, cease and desist orders, other civil and criminal actions and proceedings, and such fines, penalties and other enforcement measures as may be imposed, pursuant to section 24-346 of the Administrative Code, including but not limited to the termination of the water supply to the [building] property or to any portion thereof or a facility therein which the [Environmental Control Board] Office of Administrative Trials and Hearings or the Commissioner may deem necessary to prevent or alleviate any hazard to the City Water Supply.

- (4) The [customer] property owner [shall] must pay any fees which the New York City Water Board may establish and publish in the Water and Wastewater Rate Schedule in connection with the termination or restoration of Water service to the [customer] property owner.

§ 31. Subdivision (e) of Section 20-04 of Title 15 of the Rules of the City of New York is amended to read as follows:

(e) Backflow prevention device testing requirements after initial testing. (1) [Each RPZ or Double Check Valve must be tested upon installation, device repair, at least once annually, and as otherwise required by the Building or Health Codes. Testing shall be performed by a backflow preventer tester who is certified by the New York State Department of Health and employed by a Licensed Master Plumber. An initial test report shall be submitted to the Department upon installation and testing of the RPZ or Double Check Valve. Within 12 months of the date on which the initial test report is submitted, an annual test report certifying that the backflow prevention device is operating properly shall be submitted to the Department. Every annual test report thereafter shall be submitted within 12 months of the date the last annual test report was submitted] In addition to the initial test required in subdivision (d), each RPZ or Double Check Valve Assembly must be tested upon device repair or device replacement, at least once annually, and as otherwise required by the Building or Health Codes.

(2) [Defects in any device tested shall be repaired within thirty (30) days, and the repair shall be followed by a retest. Retest results shall be submitted to the Department within thirty (30) days of completion of the repair] Within 12 months of the date on which the initial test report is submitted, an annual test report certifying that the backflow prevention device is operating properly must be submitted to the Department. Every annual test report thereafter must be submitted within 12 months of the date the last annual test report was submitted.

(3) Failure of a [building] property owner [or customer] to provide an annual test report, or a test report otherwise required by this section, certifying that an existing backflow prevention device installed pursuant to this section or otherwise is properly operating [shall be] is a violation of these rules and subjects the property owner to the issuance of a summons.

(4) Testing must be performed by a backflow preventer tester who is certified by the New York State Department of Health and employed by a Licensed Master Plumber.

(5) Any submitted RPZ or Double Check Valve Assembly test report must be complete originals. Initial test reports must include the Registered Architect or Professional Engineer stamp and the Licensed Master Plumber seal. Annual test reports must include the Licensed Master Plumber seal.

(6) Initial or annual test reports that do not show a properly working device will not be accepted by the Department. Defects in any device tested must be repaired within thirty (30) days, and the repair must be followed by a retest. Retest results must be submitted to the Department within thirty (30) days of completion of the repair.

(7) Test reports must be submitted as specified at the bottom of Form GEN215-B.

§ 32. Section 20-04 of Title 15 of the Rules of the City of New York is amended by adding a new subdivision (i) to read as follows:

**(i) Backflow prevention assembly decommission/swapping/removal**

- (1) Containment backflow prevention assemblies shall not be ineffective, by-passed, made inoperative, or removed without a prior approval from the Department.
- (2) A property having no auxiliary (untreated) water system is eligible to decommission the containment RPZ assembly that may not be required by current DEP regulations and local codes provided that:
- (i) A Professional Engineer or Registered Architect shall inspect the property owner/customer's plumbing system(s), to confirm that no cross-connections are present, and submit an elaborated decommission report and plans on the backflow prevention assembly will be physically replaced with proper containment that is deemed adequate and effective for the ongoing degree of associated hazard.
- (ii) The premises shall be surveyed by the Department authorized inspectors to determine the presence and prevalence of potential hazards to ensure the water system protection is in accordance with the Program requirements.

- (3) A prior approval of the Department shall be obtained before a containment BFP assembly is removed, by-passed, relocated, replaced (swapped) or other assembly substituted.

(i) Removal:

The use of an assembly may be discontinued and removed from service upon presentation of sufficient evidence to the Department to verify that a health hazard no longer exists. A Professional Engineer or Registered Architect shall submit an exemption request for the containment backflow prevention assembly to the Department. A property owner who removes a backflow prevention assembly without the approval of the Department is in violation of these rules and is subject to the issuance of a summons.

(ii) Relocation:

An assembly may be relocated following confirmation/approval by DEP that the relocation will continue to provide the required level of protection and satisfy the installation requirements. Testing and certification of the relocated assembly shall be required upon relocation.

(iii) Replacement (Swapping):

An assembly may be removed for replacement (swapping) or repair provided that the water use is discontinued until the replaced assembly is installed or repair is completed and the assembly is returned to service. All replaced assemblies shall be commensurate with the degree of health hazard involved. Water use may be continued if the service connection is equipped with another backflow protection approved by the Department. Testing and certification of the replaced/repaired assembly shall be required upon replacement/repair. Lead-Free assembly shall be installed for the human domestic consumption.

§ 33. The title of Subdivision (a) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(a) [Placement] ~~Placement-General~~.

§ 34. Paragraph (2) of Subdivision (a) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(2) (i) Each building [shall] must have one (1) meter on each service [pipe] connection supplying the building set at the point of entry. However, the Department may issue a variance or approval allowing two (2) or more separate meters to serve residential and non-residential (or rate-eligible and ineligible) occupancies [on] in the same building or lot to comply with a rate or billing program established by the New York City Water Board.

(ii) Properties with internal water mains must have a meter and backflow prevention devices in a vault or above-ground enclosure located at the property line at each connection to the city water system.

(iii) Unmetered properties with a lead or galvanized metal service pipe shall not be permitted to install a water meter except when accompanied with complete replacement of the lead or galvanized service line.

§ 35. Subparagraphs (i) and (ii) of paragraph (5) of subdivision (a) of Section 20-05 of Title 15 of the Rules of the City of New York are amended to read as follows:

(i) Fire service [pipes] connections:

Fire service [pipes] connections in premises supplied with City water [shall] must have an approved [double detector check] backflow prevention assembly. It can be either a double check detector or reduced pressure detector assemblies. Fire service [pipes] connections of two-and-one-half (2½) inches in diameter [shall] must be provided with [meter] valves, and fittings required for a three (3) inch service [pipe] connection. Fire service [pipes] connections supplying private hydrants [shall] must have fire service [meters] valves and fittings.

(ii) Service [pipes] connections supplying both domestic and fire protection uses:

DOB-approved combined services three inches (3") or larger in diameter [shall] must have either a single fire [service] rate meter at the head of the service or, if separation between domestic and fire service piping branches occurs within sight of the head of the service, a meter approved for domestic service on the domestic service piping branch to domestic end uses and [a double detector check] an approved backflow prevention assembly on the fire service piping branch serving fire protection [equipment] system. Domestic services three inches (3") or larger in diameter with fire sprinkler heads take off [shall] must use a fire [service] rate meter. Domestic services smaller than three inches (3")

in diameter with fire sprinkler heads take off [shall] must have a meter approved by the Department.

Pumped services to house tanks where the fire protection design is met by the volume of water in the house tank [shall] must use a turbine type or electronic type meter.

§ 36. Subparagraph (i)(a) of paragraph (2) of subdivision (c) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(i) A permit applicant's written procedures and written training programs [shall] must include, at a minimum:

(a) Meter accuracy testing and reporting of results, as specified in the most recent version of American Water Works Association (AWWA) Manual M6;

§ 37. Paragraph (6) of subdivision (d) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(6) [For displacement type water meters, the following shall also be required:

(i) All five-eighth (5/8) inch through one (1) inch meters shall be of frost protection design with cast-iron bottom plates. Cast-iron bottom plates shall be made corrosion resistant by suitable coating and/or internal lining as approved by the Department.

(ii) All casing bolts, studs, nuts, screws and other external fastening devices shall be made of a bronze alloy or stainless steel conforming to AWWA standards, and shall be designed for easy removal following lengthy service.

(iii) There shall be no stuffing box for displacement-type meters. The motion of the disc or piston measuring element shall be transmitted to the sealed register through the upper wall of the main case utilizing a magnetic coupling.

(iv) All displacement meters shall be provided with a plastic strainer that can be easily removed for cleaning]

Positive displacement meters 5/8" through 1½" must conform to the most recent version of AWWA Standard C700. 2" positive displacement meters are not approved for use after January 1, 2021.

§ 38. Paragraph (7) of subdivision (d) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(7) All meters [shall] must have a main case composed of an alloy which [shall] does not have a lead content that [shall not ] exceeds current NSF/ANSI Standard 61/372 limits. Upon request by DEP the meter manufacturer must submit all documentation associated with its product's compliance with NSF 61/372.

§ 39. Paragraph (11) of subdivision (d) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(11) The manufacturer [shall] must provide each meter supplied to a distributor after January 1, 2020 with a removable barcode tag and sticker meeting the Department's [specifications] Enhanced Barcode Specifications available on the DEP website.

§ 40. Subparagraph (i) of paragraph (1) of subdivision (e) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(i) Effective May 1, 2014, compound or dual-register meters [shall] may no longer be approved for use in new or replacement installations. [The replacement of measuring elements in existing compound meters shall be permitted.]

§ 41. Subparagraphs (iv) and (v) of paragraph (1) of subdivision (e) of Section 20-05 of Title 15 of the Rules of the City of New York are amended to read as follows:

(iv) Single-jet, electromagnetic, or other meters designed for variable flow rates [shall] must be used on services one-and-a-half (1½) inch and larger in diameter and operating on street pressure, and may be used in buildings with booster pumps or pressurized system applications.

(v) Single-jet meters [shall] must be installed on a level horizontal plane +/- 10 degrees. Turbine, electromagnetic, and other meter types may be installed on an incline or vertical plane if a horizontal installation is not possible and the configuration is supported by the meter manufacturer's specifications. The meter register must always face outward for reading. Electromagnetic

meters must be grounded according to the manufacturer's requirements and must not be located in the same room as a significant source of an electromagnetic field such as a motor generator.

§ 42. Paragraph (2) of subdivision (i) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(2) No fittings capable of a branch connection [shall be] are permitted in the section of [pipe] connection upstream of the meter or meter setter with the exception of an approved strainer. The strainer [shall] must be located immediately before the inlet side of the meter. The service [pipe] connection between the point of entry and the meter setting [shall] must be kept visible. No fittings, devices, or equipment [shall be] are permitted in the section of [pipe] connection upstream or downstream of the meter that interferes with the required laminar flow through the meter, except as otherwise approved by the Department, Bureau of Customer Services.

§ 43. Paragraph (4) of subdivision (i) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(4) Meter settings [shall] must have an inlet valve immediately upstream of the meter and any strainer, and an outlet valve downstream of the meter. For meters two (2) inches in size or smaller, the valves [shall] must be full-port ball valves. For meters larger than two (2) inches in size, the valves [shall] must be rising stem, resilient seated, and epoxy-coated gate valves. If a backflow prevention device is located after the meter setting and both the backflow prevention device and meter setting are located on the same floor of a building, then an outlet valve serving [both the backflow prevention device and] the meter setting may be placed immediately after the device. If [the] a backflow prevention [device and meter setting] assembly [are] is located [on different floors of a building] after the meter setting, [each set of equipment shall have its own outlet valve and] then an outlet valve shall be placed immediately after the assembly and the meter test tee.

(i) Except for meters two (2) inches or smaller where space constraints prevent any approved meter technology from being installed with an inlet valve, or as noted in §20-05(a)(5), a house control valve [shall] must not be used in lieu of a meter inlet valve.

(ii) [A meter outlet valve is not required for fire meters on] On a dedicated fire service [or the fire service branch of a combined service, for a Detector Check Valve Assembly or if the property has approved backflow prevention equipment which includes an outlet valve] line, an approved backflow prevention assembly (DCDA or RPDA with by-pass meter) in conjunction with the building control valve are required. Additional valves are optional.

(iii) A plain tip test tee [shall] must be provided for meters 3/4" or 1" in diameter before the meter outlet valve or incorporated into the design of the meter outlet valve. For meters [up to two (2)] 1-1/2 inches in diameter, the test tee [shall] must be the same size as the meter. For meters 2 inches or larger than two (2) inches in diameter, the test tee [shall] must be two (2) inches. An exception shall be provided for installations using an outlet valve that incorporates an one-and-a-half (1½) inch rather than two (2) inch test tee into the design of its two (2) inch outlet valve. Factory-fabricated setters five-eighths (5/8) inch through two (2) inches [shall] must have test ports as described in paragraph 6 of this subdivision. Test port plugs on meter bodies [shall] must be drilled for seal wire. Test tees are not to be used as connections for domestic service] shall not be used as water supply connections. Where a meter is placed in a pit alongside a sewer trap, the meter test tee [shall] must be located outside of the pit in an accessible location.

§ 44. Paragraph (5) of subdivision (i) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(5) Connections [shall] must be made by coupling, union, flange union or approved compression fittings and bored for sealing with holes not less than three thirty-seconds (3/32) of an inch in diameter. Compression fittings are permitted for three quarter (¾) inch through two (2) inch meters only. Unions, couplings or compression fittings that permit removal of the meter and/or setter without breaking the seal wire are prohibited. Grooved end mechanical pipe joining systems are not permitted between the meter inlet valve and the outlet side of the meter. If used on the service side of the house valve,

such systems [shall] must be drilled for seal wire. In all other circumstances, pipe joining specifications [shall] must conform to the New York City Plumbing Code. All water meter settings of two (2) inches and smaller sizes [shall] must utilize valves and fittings constructed of bronze with a lead content that [shall] must not exceed current NSF/ANSI Standard 61 limits. Bolts, studs, nuts, screws and other external fastening devices used from the house valve through the meter outlet valve [shall] must be made of a bronze alloy or stainless steel conforming to AWWA standards, and [shall] must be designed for easy removal following lengthy service. Above-ground, indoor service [pipe] connection, including the meter setting and any backflow prevention device, [shall] must comply with standards for water distribution pipe contained in the New York City Plumbing Code Section 604.

§ 45. Paragraph 8 of subdivision (i) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(8) Valves. All new displacement type water meter settings [shall] must utilize full port ball valves [or angle key valves] for the inlet and outlet control of the meter. [These] All valves [shall] must be furnished with handles for the manual operation of the valves without the need of a wrench. [Turbine and compound meters] Other meter types [shall] must be installed with full port ball valves (through two (2) inch only) or gate type OS&Y valves for meters larger than two (2) inches.

§ 46. Subdivision (j) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(j) By-pass. (1) Unmetered by-passes around meters are prohibited, [except those approved in writing by the Department, such as:] Properties that wish to avoid lengthy interruptions of water supply may install a metered by-pass or a set of two parallel meters, under permit and at their expense.

(i) Tunnels where hazardous conditions may exist.

(ii) Selected properties having only one (1) source of supply where any shut-down would endanger public health and safety.

(2) If a by-pass is permitted by the Department, the installation shall conform to Appendix Figure #10 or #10A. The by-pass shall be configured so that the top case and interior meter can be removed for repairs or replacement.

(3) Properties that wish to avoid lengthy shutdowns related to replacement of large meters may install paired meters that can supply the building through one or the other meter on a service [pipe] connection.

§ 47. Subparagraph (i) of paragraph (5) of Subdivision (k) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(i) The enclosure [shall] must be capable of housing the water meter with all required valves, strainer and above-ground [appurtenances] accessories. It [shall] must have easy access for testing and maintenance including at least one (1) foot, clearance around the meter, piping and valves. The boxes [shall] must have lockable access doors or lids to prevent theft or vandalism. The enclosure [shall] must be anchored to a concrete base of eight (8) inches minimum for meters one and one-half (1½) inches or larger, and four (4) inches for meters less than one and one-half (1½) inches. The enclosure [shall] must have an approved remote meter reading receptacle mounted on the exterior.

§ 48. Subdivision (q) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(q) Encoding registers. When used, all encoder-type remote registration systems [shall] must comply with all applicable requirements of AWWA Standard C707 and the following requirements:

(1) The register [shall] must encode at least the six (6) most significant digits which will be read from the remote receptacle.

(2) The unit [shall] must employ a leak detection indicator, gpm display or a test sweep hand on the face of the meter register.

(3) Registers [shall] must read in cubic feet.

(4) The assembly [shall] must have a tamper resistant locking device as well as a provision for seal wire, or other method approved by the Department.

(5) The data stream must be, or be convertible to, [seven-bit] ASCII format, and is to be capable of interfacing directly to a[n] Department-approved automatic meter reading device [to transmit data via radio, cable T.V. or telephone lines to a central location].

(6) All encoder registration systems [shall] must be capable of transmitting the data for a minimum distance of three hundred (300) feet utilizing solid twenty-two (22) gauge minimum non-shielded copper cable between the register and the remote receptacle or interface device.

(7) All encoding registers [shall] must be subject to the approval of the Department.

(8) The register [shall] must be capable of being read through a remote receptacle, and /or an automatic meter reading system.

(9) All registers [shall] must be installed with wire to a [remote receptacle or] AMR transmitter with all three wires properly connected at the register head.

§ 49. Paragraph 3 of Subdivision (s) of Section 20-05 of Title 15 of the Rules of the City of New York is amended to read as follows:

(3) Any device approved [shall be] is solely the responsibility of the [customer] property owner unless it is installed by the Department. The Department [shall] is not [be] liable for any maintenance or replacement of any approved attachments to the meter, and shall not perform any additional steps to salvage the devices should the meter require replacement. Meter attachments are not recognized as a source of data for billing purposes. A technical representative of a meter attachment manufacturer may be a permit holder for Meter Attachment permits only.

§ 50. Section 20-05 of Title 15 of the Rules of the City of New York is amended by adding a new subdivision (t) to read as follows:

(t) Ownership of water meters.

All water meters used for billing purposes are the property of the Department. At the time of replacement or removal, one or more photographs of the meter must be provided to the Department that must include the serial number of the meter and the final meter read. The Department may, upon written request prior to the removal or replacement of a meter, require the return of a meter to the Department for testing or other purposes. Failure to 1) provide photographs of a meter; and 2) return a meter to the Department when requested by the Department, at the time of replacement or removal is a violation of this rule.

§ 51. Subdivision (a) of Section 20-07 of Title 15 of the Rules of the City of New York is amended to read as follows:

(a) General regulations.

All corporation stops (taps), wet connections (including internal water main), meters, service [pipe] connection installations, repairs, plugs and relays [shall be] are subject to inspection by the Department. A Licensed Master Plumber [shall] must certify that all work was performed in accordance with these Rules and all other applicable rules.

§ 52. Subdivision (b) of Section 20-07 of Title 15 of the Rules of the City of New York is amended to read as follows:

(b) Mandatory inspections.

The Licensed Master Plumber must request an inspection as described in §20-02(l) and §20-02(m). Inspections [shall be] are mandatory, and may not be waived for the following categories of work:

(1) [Corporation stops (taps) and service pipes supplying fire sprinkler systems

(2) Corporation stops (taps) and service pipes supplying fire protection systems.

(3) Corporation stops (taps) and service pipes supplying wet standpipes]

Corporation stops (taps/wet connections) and service connections supplying water to the fire suppression systems: sprinkler and/or standpipe and fire hydrants (private).

[(4)] (2) Corporation stops (taps/wet connections) and service [pipes] connections supplying combined water

systems or domestic water systems to which fire [sprinkler heads] systems are connected.

[(5)] (3) Water service terminations (plug only).

[(6)] (4) Destruction of any tap or wet connection which requires an excavation separate from the one required for the new tap or wet connection.

[(7)] (5) Installed new wet connections and corresponding service [pipes] connections.

[(8)] (6) Relay or repair of sprinkler, fire, standpipe and domestic service [pipes] connections to which fire sprinkler heads are connected.

[(9) Meters larger than one (1) inch.

Any parts of service pipes which are installed without excavation of a trench need not be made available for inspection.]

§ 53. Subdivision (c) of Section 20-07 of Title 15 of the Rules of the City of New York is amended to read as follows:

(c) *Inspection waiver.*

For domestic water service [pipe] connection installations where inspections are mandatory, as described in §20-07 (b), the [Licensed Master Plumber shall request an inspection as described in §20-02 (l) and 20-02 (m). The] Department in its discretion may waive such inspections. If the Department waives an inspection, the Licensed Master Plumber must submit the tap location with certification that all work was performed in accordance with these Rules and all other applicable rules.

§ 54. Subdivision (d) of Section 20-07 of Title 15 of the Rules of the City of New York is amended to read as follows:

(d) *Fee for inspections.*

[A] An upfront fee [shall] must be paid for each inspection in accordance with the Water and Wastewater Rate Schedule of the New York City Water Board.

§ 55. Section 20-07 of Title 15 of the Rules of the City of New York is amended by adding a new subdivision (i) to read as follows:

(i) *Water sampling test.*

Before taps are installed in a new internal water main, the main must pass a water sampling test.

The main must be disinfected and a satisfactory water sample must be obtained by the Contractor in the presence of the Department representative only. A water sample will be considered satisfactory if it is free of bacteria, with acceptable color, odor, taste, temperature, turbidity, and has measurable residual chlorine, as determined by the Department.

§ 56. Paragraph 1 of Subdivision (a) of Section 20-08 of Title 15 of the Rules of the City of New York is amended to read as follows:

(1) *Prohibition of Use as a Source of Energy.*

The use of the pressure or flow of water as a source of energy is prohibited, except when specifically approved by the Department or for charging the battery of an electronic plumbing fixture.

§ 57. Subparagraph (ii) of paragraph (9) of Subdivision (a) of Section 20-08 of Title 15 of the Rules of the City of New York is amended to read as follows:

(ii) Garages, gasoline service stations, and other similar establishments which furnish car washing as part of their regular service and do not employ automatic car washing equipment [with appurtenances], as described above, may use buckets of water only.

§ 58. Paragraphs 1, 2, and 4 of Subdivision (b) of Section 20-08 of Title 15 of the Rules of the City of New York are amended to read as follows:

(b) Fire hydrant use.

(1) Fire hydrants on the raw may be routinely opened only by authorized employees of the Department and/or the Fire Department. All others seeking permission to open a fire hydrant must secure a permit from the Department, Bureau of Customer Service. Fire Hydrant Use Permits [must be displayed] shall be secured at the site where water is being used. Permits for the use of hydrants may not be granted when, in the view of the Department, water from a metered source

is available to serve the end use described in the permit application. Permit applicants are required to describe the proposed use in detail and indicate why another alternative (e.g., existing metered source or construction meter) cannot be used. Only approved hydrant wrenches [shall] may be used. Water [shall] must be obtained from the smaller size hydrant nozzle only. Caps and chains are not to be broken and [shall] must be securely replaced after use.

(2) Fire Hydrant Use Permits [shall be] are valid only [between the hours of 7:30 A.M. and 7:30 P.M.] on the days specified therein, unless otherwise approved by the Department.

(4) With the exception of hoses used to extinguish fires, any hose connected to a fire hydrant must be equipped with [either] an approved [backflow prevention device or an approved four (4) inch air gap, unless in the Department's opinion, the application does not pose a backflow hazard, such as watering a community garden. Applications which do require an air gap or backflow prevention device include, but are not limited to, demolition dust control, pavement breaking, cutting and sawing, mixing and curing of concrete or mortar, well digging, washing/pumping of manholes, basements or sewers, application of pesticides, herbicides, paints, curing agents or fertilizers, washing down roadway construction, or make-up water] Reduced Pressure Zone backflow prevention assembly (RPZA). Applications which do require a RPZA include, but are not limited to, demolition dust control, pavement breaking, cutting and sawing, mixing and curing of concrete or mortar, well digging, washing/pumping of manholes, basements or sewers, application of pesticides, herbicides, paints, curing agents or fertilizers, washing down roadway construction, or make-up water. (See Appendix Figure #6).

§ 59. Section 20-10 of Title 15 of the Rules of the City of New York is amended to read as follows:

§20-10 *Glossary.*

For the purposes of "The Rules Governing and Restricting the Use and Supply of Water", the following definitions shall apply:

**Aesthetically objectionable.** A condition which could be objectionable to other water consumers, but would not adversely affect human health. Substances such as food-grade dyes, hot water, and stagnant water from fire lines in which no chemical additives are used may result in aesthetically objectionable conditions.

**[Air gap.** The unobstructed vertical distance through the free atmosphere between the lowest opening from any pipe or faucet supplying water to a tank, plumbing fixture, or other device, and the flood level rim of the receptacle, which shall be at least double the diameter of the supply pipe.]

**Air gap separation.** Air Gap Separation means the unobstructed vertical distance through the free atmosphere between the lowest opening from any pipe or faucet supplying water to a tank, plumbing fixture, or other device and the flood level rim of the receptacle. The differential distance shall be at least double the diameter (D) of the supply pipe. In no case shall the air gap be less than 1 inch.

**Applicant.** Any person applying for a permit pursuant to these Rules.

**AMR – Automatic Meter Reading.** The use of radio or telephone-based technology to read water meters.

**ANSI.** The American National Standards Institute.

**ASCII.** American Standard Code for Information Interchange.

**ASTM.** The American Society for Testing Materials.

**Automatic water regulating device.** A self regulating valve or other device, the purpose of which shall be to limit the maximum use of City water on air conditioning and refrigeration units that do not have a water conserving device to 1.5 gpm per ton of refrigeration or air conditioning.

**AWWA.** The American Water Works Association.

**Backflow prevention device.** An approved air gap, reduced pressure zone (RPZ) device, or double check valve assembly (DCV) used to contain potential contamination within a facility.

**[Backflow/Backsiphonage.** The reversal of normal flow in a system caused by a negative pressure (vacuum or partial vacuum) in the supply piping.]



**Backflow.** The flow of water or other liquids, mixtures, or substances into the distributing pipes of a potable supply of water from any source or sources other than its intended source. Backsiphonage is one type of backflow.

**Ball valve.** A valve capable of regulating, stopping or starting flow with a one-quarter (90°) turn of the valve by means of a movable ball which fits in a spherical seat.

**BCS.** Bureau of Customer Services.

**Booster system.** A pumped system used to deliver water at a higher pressure within a building.

**Building.** An enclosed structure having a specific block and lot (or tax sub-lot) and a separate entry from the street or an outdoor area.

**City.** The City of New York.

**City water.** Water supplied by the City of New York.

**City water main.** A water main owned and maintained by the City of New York under the jurisdiction of the Department.

**Combined service.** A water service which supplies both domestic and fire suppressions end uses and the fire protection requirements exceed the domestic demand and determine the size of the service.

**Commissioner.** The Commissioner of the New York City Department of Environmental Protection.

**Completed meter permit.** A meter permit returned to the Department that indicates the meter size, type, serial number, remote identification number, meter and remote receptacle location, and date of installation that has been signed and sealed by the licensed plumber and lists the licensed plumber's business address.

**Connection.** A water service pipe which connects the customer or a development to a City Water Main, Private Water Main, or Internal Water Main.

**Cross connection.** [A physical connection or arrangement between two separate piping systems where one system contains potable water; the other contains steam, gas, a chemical, or water of questionable safety, and there may be a flow from one system to the other] An actual connection or a potential connection between any part of a potable water system and any other environment that would allow substances to enter the potable water system. Those substances could include gases, liquids, or solids, such as chemicals, water products, steam, water from other sources (potable or nonpotable), or any matter that may change the color or add odor to the water. Bypass arrangements, jumper connections, removable sections, swivel or changeover assemblies, or any other temporary or permanent connecting arrangement through which backflow may occur are considered to be cross connections.

**Curb valve.** A shutoff valve on the service [pipe] connection in the sidewalk area outside the [building] property, generally located eighteen (18) inches from the curb line.

**Customer.** Any person to whom City water is supplied.

**Day.** Except as otherwise stated, day shall refer to calendar day.

**DDC.** New York City Department of Design and Construction.

**Department or DEP.** The New York City Department of Environmental Protection.

**Distribution piping.** All piping downstream of the water meter setting.

**Degree of hazard.** [The potential of a facility to cause contamination of the public water supply] The assessment or evaluation of a facility's domestic water system's cross-connections as they relate to the health hazard of the consumers of water. A facility may be rated Hazardous, Aesthetically Objectionable or Non-Hazardous.

**Department.** The New York City Department of Environmental Protection.

**[Detector assembly.** A device installed in a water service pipe, in lieu of a meter, which indicates that flow has occurred.]

**Disinfection.** Chlorination in accordance with methods approved by the Department.

**Domestic service with sprinkler heads.** A domestic service sized for domestic demands which has been approved by the Department of Buildings to supply a limited number of fire sprinkler heads.

**Domestic use.** Water consumed for purposes other than extinguishing fire.

**DOT.** New York City Department of Transportation.

**Double check detector assembly.** A device consisting of two (2) single independently acting check valves, suitable connections for testing the water tightness of each valve, and [an indicator] a by-pass meter that shows whether flow has occurred from the water service

[pipe] connection into the premises, and a small double check valve housed together as one [unit] assembly.

**Double check valve assembly.** [A device consisting of two (2) single independently acting check valves, suitable connections for testing the water tightness of each valve, and inlet control valve and an outlet control valve housed together as one unit] A backflow prevention consisting of two internally loaded independently operating check valves, located between two tightly closing resilient-seated shutoff valves with four properly placed resilient-seated test cocks. This assembly shall only be used to protect against a non-health hazard (i.e., a pollutant).

**Drip line.** The outer circumference of a tree's branches and the farthest point where water drips from the tree branches onto the ground.

**Electronic meter (electromagnetic meter).** A meter that operates using Faraday's Principle.

**Encoder-Register.** A device from which electronic meter reading data can be obtained from the meter semiautomatically and at a remote location.

**Fee.** A charge determined by the New York City Water Board.

**Fire department.** The New York City Fire Department.

**Fire service meter.** A water meter certified by an AWWA standard for such meters and approved by the Department for use on a service, subject to fire service flows.

**Fire pump.** A pump installed on a service connection to insure adequate flow for purposes of fire protection system.

**Fire service.** A service [pipe] connection that supplies water exclusively to a fire protection system (sprinkler, standpipe, combination of sprinkler and standpipe or hydrant).

**Fixture units.** A measure of the probable hydraulic demand on the water supply by various types of plumbing fixtures.

**Flood level rim.** The edge of the receptacle from which water overflows.

**Flushometer valve.** A device which discharges a predetermined quantity of water to fixtures (urinals/tankless toilets) for flushing purposes and is actuated by direct water pressure.

**Gooseneck.** An extra three (3) to five (5) feet of water service [pipe] connection installed to the right of the corporation stop (tap) when facing the corporation stop (tap). (See Appendix Figure #2).

**G.P.M. (gpm).** The rate of flow of water in a service [pipe] connection, or through a meter or a pump, measured in gallons per minute.

**Hazardous facility.** A facility in which substances may be present that may endanger the health of other customers if introduced into the public water system. Examples include: laboratories, sewage treatment plants, chemical plants, hospitals, and mortuaries.

**House tank (roof tank).** An elevated water storage tank used to feed domestic and/or fire systems, which is usually located on the roof.

**Hydrant.** A standard New York City fire hydrant.

**I.D.** The inside diameter of a pipe.

**Inspection.** An investigation and review, by the City, of work performed by others under a permit by the Department, and which is evidenced by a certificate of inspection.

**Internal fire protection system.** A fire pump system, a sprinkler system [or], a standpipe system, combination sprinkler and standpipe system, or any fire suppression system approved by the Department of Buildings.

**Internal water main.** A water main constructed by a private entity in private property and not in a mapped street, record street or a street for which an opinion of dedication has been issued. Internal water mains are under the jurisdiction of the Department from the City or private water main up to and including the meter.

**Irrigation system.** [Piping] Connection used to supply water to vegetation.

**Jacketed pipe insulation.** Pipe insulation with a covering design to retard vapor infiltration into the insulation and for protection against physical abrasion and damage.

**Licensed master plumber.** A plumber licensed by the City agency having jurisdiction over such licenses to perform plumbing work within New York City.

**Mapped street.** A street that appears on the official map of New York City.

**Meter.** An instrument for measuring amounts of water consumed.

**Meter register.** The system component that converts the movement of the meter's impeller, turbine, or disc into an electronic signal or

display. This component consists of a meter register and a signal (data) encoder assembly, and is assembled as either a single unit, or as separate units to be mounted on the meter.

**Meter set date.** The date the meter is installed.

**Meter setter/resetter.** A shop or factory-fabricated set of piping, valves and an electrical continuity bar installed as a unit designed to hold a water meter of two (2) inches or less in diameter.

**MTU.** Meter Transmitter Unit. An electronics box wired to the water meter. The MTU is part of the AMR system programmed to read the meter and transmit radio frequency readings to a remote receiving unit.

**New York City Water Board.** A corporate municipal instrumentality of the State of New York established by Chapter 515 of the Laws of 1984 which is authorized to establish and collect fees, rates and other service charges for use of, or for services furnished by, the New York City water and sewer systems.

**Non-turf plants.** Plants other than a lawn.

**Nozzle.** A spring loaded self-closing device used for controlling the flow of water from a hose.

**Offset swing joint.** An installation consisting of three (3) lengths of pipe and four (4) elbows which are installed in lieu of a gooseneck. (See Appendix Figure #2.)

**OSHA.** The Occupational Safety and Health Administration of the United States Department of Labor.

**OS & Y valve.** The outside [screw] stem and yoke valve used on fire lines.

**Person.** An individual, partnership, company, corporation, association, organization, governmental agency, administration, department, any other group of individuals, or an officer or an employee thereof.

**Pit meter.** A water meter installed in an outside pit or vault.

**Private water main.** A water main constructed by a private person in the bed of a final mapped street or record street.

**Professional engineer.** An engineer licensed by the New York State Education Department to practice professional engineering in New York State.

**psi.** The static pressure of water within a closed piping system, or the loss of water pressure due to flow through a piping system, flow control devices or flow measuring devices, measured in pounds per square inch.

**Record street.** A street that appears on the Tax Map of the City but may not be a mapped street.

**Reduced Pressure Zone (RPZ) Device.** [A minimum of two (2) independently acting check valves, with an automatically operated pressure differential relief valve located between the two (2) check valves] A backflow prevention device assembly consisting of a mechanical, independently acting, hydraulically dependent relief valve, located between two independently operating, internally loaded check valves that are located between two tightly closing resilient-seated shutoff valves with four properly placed resilient-seated test cocks. This assembly shall be tested at least annually and is suitable for direct high hazard cross-connections.

**Reduced pressure principle detector assembly (RPDA).** A specially designed assembly composed of a line-size approved reduced pressure principle backflow prevention assembly with a bypass containing a specific water meter and an approved reduced pressure principle backflow prevention assembly specifically designed for such application. The meter shall register accurately for very low flow rates of flows up to 2 gallons per minute and shall show registration for all rates of flow. This assembly shall be used to protect against a health hazard (i.e. containment) on fire protection services only.

**Registered architect.** A person licensed by the New York State Education Department to practice architecture in New York State.

**Relay.** Replacement of an entire water service [pipe] connection without replacement of the corresponding corporation stop (tap) or wet connection.

**Remote read resolution.** Refers to the smallest increment of water volume provided in the meter reading transmitted to a remote location. For example, a water meter may generate a reading in cubic feet, units of tens of cubic feet, or units of hundreds of cubic feet.

**Remote receptacle.** A system component at a location away from the meter that receives the probe of a portable visual-display unit, or a portable meter reading unit.

**Rodding.** The installation of steel rods in order to secure and prevent movement of joints, valves, caps, plugs, fittings and [appurtenances] accessories.

**Sealed Building.** A building with windows and doors which are locked and covered or blocked by concrete block, bricks, sheet metal or other materials intended to prevent access. Windows covered with wooden boards shall not constitute a sealed building.

**[Separation (section) valve.** A valve installed in a City water main or private water main to ensure two (2) separate sources of water.]

**[Service pipe.** A water supply pipe which connects the customer or a development to a City water main, private water main or internal water main. Service pipes connecting a single customer's premises to a City water main or a private water main are under the jurisdiction of the Department from the City water main or private water main up to and including the meter outlet valve in metered properties, or the first valve within the property in unmetered properties. For properties with an internal water main and a meter vault at the property line, the Department's jurisdiction runs from the water main connection to the first valve inside the property line.]

**Sidewalk valve.** A valve on a domestic service pipe located in the sidewalk area, at a distance of two (2) feet (street side) from the property line.

**Stuffing box.** That part of a valve which contains packing or similar material which prevents leakage when the valve is operated.

**Suction tank.** A tank used to protect the City distribution system from a large, sudden water demand.

**Swing joint connection.** An acceptable method of connecting to either well water or City water.

**Tap.** A corporation stop approved by the Department which controls the flow of water.

**Tax lot.** A portion or parcel of land classified as such by the Department of Finance.

**Tee connection.** A three-way pipe fitting installed in a private water main or internal water main in lieu of a tap or wet connection.

**Test tee.** A downward pointing plain tip faucet or hose connection located after the water meter but before the meter outlet valve that is used for connecting an outlet hose for meter accuracy testing.

**Title vested street.** A mapped street or record street whose ownership has been accepted by the City of New York, or a street which has a Corporation Counsel Opinion of Dedication.

**UL/FM.** Underwriter's Laboratories/Fireman's Mutual.

**Vacant building.** A building which is not inhabited, or is occupied illegally.

**Valve.** A non-rising stem gate valve or full port ball valve.

**Valve box.** A standard New York City valve enclosure including the skirt, head and cover.

**Waiver.** The act of intentionally relinquishing a right or privilege.

**Water conserving device.** With reference to air conditioning or refrigeration systems, an evaporative condenser, water cooling tower, spray pond or economizer.

**Water meter accuracy testing ("meter testing").** Refers to testing the accuracy of a water meter in the field, on an indoor test bench, using methods designed by the Department and in conformance with AWWA's Manual M6: "Water Meters – Selection, Installation, Testing and Maintenance."

**Water meter setting.** The water meter, inlet and outlet isolation valves, test tee, and associated approved piping and fittings.

**Water outlet.** An orifice through which water is supplied to a fixture, into the atmosphere, to a boiler or heating system, or to any device which requires water to operate.

**Water service connection.** A water supply pipe which connects the customer or a development to a City water main, private water main or internal water main. Service connections connecting a single customer's premises to a City water main or a private water main or internal water main are under the jurisdiction of the Department from the City water main or private water main or internal water main up to and including the meter outlet valve in metered properties, or the first valve within the property in unmetered properties.

**Wet connection.** The hardware required to install a connection larger than two (2) inches without interruption of water service. A wet connection shall consist of a sleeve and a corresponding valve approved by the Department.

§ 60. Appendix Table 3 and Figures 7, 7A, 7B, 8, 9, 9A, 10 and 10A of Chapter 20 of Title 15 of the Rules of the City of New York are REPEALED, and new Appendix Table 3 and Figures 7, 8, 9, and 10 are added to read as follows:

**TABLE # 3: FLOWS ARE BASED ON A MAXIMUM PRESSURE LOSS OF TWO (2) psi IN THE SERVICE PIPE OR A MAXIMUM VELOCITY OF TEN (10) FT PER**

TABLE # 3

MINIMUM SIZE OF SERVICE PIPES, CORPORATION STOPS (TAPS) AND WET CONNECTIONS

Based on the Rate of Flow in Gallons

LENGTH OF SERVICE PIPE (ft.)		10	20	25	30	40	50	55	60	80	100	150	200	250	300	350	400	450	500	550	600
SERVICE PIPE SIZE (in.)	TAP/W.C SIZE (in.)	ALLOWABLE FLOW (GPM)																			
1	3/4	21	15	13	12	10	9	9	8	7	6	4	4	3	3	3	2	2	2	2	2
1	1	21	15	13	12	10	9	9	8	7	6	4	4	3	3	3	2	2	2	2	2
1-1/4	1	37	25	23	21	17	16	15	14	13	12	10	8	7	6	6	5	5	5	4	4
1-1/2	1	55	41	37	34	28	25	24	23	20	18	14	12	11	10	9	8	8	7	7	7
1-1/2	1-1/2	55	41	37	34	28	25	24	23	20	18	14	12	11	10	9	8	8	7	7	7
2	1-1/2	100	84	75	70	59	52	50	48	41	37	28	24	21	19	18	16	15	15	14	13
2	2	100	84	75	70	59	52	50	48	41	37	28	24	21	19	18	16	15	15	14	13
2-1/2	2	150	150	135	125	105	93	90	86	73	65	46	39	35	31	29	27	25	23	22	21
3	3	220	220	210	200	165	145	140	135	120	105	81	70	61	56	51	48	45	42	40	38
4	3	300	300	300	290	250	220	210	200	170	155	130	119	110	104	98	94	90	86	82	78
4	4	390	390	390	390	350	320	305	290	250	220	165	142	126	114	105	98	92	86	82	78
6	4	600	600	600	600	600	550	525	500	430	380	285	245	215	195	185	177	170	165	162	158
6	6	880	880	880	880	880	880	840	810	700	620	490	420	370	335	310	290	270	254	245	235
8	6	1550	1550	1550	1550	1550	1550	1550	1550	1400	1300	1010	865	765	670	640	595	555	525	500	475
10	8	2450	2450	2450	2450	2450	2450	2450	2450	2450	2300	1840	1575	1395	1260	1160	1080	1015	955	905	865
12	10	3500	3500	3500	3500	3500	3500	3500	3500	3500	3500	2950	2530	2245	2030	1870	1740	1635	1535	1460	1400

SECOND, WHICHEVER RESULTS IN A LESSER RATE OF FLOW

- Assumptions:
- (a) Hazen-Williams Coefficient C = 100
  - (b) Loss through tap is negligible
  - (c) Loss through curb valve and house control is negligible
  - (d) Loss through meter is negligible
  - (e) Loss through backflow preventer is negligible

NOTES:

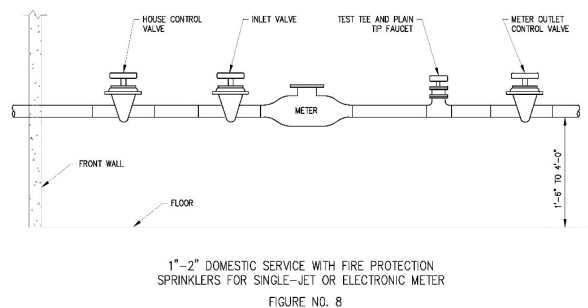
- SEE RNY TITLE 15 CHAPTER 20-05 FOR FULL METER SETTING/SIZING SPECS
- METER SETTING TO BE PROPERLY SUPPORTED WITH PERMANENT SUPPORTS ANCHORED TO FLOOR OR WALL
- ANY FLANGES OR BOLTS MUST BE DRILLED 1/8" HOLES FOR SEAL WIRE. BOLTS MUST BE BRONZE ALLOY 57% COPPER, OR STAINLESS STEEL. GALVANIZED BOLTS PROHIBITED.
- METER ISOLATION VALVES SHALL BE FULL-PORT BALL VALVES. HOUSE CONTROL AND METER INLET VALVES MUST NOT HAVE TEST PORTS.
- PLAN-TIP TEST TEES SHALL BE METER SIZE
- DRAWING IS SCHEMATIC. DISPLACEMENT METERS MAY BE PLACED ON INCLINE OR VERTICAL DEPENDING ON MANUFACTURER SPECS. REGISTERS MUST BE VISIBLE FOR READING.
- IF BACKFLOW PREVENTER (BFP) IS REQUIRED IT SHALL BE PLACED AFTER THE METER ACCORDING TO REQUIREMENTS OF DEP-BWSO CROSS CONNECTION CONTROL. THE METER AND BFP MAY SHARE AN OUTLET ISOLATION VALVE AND TEST PORT EXCEPT THAT IF THE METER AND BFP ARE LOCATED ON TWO DIFFERENT FLOORS SEPARATE OUTLET VALVES/TEST PORTS SHALL BE PROVIDED.
- SINGLE-STRAND, THREE-CONDUCTOR, 22 GA WIRE (RED-BLACK-GREEN) SHALL BE CONNECTED TO THE THREE TERMINALS ON THE REGISTER HEAD AND SHALL BE RUN TO AN EXTERIOR WALL TO A REMOTE PAD, DEP AMR BOX OR DEP-SUPPLIED MOUNTING PLATE.
- METER INLET VALVE AND METER MUST BE LOCATED IMMEDIATELY AFTER HOUSE CONTROL VALVE, IF THAT IS PHYSICALLY IMPOSSIBLE IN EXISTING BUILDING METER MUST AT LEAST BE WITHIN SIGHT OF POINT OF ENTRY IF WRITTEN VARIANCE PROVIDED. ANY EXPOSED PIPE AHEAD OF METER MUST BE LABELED PROHIBITING CONNECTIONS.
- "LIST OF APPROVED METERS AND RELATED EQUIPMENT" AVAILABLE ON DEP WEBSITE WWW.NYC.GOV/DEP

TYPICAL METER SETTING FOR DISPLACEMENT METERS  
FIGURE 7 (N.T.S.)

NEW YORK CITY ENVIRONMENTAL PROTECTION BUREAU OF CUSTOMER SERVICE  
FIGURE 7

NOTES:

- SEE RNY TITLE 15 CHAPTER 20-05 FOR FULL METER SETTING/SIZING SPECS
- METER SETTING TO BE PROPERLY SUPPORTED WITH PERMANENT SUPPORTS ANCHORED TO FLOOR OR WALL
- ANY FLANGES OR BOLTS MUST BE DRILLED 1/8" HOLES FOR SEAL WIRE. BOLTS MUST BE BRONZE ALLOY 57% COPPER, OR STAINLESS STEEL. GALVANIZED BOLTS PROHIBITED.
- METER ISOLATION VALVES SHALL BE FULL-PORT BALL VALVES. HOUSE CONTROL AND METER INLET VALVES MUST NOT HAVE TEST PORTS.
- PLAN-TIP TEST TEES SHALL BE METER SIZE
- DRAWING IS SCHEMATIC. ELECTRONIC METERS MAY BE PLACED INSTALLED HORIZONTAL, ON INCLINE OR VERTICAL DEPENDING ON MANUFACTURER SPECS. REGISTERS MUST BE VISIBLE FOR READING. SINGLE-JET METERS MUST BE HORIZONTAL OR NOT EXCEED 10 DEGREE INCLINE.
- IF BACKFLOW PREVENTER (BFP) IS REQUIRED IT SHALL BE PLACED AFTER THE METER ACCORDING TO REQUIREMENTS OF DEP-BWSO CROSS CONNECTION CONTROL. THE METER AND BFP MAY SHARE AN OUTLET ISOLATION VALVE AND TEST PORT EXCEPT THAT IF THE METER AND BFP ARE LOCATED ON TWO DIFFERENT FLOORS SEPARATE OUTLET VALVES/TEST PORTS SHALL BE PROVIDED.
- SINGLE-STRAND, THREE-CONDUCTOR, 22 GA WIRE (RED-BLACK-GREEN) SHALL BE CONNECTED TO THE THREE TERMINALS ON THE REGISTER HEAD AND SHALL BE RUN TO AN EXTERIOR WALL TO A REMOTE PAD, DEP AMR BOX OR DEP-SUPPLIED MOUNTING PLATE.
- METER INLET VALVE AND METER MUST BE LOCATED IMMEDIATELY AFTER HOUSE CONTROL VALVE, IF THAT IS PHYSICALLY IMPOSSIBLE IN EXISTING BUILDING METER MUST AT LEAST BE WITHIN SIGHT OF POINT OF ENTRY IF WRITTEN VARIANCE PROVIDED. ANY EXPOSED PIPE AHEAD OF METER MUST BE LABELED PROHIBITING CONNECTIONS.
- "LIST OF APPROVED METERS AND RELATED EQUIPMENT" AVAILABLE ON DEP WEBSITE WWW.NYC.GOV/DEP



# SPECIAL MATERIALS

## COMPTROLLER

### NOTICE

### CONSTRUCTION WORKER PREVAILING WAGE SCHEDULE LABOR LAW ARTICLE 8 - NYC PUBLIC WORKS

Workers, Laborers and Mechanics employed on a public work project must receive not less than the prevailing rate of wage and benefits for the classification of work performed by each upon such public work. Pursuant to New York Labor Law Article 8 the Comptroller of the City of New York has promulgated this schedule solely for Workers, Laborers and Mechanics engaged by private contractors on New York City public work projects. Prevailing rates are required to be annexed to and form part of the public work contract pursuant to Labor Law section 220 (3).

This schedule is a compilation of separate determinations of the prevailing rate of wage and supplements made by the Comptroller for each trade classification listed herein pursuant to Labor Law section 220 (5). The source of the wage and supplement rates, whether a collective bargaining agreement, survey data or other, is listed at the end of each classification.

Agency Chief Contracting Officers should contact the Bureau of Labor Law's Classification Unit with any questions concerning trade classifications, prevailing rates or prevailing practices with respect to procurement on New York City public work contracts. Contractors are advised to review the Comptroller's Prevailing Wage Schedule before bidding on public work contracts. Contractors with questions concerning trade classifications, prevailing rates or prevailing practices with respect to public work contracts in the procurement stage must contact the contracting agency responsible for the procurement.

Any error as to compensation under the prevailing wage law or other information as to trade classification, made by the contracting agency in the contract documents or in any other communication, will not preclude a finding against the contractor of prevailing wage violation.

Any questions concerning trade classifications, prevailing rates or prevailing practices on New York City public work contracts that have already been awarded may be directed to the Bureau of Labor Law's Classification Unit by calling (212) 669-4443. All callers must have the agency name and contract registration number available when calling with questions on public work contracts. Please direct all other compliance issues to: Bureau of Labor Law, Attn: Wasyl Kinach, P.E., Office of the Comptroller, 1 Centre Street, Room 651, New York, NY 10007; Fax (212) 669-4002.

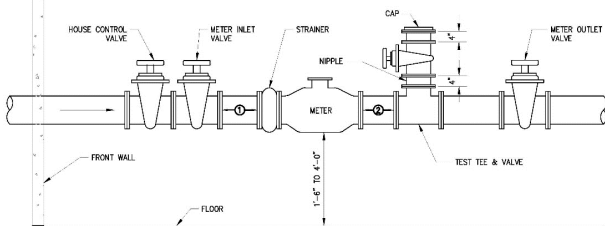
Pursuant to Labor Law § 220 (3-a) (a), the appropriate schedule of prevailing wages and benefits must be posted in a prominent and accessible place at all public work sites along with the Construction Poster provided on our website, at [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages). In addition, covered employees must be given the appropriate schedule of prevailing wages and benefits along with the Worker Notice provided on our web site at the time the public work project begins, and with the first paycheck to each such employee after July first of each year.

This schedule is applicable to work performed during the effective period, unless otherwise noted. Changes to this schedule are published on our website [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages). Contractors must pay the wages and supplements in effect when the worker, laborer, mechanic performs the work. Preliminary schedules for future one-year periods appear in the City Record on or about June 1 each succeeding year. Final schedules appear on or about July 1 in the City Record and on our website [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages).

Prevailing rates and ratios for apprentices are published in the Construction Apprentice Prevailing Wage Schedule. Pursuant to Labor Law § 220 (3-e), only apprentices who are individually registered in a bona fide program to which the employer contractor is a participant, registered with

### NOTES:

- SEE RONY TITLE 15 CHAPTER 20-05 FOR FULL METER SETTING/SIZING SPECS
- METER SETTING TO BE PROPERLY SUPPORTED WITH PERMANENT SUPPORTS ANCHORED TO FLOOR OR WALL
- METER MANUFACTURER STRAINER IS REQUIRED FOR TURBINE METERS AND RECOMMENDED BUT NOT REQUIRED FOR OTHER METER TECHNOLOGIES 2" AND LARGER
- A MINIMUM OF FIVE (5) PIPE DIAMETERS OF STRAIGHT PIPE ARE REQUIRED BEFORE THE METER AND A MINIMUM OF THREE (3) PIPE DIAMETERS OF STRAIGHT PIPE AFTER THE METER FOR METERS IN NEW CONSTRUCTION INSTALLATIONS (2" AND 3") REDUCED MANUFACTURER REQUIREMENTS FOR STRAIGHT PIPE MAY BE USED IF 5" AND 3" ARE PHYSICALLY IMPOSSIBLE.
- CONCENTRIC REDUCERS OR DOWNSIZING FLANGES SHALL BE PLACED BEFORE LOCATION "1" AND AFTER LOCATION "2" AND SHALL NOT BE INCLUDED IN REQUIRED LENGTHS OF STRAIGHT PIPE BEFORE/AFTER THE METER. SEE 20-05(G) FOR METER SIZING RULES.
- FLANGES OR BOLTS MUST BE DRILLED 1/8" HOLES FOR SEAL WIRE. BRONZE ALLOY 5/16" COPPER, OR STAINLESS STEEL GALVANIZED BOLTS PROHIBITED.
- METER ISOLATION VALVES SHALL BE FULL-PORT BALL VALVES THROUGH 2" AND RESILIENT SEAT EPoxy-COATED GATE VALVES FOR LARGER SIZES. VALVES BEFORE THE METER CANNOT HAVE TEST PORTS.
- GROOVED-END PIPE OR TUBING IS NOT PERMITTED BETWEEN METER INLET VALVE AND THE METER OUTLET. OTHERWISE PIPE SPECS ARE PER NYC PLUMBING CODE. GROOVED-END PIPE OR TUBING BEFORE THE METER INLET VALVE SHALL BE DRILLED FOR SEAL WIRE.
- TEST TEES SHALL BE METER SIZE UP THROUGH 2" AND 2" FOR ALL LARGER SIZES.
- DRAWING IS SCHEMATIC. SOME METER TECHNOLOGIES MAY BE PLACED ON INCLINE OR VERTICAL. DEPENDING ON MANUFACTURER SPECS. SINGLE-JET METERS MUST BE ON HORIZONTAL +/- 10 DEGREES. TURBINES MUST BE ON HORIZONTAL PLANE. REGISTERS MUST BE VISIBLE FOR READING.
- IF BACKFLOW PREVENTER ("BFP") IS REQUIRED IT SHALL BE PLACED AFTER THE METER ACCORDING TO REQUIREMENTS OF DEP-ENSO CROSS CONNECTION CONTROLS. THE METER AND BFP MAY SHARE AN OUTLET ISOLATION VALVE EXCEPT THAT IF THE METER AND BFP ARE LOCATED ON TWO DIFFERENT FLOORS SEPARATE OUTLET VALVES SHALL BE PROVIDED.
- SINGLE-STRAND, THREE-CONDUCTOR MINIMUM 22 GA WIRE (RED-BLACK-GREEN) SHALL BE CONNECTED TO THE THREE TERMINALS ON THE REGISTER HEAD AND SHALL BE RUN TO AN EXTERIOR WALL TO A REMOTE PAD, DEP AMR BOX OR DEP-SUPPLIED MOUNTING PLATE.
- "LIST OF APPROVED METERS AND RELATED EQUIPMENT" AVAILABLE ON DEP WEBSITE [WWW.NYCCOVID/DEP](http://WWW.NYCCOVID/DEP)



TYPICAL FOR TURBINE, SINGLE-JET, OR ELECTRONIC METERS  
FIGURE 9 (N.T.S)

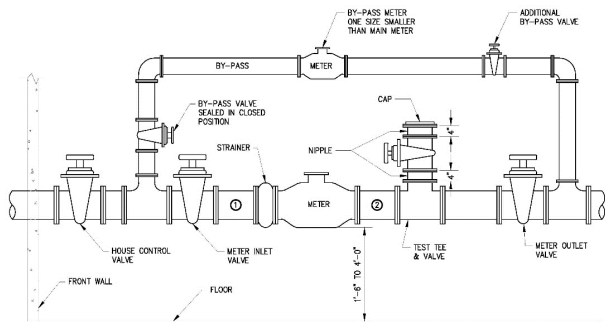


NEW YORK CITY ENVIRONMENTAL PROTECTION  
BUREAU OF CUSTOMER SERVICE

FIGURE 9

### NOTES:

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- METER SETTING TO BE PROPERLY SUPPORTED WITH PERMANENT SUPPORTS ANCHORED TO FLOOR OR WALL
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- A MINIMUM OF FIVE (5) PIPE DIAMETERS OF STRAIGHT PIPE ARE REQUIRED BEFORE THE METER AND A MINIMUM OF THREE (3) PIPE DIAMETERS OF STRAIGHT PIPE AFTER THE METER FOR METERS IN NEW CONSTRUCTION INSTALLATIONS (2" AND 3") REDUCED MANUFACTURER REQUIREMENTS FOR STRAIGHT PIPE MAY BE USED IF 5" AND 3" ARE PHYSICALLY IMPOSSIBLE.
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- DRAWING IS SCHEMATIC. SOME METER TECHNOLOGIES MAY BE PLACED ON INCLINE OR VERTICAL. DEPENDING ON MANUFACTURER SPECS. SINGLE-JET METERS MUST BE ON HORIZONTAL +/- 10 DEGREES. TURBINES MUST BE ON HORIZONTAL PLANE. REGISTERS MUST BE VISIBLE FOR READING.
- IF BACKFLOW PREVENTER ("BFP") IS REQUIRED IT SHALL BE PLACED AFTER THE METER ACCORDING TO REQUIREMENTS OF DEP-ENSO CROSS CONNECTION CONTROLS. THE METER AND BFP MAY SHARE AN OUTLET ISOLATION VALVE EXCEPT THAT IF THE METER AND BFP ARE LOCATED ON TWO DIFFERENT FLOORS SEPARATE OUTLET VALVES SHALL BE PROVIDED.
- SINGLE-STRAND, THREE-CONDUCTOR MINIMUM 22 GA WIRE (RED-BLACK-GREEN) SHALL BE CONNECTED TO THE THREE TERMINALS ON THE REGISTER HEAD AND SHALL BE RUN TO AN EXTERIOR WALL TO A REMOTE PAD, DEP AMR BOX OR DEP-SUPPLIED MOUNTING PLATE.
- "LIST OF APPROVED METERS AND RELATED EQUIPMENT" AVAILABLE ON DEP WEBSITE [WWW.NYCCOVID/DEP](http://WWW.NYCCOVID/DEP)



TYPICAL METER SETTING WITH BY-PASS  
(N.T.S)  
TYPICAL FOR TURBINE, SINGLE-JET OR ELECTRONIC METERS  
FIGURE 10



NEW YORK CITY ENVIRONMENTAL PROTECTION  
BUREAU OF CUSTOMER SERVICE

FIGURE 10

the New York State Department of Labor, may be paid at the apprentice rates. Apprentices who are not so registered must be paid as journey persons.

New York City public work projects awarded pursuant to a Project Labor Agreement ("PLA") in accordance with Labor Law section 222 may have different labor standards for shift, premium and overtime work. Please refer to the PLA's pre-negotiated labor agreements for wage and benefit rates applicable to work performed outside of the regular workday. More information is available at the Mayor's Office of Contract Services (MOCS) webpage at:

<https://www1.nyc.gov/site/mocs/legal-forms/project-labor-agreements.page>

All the provisions of Labor Law Article 8 remain applicable to PLA work including, but not limited to, the enforcement of prevailing wage requirements by the Comptroller in accordance with the trade classifications in this schedule; however, we will enforce shift, premium, overtime and other non-standard rates as they appear in a project's pre-negotiated labor agreement.

In order to meet their obligation to provide prevailing supplemental benefits to each covered employee, employers must either:

- 1) Provide bona fide fringe benefits which cost the employer no less than the prevailing supplemental benefits rate; or
- 2) Supplement the employee's hourly wage by an amount no less than the prevailing supplemental benefits rate; or
- 3) Provide a combination of bona fide fringe benefits and wage supplements which cost the employer no less than the prevailing supplemental benefits rate in total.

Although prevailing wage laws do not require employers to provide bona fide fringe benefits (as opposed to wage supplements) to their employees, other laws may. For example, the Employee Retirement Income Security Act, 29 U.S.C. § 1001 et seq., the Patient Protection and Affordable Care Act, 42 U.S.C. § 18001 et seq., and the New York City Paid Sick Leave Law, N.Y.C. Admin. Code § 20-911 et seq., require certain employers to provide certain benefits to their employees. Labor agreements to which employers are a party may also require certain benefits. The Comptroller's Office does not enforce these laws or agreements.

Employers must provide prevailing supplemental benefits at the straight time rate for each hour worked unless otherwise noted in the classification.

Paid Holidays, Vacation and Sick Leave when listed must be paid or provided in addition to the prevailing hourly supplemental benefit rate.

For more information, please refer to the Comptroller's Prevailing Wage Law Regulations in Title 44 of the Rules of the City of New York, Chapter 2, available at [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages).

Wasył Kinach, P.E.  
Director of Classifications  
Bureau of Labor Law

**ASBESTOS HANDLER  
SEE HAZARDOUS MATERIAL HANDLER**

**BLASTER**

Blaster

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$56.71  
Supplemental Benefit Rate per Hour: \$48.63

Blaster - Hydraulic Trac Drill

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$50.85  
Supplemental Benefit Rate per Hour: \$48.63

Blaster - Wagon: Air Trac: Quarry Bar: Drillrunners

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$50.02  
Supplemental Benefit Rate per Hour: \$48.63

Blaster - Journey person

(Laborer, Chipper/Jackhammer including Walk Behind Self Propelled Hydraulic Asphalt and Concrete Breakers and Hydro

(Water) Demolition, Powder Carrier, Hydraulic Chuck Tender, Chuck Tender and Nipper)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$43.50  
Supplemental Benefit Rate per Hour: \$48.63

Blaster - Magazine Keepers: (Watch Person)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$21.75  
Supplemental Benefit Rate per Hour: \$48.63

Overtime

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

Overtime Holidays

Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Thanksgiving Day  
Christmas Day

Paid Holidays

Labor Day  
Thanksgiving Day

Shift Rates

When two shifts are employed, single time rate shall be paid for each shift. When three shifts are found necessary, each shift shall work seven and one half hours (7 ½), but shall be paid for eight (8) hours of labor, and be permitted one half hour for lunch.

(Local #731)

**BOILERMAKER**

Boilermaker

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$63.38  
Supplemental Benefit Rate per Hour: \$46.67  
Supplemental Note: For time and one half overtime - \$69.56 For double overtime - \$92.44

Overtime Description

For Repair and Maintenance work:  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
For New Construction work:  
Double time the regular rate after an 8 hour day.  
Double time the regular time rate for Saturday.  
Double time the regular rate for Sunday.

Overtime Holidays

Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Columbus Day  
Election Day  
Veteran's Day  
Thanksgiving Day  
Christmas Day

Quadruple time the regular rate for work on the following holiday(s).

Labor Day

Paid Holidays

Good Friday  
Day after Thanksgiving  
Day before Christmas  
Day before New Year's Day

Shift Rates

On jobs requiring two (2) or three (3) shifts, the first shift shall work eight (8) hours at the regular straight-time hourly rate. The second shift shall work eight (8) hours and receive eight hours at the regular straight time hourly rate plus two dollars (\$2.00) per hour. The third shift shall work eight (8) hours and receive eight hours at the regular straight time hourly rate plus two dollars and twenty-five cents (\$2.25) per hour.

(Local #5

**BRICKLAYER**

Bricklayer

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$57.64  
Supplemental Benefit Rate per Hour: \$35.95

**Overtime Description**  
Time and one half the regular rate after a 7 hour day. If working on a job that is predominately Pointer, Cleaner, Caulker work, then Time and one half the regular rate after an 8 hour day.

**Overtime**  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).

- New Year's Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Thanksgiving Day
- Christmas Day

**Paid Holidays**  
None

**Shift Rates**  
The second shift wage rate shall be a 15% wage premium with no premium for supplemental benefits. There must be a first shift in order to work a second shift. When it is not possible to conduct alteration or repair work during regular working hours in a building occupied by tenants, eight hours will be paid at straight time rate for seven hours of work.

(Bricklayer District Council)

**CARPENTER - BUILDING COMMERCIAL**

Building Commercial

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$54.75  
Supplemental Benefit Rate per Hour: \$47.13

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).

- New Year's Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Presidential Election Day
- Thanksgiving Day
- Day after Thanksgiving
- Christmas Day

**Paid Holidays**  
None

**Shift Rates**  
The second shift will receive one hour at the double time rate of pay for the last hour of the shift; eight hours pay for seven hours of work, nine hours pay for eight hours of work. There must be a first shift in order to work a second shift. When it is not possible to conduct alteration or repair work during regular working hours in a building occupied by tenants, the rule for the second shift will apply.

(Carpenters District Council)

**CARPENTER - HEAVY CONSTRUCTION WORK**  
(Construction of Engineered Structures and Building Foundations including all form work)

Heavy Construction Work

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$56.93  
Supplemental Benefit Rate per Hour: \$53.49

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).

- New Year's Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Presidential Election Day
- Thanksgiving Day
- Christmas Day

**Paid Holidays**  
None

**Shift Rates**  
Off shift work commencing between 5:00 P.M. and 11:00 P.M. shall work eight and one half hours allowing for one half hour for lunch. The wage rate shall be 113% of the straight time hourly wage rate. When two (2) or more shifts of Carpenters are employed, single time will be paid for each shift.

(Carpenters District Council)

**CARPENTER - HIGH RISE CONCRETE FORMS**  
(Excludes Engineered Structures and Building Foundations)

Carpenter High Rise A

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$50.78  
Supplemental Benefit Rate per Hour: \$44.44

Carpenter High Rise B

Carpenter High Rise B worker is excluded from high risk operations such as erection decking, perimeter debris netting, leading edge work, self-climbing form systems, and the installation of cocoon systems unless directly supervised by a Carpenter High Rise A worker.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$40.19  
Supplemental Benefit Rate per Hour: \$17.75

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**  
Time and one half the regular rate for work on the following holiday(s).

- New Year's Day
- President's Day
- Good Friday
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Presidential Election Day
- Thanksgiving Day
- Christmas Day

**Paid Holidays**  
None

**Shift Rates**  
The second shift wage rate shall be 113% of the straight time hourly wage rate. However, any shift beginning after 5:00 P.M. shall be paid at time and one half the regular hourly rate. There must be a first shift in order to work a second shift. When it is not possible to conduct alteration or repair work during regular working hours in a building occupied by tenants, the rule for the second shift will apply.

(Carpenters District Council)

**CARPENTER - SIDEWALK SHED, SCAFFOLD AND HOIST**

Carpenter - Hod Hoist

(Assisted by Mason Tender)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$52.00  
Supplemental Benefit Rate per Hour: \$47.40

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

Overtime Holidays  
Double time the regular rate for work on the following holiday(s).

- New Year's Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Presidential Election Day
- Thanksgiving Day
- Day after Thanksgiving
- Christmas Day

Paid Holidays  
None

Shift Rates  
The second shift will receive 112% of the straight time hourly rate. Benefit fund contributions shall be paid at the straight time rate. There must be a first shift in order to work a second shift. When it is not possible to conduct alteration or repair work during regular working hours in a building occupied by tenants, the rule for the second shift will apply.

(Carpenters District Council)

**CARPENTER - WOOD WATER STORAGE TANK**

Tank Mechanic

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$35.69  
Supplemental Benefit Rate per Hour: \$22.24

Tank Helper

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$28.23  
Supplemental Benefit Rate per Hour: \$22.24

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Time and one half the regular rate for work on a holiday plus the day's pay.

- Paid Holidays
- New Year's Day
  - President's Day
  - Good Friday
  - Memorial Day
  - Independence Day
  - Labor Day
  - Columbus Day
  - Thanksgiving Day
  - Day after Thanksgiving
  - 1/2 day on Christmas Eve if work is performed in the A.M.
  - Christmas Day
  - 1/2 day on New Year's Eve if work is performed in the A.M.

Vacation  
Employed for one (1) year.....one (1) week vacation (40 hours)  
Employed for three (3) years.....two (2) weeks vacation (80 hours)  
Employed for more than twenty (20) years.....three (3) weeks vacation (120 hours)

SICK LEAVE:  
Two (2) sick days after being employed for twenty (20) years.

(Carpenters District Council)

**CEMENT & CONCRETE WORKER**

Cement & Concrete Worker

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$45.28  
Supplemental Benefit Rate per Hour: \$30.20  
Supplemental Note: \$34.20 on Saturdays; \$38.20 on Sundays & Holidays

Cement & Concrete Worker - (Hired after 2/6/2016)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$34.80  
Supplemental Benefit Rate per Hour: \$22.20  
Supplemental Note: \$24.20 on Saturdays; \$26.20 on Sundays & Holidays

Overtime Description  
Time and one half the regular rate after 7 hour day (time and one half the regular rate after an 8 hour day when working with Dockbuilders on pile cap forms and for work below street level to the top of the foundation wall, not to exceed 2 feet or 3 feet above the sidewalk-brick shelf, when working on the foundation and structure.)

Overtime  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

Overtime Holidays  
Double time the regular rate for work on the following holiday(s).

- New Year's Day
- President's Day
- Good Friday
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Presidential Election Day
- Thanksgiving Day
- Christmas Day

Paid Holidays  
1/2 day before Christmas Day  
1/2 day before New Year's Day

Shift Rates  
On shift work extending over a twenty-four hour period, all shifts are paid at straight time.

(Cement & Concrete Workers District Council 16)

**CEMENT MASON**

Cement Mason

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$45.77  
Supplemental Benefit Rate per Hour: \$41.01  
Supplemental Note: Supplemental benefit time and one half rate: \$71.97; Double time rate: double the base supplemental benefit rate.

Overtime Description  
Time and one-half the regular rate after an 8 hour day, double time the regular rate after 10 hours. Time and one-half the regular rate on Saturday, double time the regular rate after 10 hours. Double time the regular rate on Sunday. Four Days a week at Ten (10) hours straight time is allowed.

Overtime Holidays  
Double time the regular rate for work on the following holiday(s).

- New Year's Day
- President's Day
- Good Friday
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Presidential Election Day
- Thanksgiving Day
- Christmas Day

Paid Holidays  
Any worker who reports to work on Christmas Eve or New Year's Eve pursuant to his employer's instruction shall be entitled to three (3) hours afternoon pay without working.

Shift Rates  
For off shift work, (at times other than the regular 7:00 A.M. to 3:30 P.M. work day) a cement mason shall be paid at the regular hourly rate plus a 25% per hour differential.

(Local #780) (BCA)

**CORE DRILLER**

Core Driller

Effective Period: 7/1/2021 - 10/17/2021  
Wage Rate per Hour: \$41.74  
Supplemental Benefit Rate per Hour: \$29.40

Effective Period: 10/18/2021 - 6/30/2022  
Wage Rate per Hour: \$42.27  
Supplemental Benefit Rate per Hour: \$30.60

Core Driller Helper

Effective Period: 7/1/2021 - 10/17/2021  
Wage Rate per Hour: \$32.92  
Supplemental Benefit Rate per Hour: \$29.40

Effective Period: 10/18/2021 - 6/30/2022  
Wage Rate per Hour: \$33.47  
Supplemental Benefit Rate per Hour: \$30.60

Core Driller Helper(Third year in the industry)

Effective Period: 7/1/2021 - 10/17/2021  
Wage Rate per Hour: \$29.63  
Supplemental Benefit Rate per Hour: \$29.40

Effective Period: 10/18/2021 - 6/30/2022  
Wage Rate per Hour: \$30.12  
Supplemental Benefit Rate per Hour: \$30.60

Core Driller Helper (Second year in the industry)

Effective Period: 7/1/2021 - 10/17/2021  
Wage Rate per Hour: \$26.34  
Supplemental Benefit Rate per Hour: \$29.40

Effective Period: 10/18/2021 - 6/30/2022  
Wage Rate per Hour: \$26.78  
Supplemental Benefit Rate per Hour: \$30.60

Core Driller Helper (First year in the industry)

Effective Period: 7/1/2021 - 10/17/2021  
Wage Rate per Hour: \$23.04  
Supplemental Benefit Rate per Hour: \$29.40

Effective Period: 10/18/2021 - 6/30/2022  
Wage Rate per Hour: \$23.43  
Supplemental Benefit Rate per Hour: \$30.60

**Overtime Description**  
Time and one half the regular rate for work on a holiday plus Holiday pay when worked.

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Time and one half the regular rate for work on the following holiday(s).

**Paid Holidays**  
New Year's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

**Shift Rates**  
When two (2) or more shifts are employed, single time shall be paid for each shift, but those employees employed on a shift other than from 8:00 A.M. to 5:00 P.M. shall, in addition, receive two dollars (\$2.00) per hour differential for each hour worked. When three (3) shifts are needed, each shift shall work seven and one-half (7 1/2) hours paid for eight (8) hours of labor and be permitted one-half (1/2) hour for mealtime.

(Carpenters District Council)

**DERRICKPERSON AND RIGGER**

Derrick Person & Rigger

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$53.99  
Supplemental Benefit Rate per Hour: \$55.10  
Supplemental Note: The above supplemental rate applies for work performed in Manhattan, Bronx, Brooklyn and Queens. \$56.52 - For work performed in Staten Island.

Derrick Person & Rigger - Site Work

Assists the Stone Mason-Setter in the setting of stone and paving stone.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$44.86  
Supplemental Benefit Rate per Hour: \$43.37

**Overtime Description**  
The first two hours of overtime on weekdays and the first seven hours of work on Saturdays are paid at time and one half for wages and supplemental benefits. All additional overtimes is paid at double time for wages and supplemental benefits.

Deduct \$1.42 from the Staten Island hourly benefits rate before computing overtime.

**Overtime**  
Double time the regular rate for Sunday.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Washington's Birthday  
Good Friday  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

**Paid Holidays**  
1/2 day on Christmas Eve if work is performed in the A.M.  
(Local #197)

**DIVER**

Diver (Marine)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$71.80  
Supplemental Benefit Rate per Hour: \$53.49

Diver Tender (Marine)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$51.34  
Supplemental Benefit Rate per Hour: \$53.49

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Presidential Election Day  
Thanksgiving Day  
Christmas Day

**Paid Holidays**  
None

**Shift Rates**  
When three shifts are utilized each shift shall work seven and one half-hours (7 1/2 hours) and paid for 8 hours, allowing for one half hour for lunch.

(Carpenters District Council)

**DOCKBUILDER - PILE DRIVER**

Dockbuilder - Pile Driver

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$56.93  
Supplemental Benefit Rate per Hour: \$53.49

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Presidential Election Day  
Thanksgiving Day  
Christmas Day

**Paid Holidays**



None

**Shift Rates**

Off shift work commencing between 5:00 P.M. and 11:00 P.M. shall work eight and one half hours allowing for one half hour for lunch. The wage rate shall be 113% of the straight time hourly wage rate.

(Carpenters District Council)

**DRIVER: TRUCK (TEAMSTER)**

**Driver - Dump Truck**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$43.83  
 Supplemental Benefit Rate per Hour: \$51.55  
 Supplemental Note: Over 40 hours worked: at time and one half rate - \$22.50; at double time rate - \$30.00

**Driver - Tractor Trailer**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$46.12  
 Supplemental Benefit Rate per Hour: \$51.50  
 Supplemental Note: Over 40 hours worked: at time and one half rate - \$22.50; at double time rate - \$30.00

**Driver - Euclid & Turnapull Operator**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$46.68  
 Supplemental Benefit Rate per Hour: \$51.50  
 Supplemental Note: Over 40 hours worked: at time and one half rate - \$22.50; at double time rate - \$30.00

**Overtime Description**

For Paid Holidays: Holiday pay for all holidays shall be prorated based two hours per day for each day worked in the holiday week, not to exceed 8 hours of holiday pay. For Thanksgiving week, the prorated share shall be 5 1/3 hours of holiday pay for each day worked in Thanksgiving week.

**Overtime**

Time and one half the regular rate after an 8 hour day.  
 Time and one half the regular rate for Saturday.  
 Double time the regular rate for Sunday.

**Overtime Holidays**

Double time the regular rate for work on the following holiday(s).

- New Year's Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Veteran's Day
- Thanksgiving Day
- Day after Thanksgiving
- Christmas Day

**Paid Holidays**

- New Year's Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Veteran's Day
- Thanksgiving Day
- Day after Thanksgiving
- Christmas Day

**Shift Rates**

Off shift work commencing between 6:00 P.M. and 4:30 A.M. shall work eight and one half (8 1/2) hours allowing for one half hour for lunch and receive 9 hours pay for 8 hours of work.

**Driver Redi-Mix (Sand & Gravel)**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$40.89  
 Supplemental Benefit Rate per Hour: \$47.01  
 Supplemental Note: Over 40 hours worked: time and one half rate \$18.01; double time rate \$24.01

**Overtime Description**

For Paid Holidays: Employees who do not work on a contractual holiday shall be compensated two (2) hours extra pay in straight time wages and benefits for every day on which the Employee does not pass up a day's work during the calendar week (Sunday through Saturday) of the holiday, up

to a maximum of ten (10) hours in wages and eight (8) hours in benefit contributions for the holiday

**Overtime**

Time and one half the regular rate after an 8 hour day.  
 Time and one half the regular rate for Saturday.  
 Double time the regular rate for Sunday.

**Overtime Holidays**

Double time the regular rate for work on the following holiday(s).

- President's Day
- Columbus Day
- Veteran's Day

Triple time the regular rate for work on the following holiday(s).

- New Year's Day
- Memorial Day
- Independence Day
- Labor Day
- Thanksgiving Day
- Christmas Day

**Paid Holidays**

- New Year's Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Election Day
- Thanksgiving Day
- Christmas Day

(Local #282)

**ELECTRICIAN**

(Including installation of low voltage cabling carrying data, video and/or voice on building construction/alteration/renovation projects.)

**Electrician "A" (Regular Day / Day Shift)**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$58.00  
 Supplemental Benefit Rate per Hour: \$54.86  
 \* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

**Electrician "A" (Regular Day Overtime after 7 hrs / Day Shift Overtime after 8 hrs)**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$87.00  
 Supplemental Benefit Rate per Hour: \$56.73  
 \* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

**Electrician "A" (Swing Shift)**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$68.05  
 Supplemental Benefit Rate per Hour: \$62.39  
 \* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

**Electrician "A" (Swing Shift Overtime after 7.5 hours)**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$102.08  
 Supplemental Benefit Rate per Hour: \$64.58  
 \* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

**Electrician "A" (Graveyard Shift)**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$76.23  
 Supplemental Benefit Rate per Hour: \$68.74  
 \* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

**Electrician "A" (Graveyard Shift Overtime after 7 hours)**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$114.35  
 Supplemental Benefit Rate per Hour: \$71.19  
 \* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

\* Supplemental Benefit Rate per Hour Note  
 In addition to the Supplemental Benefit Rates per Hour listed above, the employer must provide an additional 6.2% of taxable gross pay earned on covered work only. This additional Supplemental Benefit Rate will terminate when the employee

has contributed the maximum annual Social Security tax required by law, on all work performed.

**Overtime**

Time and one half the regular rate after a 7 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

**Overtime Holidays**

Time and one half the regular rate for work on a holiday.  
New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

**Paid Holidays**

None

**Shift Rates**

For multiple shifts of temporary light and/or power, the temporary light and/or power employee shall be paid for 8 hours at the straight time rate. For three or less workers performing 8 hours temporary light and/or power the supplemental benefit rate is \$21.86 - See \* Supplemental Benefit Rate per Hour Note above.

Electrician "M" (First 8 hours)

"M" rated work shall be defined as jobbing; electrical work of limited duration and scope, also consisting of repairs and/or replacement of electrical and tele-data equipment. Includes all work necessary to retrofit, service, maintain and repair all kinds of lighting fixtures and local lighting controls and washing and cleaning of foregoing fixtures.

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$30.50

Supplemental Benefit Rate per Hour: \$24.45

First and Second Year "M" Wage Rate Per Hour: \$26.00

First and Second Year "M" Supplemental Rate: \$22.06

Electrician "M" (Overtime After First 8 hours)

"M" rated work shall be defined as jobbing; electrical work of limited duration and scope, also consisting of repairs and/or replacement of electrical and tele-data equipment. Includes all work necessary to retrofit, service, maintain and repair all kinds of lighting fixtures and local lighting controls and washing and cleaning of foregoing fixtures.

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$45.75

Supplemental Benefit Rate per Hour: \$26.38

First and Second Year "M" Wage Rate Per Hour: \$39.00

First and Second Year "M" Supplemental Rate: \$23.70

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

**Overtime Holidays**

Time and one half the regular rate for work on the following holiday(s).  
New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

**Paid Holidays**

None

(Local #3)

**ELECTRICIAN - ALARM TECHNICIAN**

(Scope of Work - Inspect, test, repair, and replace defective, malfunctioning, or broken devices, components and controls of Fire, Burglar and Security Systems)

Alarm Technician

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$33.90

Supplemental Benefit Rate per Hour: \$18.43

Supplemental Note: \$16.80 only after 8 hours worked in a day

**Overtime Description**

Time and one half the regular rate for work on the following holidays: Columbus Day, Veterans Day, Day after Thanksgiving. Double time the regular rate for work on the following holidays: New Year's day, Martin Luther King Jr. Day, President's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, Christmas Day.

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

**Paid Holidays**

New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

**Shift Rates**

Night Differential is based upon a ten percent (10%) differential between the hours of 4:00 P.M. and 12:30 A.M. and a fifteen percent (15%) differential for the hours 12:00 A.M. to 8:30 A.M.

**Vacation**

At least 1 year of employment.....ten (10) days  
5 years or more of employment.....fifteen (15) days  
10 years of employment.....twenty (20) days  
Plus one Personal Day per year

**Sick Days:**

One day per Year. Up to 4 vacation days may be used as sick days.

(Local #3)

**ELECTRICIAN-STREET LIGHTING WORKER**

Electrician - Electro Pole Electrician

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$58.00

Supplemental Benefit Rate per Hour: \$56.83

\* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

Electrician - Electro Pole Foundation Installer

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$43.16

Supplemental Benefit Rate per Hour: \$42.15

\* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

Electrician - Electro Pole Maintainer

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$37.11

Supplemental Benefit Rate per Hour: \$38.04

\* Supplemental Note: See Supplemental Benefit Rate per Hour Note below

**\* Supplemental Benefit Rate per Hour Note**

In addition to the Supplemental Benefit Rates per Hour listed above, the employer must provide an additional 6.2% of taxable gross pay earned on covered work only. This additional Supplemental Benefit Rate will terminate when the employee has contributed the maximum annual Social Security tax required by law, on all work performed.

**Overtime Description**

Electrician - Electro Pole Electrician: Time and one half the regular rate after a 7 hour day and after 5 consecutive days worked per week.

Electrician - Electro Pole Foundation Installer: Time and one half the regular rate after 8 hours within a 24 hour period and Saturday and Sunday.

Electrician - Electro Pole Maintainer: Time and one half the regular rate after a 7 hour day and after 5 consecutive days worked per week. Saturdays and Sundays may be used as a make-up day at straight time when a day is lost during the week to inclement weather.

**Overtime Holidays**  
 Time and one half the regular rate for work on the following holiday(s).  
 New Year's Day  
 Martin Luther King Jr. Day  
 President's Day  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day

**Paid Holidays**  
 None

(Local #3)

**ELEVATOR CONSTRUCTOR**

Elevator Constructor  
 Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate per Hour: \$72.29  
 Supplemental Benefit Rate per Hour: \$38.29

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate per Hour: \$75.14  
 Supplemental Benefit Rate per Hour: \$39.10

**Overtime Description**  
 For New Construction: work performed after an 8 hour day, Saturday, Sunday or between 4:30pm and 7:00am shall be paid at double time rate.

Existing buildings: work performed after an 8 hour day, Saturday, Sunday or between 5:30pm and 7:00 am shall be paid time and one half.

**Overtime**  
 Double time the regular rate for work on the following holiday(s).

**Paid Holidays**  
 New Year's Day  
 President's Day  
 Good Friday  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day

**Vacation**  
 Employer contributes 8% of regular basic hourly rate as vacation pay for employees with more than 15 years of service, and 6% for employees with 5 to 15 years of service, and 4% for employees with less than 5 years of service.

(Local #1)

**ELEVATOR REPAIR & MAINTENANCE**

Elevator Service/Modernization Mechanic  
 Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate per Hour: \$56.77  
 Supplemental Benefit Rate per Hour: \$38.19

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate per Hour: \$59.09  
 Supplemental Benefit Rate per Hour: \$39.00

**Overtime Description**  
 For Scheduled Service Work: Double time - work scheduled in advance by two or more workers performed on Sundays, Holidays, and between midnight and 7:00am.

**Overtime**  
 Time and one half the regular rate after an 8 hour day.  
 Time and one half the regular rate for Saturday.  
 Time and one half the regular rate for Sunday.  
 Time and one half the regular rate for work on a holiday plus the day's pay.

**Paid Holidays**  
 New Year's Day  
 President's Day  
 Good Friday  
 Memorial Day

**Independence Day**  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day

**Shift Rates**  
 Afternoon shift - regularly hourly rate plus a (15%) fifteen percent differential. Graveyard shift - time and one half the regular rate.

**Vacation**  
 Employer contributes 8% of regular basic hourly rate as vacation pay for employees with more than 15 years of service, and 6% for employees with 5 to 15 years of service, and 4% for employees with less than 5 years of service.

(Local #1)

**ENGINEER**

Engineer - Heavy Construction Operating Engineer I  
 Cherrypickers 20 tons and over and Loaders (rubber tired and/or tractor type with a manufacturer's minimum rated capacity of six cubic yards and over).

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$74.65  
 Supplemental Benefit Rate per Hour: \$42.06  
 Supplemental Note: \$76.72 on overtime  
 Shift Wage Rate: \$119.44

Engineer - Heavy Construction Operating Engineer II  
 Backhoes, Basin Machines, Groover, Mechanical Sweepers, Bobcat, Boom Truck, Barrier Transport (Barrier Mover) & machines of similar nature. Operation of Churn Drills and machines of a similar nature, Stetco Silent Hoist and machines of similar nature, Vac-Alls, Meyers Machines, John Beam and machines of a similar nature, Ross Carriers and Travel Lifts and machines of a similar nature, Bulldozers, Scrapers and Turn-a-Pulls: Tugger Hoists (Used exclusively for handling excavated material); Tractors with attachments, Hyster and Roustabout Cranes, Cherrypickers, Austin Western, Grove and machines of a similar nature, Scoopmobiles, Monorails, Conveyors, Trenchers: Loaders-Rubber Tired and Tractor: Barber Greene and Eimco Loaders and Eimco Backhoes; Mighty Midget and similar breakers and Tampers, Curb and Gutter Pavers and Motor Patrol, Motor Graders and all machines of a similar nature. Locomotives 10 Tons or under. Mini-Max, Break-Tech and machines of a similar nature; Milling machines, robotic and demolition machines and machines of a similar nature, shot blaster, skid steer machines and machines of a similar nature including bobcat, pile rig rubber-tired excavator (37,000 lbs. and under), 2 man auger.

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$72.40  
 Supplemental Benefit Rate per Hour: \$42.06  
 Supplemental Note: \$76.72 on overtime  
 Shift Wage Rate: \$115.84

Engineer - Heavy Construction Operating Engineer III  
 Minor Equipment such as Tractors, Post Hole Diggers, Ditch Witch (Walk Behind), Road Finishing Machines, Rollers five tons and under, Tugger Hoists, Dual Purpose Trucks, Fork Lifts, and Dempsey Dumpers, Fireperson.

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$68.62  
 Supplemental Benefit Rate per Hour: \$42.06  
 Supplemental Note: \$76.72 on overtime  
 Shift Wage Rate: \$109.79

Engineer - Heavy Construction Maintenance Engineer I  
 Installing, Repairing, Maintaining, Dismantling and Manning of all equipment including Steel Cutting, Bending and Heat Sealing Machines, Mechanical Heaters, Grout Pumps, Bentonite Pumps & Plants, Screening Machines, Fusion Coupling Machines, Tunnel Boring Machines Moles and Machines of a similar nature, Power Packs, Mechanical Hydraulic Jacks; all drill rigs including but not limited to Churn, Rotary Caisson, Raised Bore & Drills of a similar nature; Personnel, Inspection & Safety Boats or any boats used to perform functions of same, Mine Hoists, Whirlies, all Climbing Cranes, all Tower Cranes, including but not limited to Truck Mounted and Crawler Type and machines of similar nature; Maintaining Hydraulic Drills and machines of a similar nature; Well Point System-Installation and dismantling;

Burning, Welding, all Pumps regardless of size and/or motor power, except River Cofferdam Pumps and Wells Point Pumps; Motorized Buggies (three or more); equipment used in the cleaning and televising of sewers, but not limited to jet-rodder/vacuum truck, vacall/vactor, closed circuit television inspection equipment; high powered water pumps, jet pumps; screed machines and concrete finishing machines of a similar nature; vermeers.

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$72.05

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$115.28

Engineer - Heavy Construction Maintenance Engineer II

On Base Mounted Tower Cranes

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$95.02

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$152.03

Engineer - Heavy Construction Maintenance Engineer III

On Generators, Light Towers

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$47.10

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$75.36

Engineer - Heavy Construction Maintenance Engineer IV

On Pumps and Mixers including mud sucking

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$48.35

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$77.36

Engineer - Heavy Construction Service Engineer

Gradalls: Concrete Pumps: Power Houses: Driving Truck Cranes: Driving and Operating Fuel and Grease Trucks.

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$64.82

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$103.71

Engineer - Heavy Construction Service Mechanic

Shovels: Cranes: Draglines: Backhoes: Keystones: Pavers: Trenching Machines: Gunite Machines: Compressors (three (3) or more in Battery): Crawler Cranes- having a straight lattice boom with no attachment or luffing boom, no jib and no auxiliary attachment.

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$44.45

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$71.12

Engineer - Steel Erection Maintenance Engineers

Derrick, Travelers, Tower, Crawler Tower and Climbing Cranes

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$68.93

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$110.29

Engineer - Steel Erection Oiler I

On a Truck Crane

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$64.43

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$103.09

Engineer - Steel Erection Oiler II

On a Crawler Crane

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$48.72

Supplemental Benefit Rate per Hour: \$42.06

Supplemental Note: \$76.72 on overtime

Shift Wage Rate: \$77.95

Overtime Description

On jobs of more than one shift, if the next shift employee fails to report for work through any cause over which the employer has no control, the employee on duty who works the next shift continues to work at the single time rate.

Overtime

Double time the regular rate after an 8 hour day.

Double time the regular time rate for Saturday.

Double time the regular rate for Sunday.

Double time the regular rate for work on the following holiday(s).

Paid Holidays

New Year's Day

Lincoln's Birthday

President's Day

Memorial Day

Independence Day

Labor Day

Columbus Day

Veteran's Day

Thanksgiving Day

Day after Thanksgiving

Christmas Day

Employees must work at least one day in the payroll week in which the holiday occurs to receive the paid holiday

Engineer - Building Work Maintenance Engineers I

Installing, repairing, maintaining, dismantling (of all equipment including: Steel Cutting and Bending Machines, Mechanical Heaters, Mine Hoists, Climbing Cranes, Tower Cranes, Linden Peine, Lorain, Liebherr, Mannes, or machines of a similar nature, Well Point Systems, Deep Well Pumps, Concrete Mixers with loading Device, Concrete Plants, Motor Generators when used for temporary power and lights), skid steer machines of a similar nature including bobcat.

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$64.11

Supplemental Benefit Rate per Hour: \$41.15

Supplemental Note: \$74.90 on overtime

Engineer - Building Work Maintenance Engineers II

On Pumps, Generators, Mixers and Heaters

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$49.49

Supplemental Benefit Rate per Hour: \$41.15

Supplemental Note: \$74.90 on overtime

Engineer - Building Work Oilers I

All gasoline, electric, diesel or air operated Gradealls: Concrete Pumps, Overhead Cranes in Power Houses: Their duties shall be to assist the Engineer in oiling, greasing and repairing of all machines; Driving Truck Cranes: Driving and Operating Fuel and Grease Trucks, Cherrypickers (hydraulic cranes) over 70,000 GVW, and machines of a similar nature.

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$60.89

Supplemental Benefit Rate per Hour: \$41.15

Supplemental Note: \$74.90 on overtime

Engineer - Building Work Oilers II

Oilers on Crawler Cranes, Backhoes, Trenching Machines, Gunite Machines, Compressors (three or more in Battery).

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$44.88

Supplemental Benefit Rate per Hour: \$41.15

Supplemental Note: \$74.90 on overtime

Overtime Description

On jobs of more than one shift, if an Employee fails to report for work through any cause over which the Employer has no control, the Employee on duty will continue to work at the rate of single time.

Overtime

Double time the regular rate after an 8 hour day.

Double time the regular time rate for Saturday.

Double time the regular rate for Sunday.

Double time the regular rate for work on the following holiday(s).

Paid Holidays

New Year's Day

Lincoln's Birthday

President's Day

Memorial Day

Independence Day

Labor Day

Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Christmas Day  
 Employees must work at least one day in the payroll week in which the holiday occurs to receive the paid holiday

Shift Rates  
 When two (2) or more shifts are employed, single time will be paid for each shift.

(Local #15)

**ENGINEER - CITY SURVEYOR AND CONSULTANT**

**Party Chief**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$41.98  
 Supplemental Benefit Rate per Hour: \$24.40  
 Supplemental Note: Overtime Benefit Rate - \$29.35 per hour (time & one half) \$34.30 per hour (double time).

**Instrument Person**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$34.32  
 Supplemental Benefit Rate per Hour: \$24.40  
 Supplemental Note: Overtime Benefit Rate - \$29.35 per hour (time & one half) \$34.30 per hour (double time).

**Rodperson**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$29.49  
 Supplemental Benefit Rate per Hour: \$24.40  
 Supplemental Note: Overtime Benefit Rate - \$29.35 per hour (time & one half) \$34.30 per hour (double time).

Overtime Description  
 Time and one half the regular rate after an 8 hour day, Time and one half the regular rate for Saturday for the first eight hours worked, Double time the regular time rate for Saturday for work performed in excess of eight hours, Double time the regular rate for Sunday and Double time the regular rate for work on a holiday.

Paid Holidays  
 New Year's Day  
 Lincoln's Birthday  
 President's Day  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day  
 Employees must work at least one day in the payroll week in which the holiday occurs to receive the paid holiday

(Operating Engineer Local #15-D)

**ENGINEER - FIELD (BUILDING CONSTRUCTION)**  
 (Construction of Building Projects, Concrete Superstructures, etc.)

**Field Engineer - BC Party Chief**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$66.42  
 Supplemental Benefit Rate per Hour: \$37.16  
 Supplemental Note: Overtime Benefit Rate - \$52.27 per hour (time & one half) \$67.37 per hour (double time).

**Field Engineer - BC Instrument Person**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$51.37  
 Supplemental Benefit Rate per Hour: \$37.16  
 Supplemental Note: Overtime Benefit Rate - \$52.27 per hour (time & one half) \$67.37 per hour (double time).

**Field Engineer - BC Rodperson**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$32.84  
 Supplemental Benefit Rate per Hour: \$37.16  
 Supplemental Note: Overtime Benefit Rate - \$52.27 per hour (time & one half) \$67.37 per hour (double time).

Overtime Description  
 Time and one half the regular rate after a 7 hour work and time and one half the regular rate for Saturday for the first seven hours worked, Double time the regular time rate for

Saturday for work performed in excess of seven hours, Double time the regular rate for Sunday and Double time the regular rate for work on a holiday.

Paid Holidays  
 New Year's Day  
 President's Day  
 Good Friday  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Christmas Day  
 Employees must work at least one day in the payroll week in which the holiday occurs to receive the paid holiday

(Operating Engineer Local #15-D)

**ENGINEER - FIELD (HEAVY CONSTRUCTION)**  
 (Construction of Roads, Tunnels, Bridges, Sewers, Building Foundations, Engineering Structures etc.)

**Field Engineer - HC Party Chief**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$77.31  
 Supplemental Benefit Rate per Hour: \$39.64  
 Supplemental Note: Overtime benefit rate - \$55.86 per hour (time & one half), \$72.08 per hour (double time).

**Field Engineer - HC Instrument Person**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$56.50  
 Supplemental Benefit Rate per Hour: \$39.64  
 Supplemental Note: Overtime benefit rate - \$55.86 per hour (time & one half), \$72.08 per hour (double time).

**Field Engineer - HC Rodperson**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$47.23  
 Supplemental Benefit Rate per Hour: \$39.64  
 Supplemental Note: Overtime benefit rate - \$55.86 per hour (time & one half), \$72.08 per hour (double time).

Overtime Description  
 Time and one half the regular rate after an 8 hour day, Time and one half the regular rate for Saturday for the first eight hours worked, Double time the regular time rate for Saturday for work performed in excess of eight hours, Double time the regular rate for Sunday and Double time the regular rate for work on a holiday.

Paid Holidays  
 New Year's Day  
 Lincoln's Birthday  
 President's Day  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Christmas Day  
 Employees must work at least one day in the payroll week in which the holiday occurs to receive the paid holiday

(Operating Engineer Local #15-D)

**ENGINEER - FIELD (STEEL ERECTION)**

**Field Engineer - Steel Erection Party Chief**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$71.98  
 Supplemental Benefit Rate per Hour: \$39.14  
 Supplemental Note: Overtime benefit rate - \$55.11 per hour (time & one half), \$71.08 per hour (double time).

**Field Engineer - Steel Erection Instrument Person**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$55.85  
 Supplemental Benefit Rate per Hour: \$39.14  
 Supplemental Note: Overtime benefit rate - \$55.11 per hour (time & one half), \$71.08 per hour (double time).

**Field Engineer - Steel Erection Rodperson**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$36.99  
 Supplemental Benefit Rate per Hour: \$39.14

Supplemental Note: Overtime benefit rate - \$55.11 per hour (time & one half), \$71.08 per hour (double time).

Overtime Description

Time and one half the regular rate for Saturday for the first eight hours worked.

Double time the regular rate for Saturday for work performed in excess of eight hours.

Overtime

Time and one half the regular rate after an 8 hour day.

Double time the regular rate for Sunday.

Double time the regular rate for work on the following holiday(s).

Paid Holidays

- New Year's Day
- Lincoln's Birthday
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Veteran's Day
- Thanksgiving Day
- Christmas Day

Employees must work at least one day in the payroll week in which the holiday occurs to receive the paid holiday

(Operating Engineer Local #15-D)

ENGINEER - OPERATING

Operating Engineer - Road & Heavy Construction I

Back Filling Machines, Cranes, Mucking Machines and Dual Drum Paver.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$86.05  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$137.68

Operating Engineer - Road & Heavy Construction II

Backhoes, Power Shovels, Hydraulic Clam Shells, Steel Erection, Moles and machines of a similar nature.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$89.05  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$142.48

Operating Engineer - Road & Heavy Construction III

Mine Hoists (Cranes, etc. when used as Mine Hoists)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$91.89  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$147.02

Operating Engineer - Road & Heavy Construction IV

Gradealls, Keystones, Cranes on land or water (with digging buckets), Bridge Cranes, Vermeer Cutter and machines of a similar nature, Trenching Machines.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$89.70  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$143.52

Operating Engineer - Road & Heavy Construction V

Pile Drivers & Rigs (working alongside Dock Builder foreperson): Derrick Boats, Tunnel Shovels.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$87.94  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$140.70

Operating Engineer - Road & Heavy Construction VI

Mixers (Concrete with loading attachment), Concrete Pavers, Cableways, Land Derricks, Power Houses (Low Air Pressure Units).

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$83.59  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Shift Wage Rate: \$133.74

Operating Engineer - Road & Heavy Construction VII

Barrier Movers, Barrier Transport and Machines of a Similar Nature.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$67.71  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$108.34

Operating Engineer - Road & Heavy Construction VIII

Utility Compressors

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$52.77  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$66.26

Operating Engineer - Road & Heavy Construction IX

Horizontal Boring Rig

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$79.56  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$127.30

Operating Engineer - Road & Heavy Construction X

Elevators (manually operated as personnel hoist).

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$73.21  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$117.14

Operating Engineer - Road & Heavy Construction XI

Compressors (Portable 3 or more in battery), Driving of Truck Mounted Compressors, Well-point Pumps, Tugger Machines Well Point Pumps, Churn Drill.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$57.06  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$91.30

Operating Engineer - Road & Heavy Construction XII

All Drills and Machines of a similar nature.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$84.48  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$135.17

Operating Engineer - Road & Heavy Construction XIII

Concrete Pumps, Concrete Plant, Stone Crushers, Double Drum Hoist, Power Houses (other than above).

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$81.85  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$130.96

Operating Engineer - Road & Heavy Construction XIV

Concrete Mixer

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$78.28  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$125.25

Operating Engineer - Road & Heavy Construction XV

Compressors (Portable Single or two in Battery, not over 100 feet apart), Pumps (River Cofferdam) and Welding Machines, Push Button Machines, All Engines Irrespective of Power (Power-Pac) used to drive auxiliary equipment, Air, Hydraulic, etc.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$53.11  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$84.98

Operating Engineer - Road & Heavy Construction XVI

Concrete Breaking Machines, Hoists (Single Drum), Load Masters, Locomotives (over ten tons) and Dinkies over ten tons, Hydraulic Crane-Second Engineer.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$74.81  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$119.70

Operating Engineer - Road & Heavy Construction XVII

On-Site concrete plant engineer, On-site Asphalt Plant Engineer, and Vibratory console.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$75.36  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$120.58

Operating Engineer - Road & Heavy Construction XVIII

Tower Crane

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$107.75  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$172.40

Operating Engineer - Paving I

Asphalt Spreaders, Autogrades (C.M.I.), Roto/Mil

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$83.59  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$133.74

Operating Engineer - Paving II

Asphalt Roller

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$81.47  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$130.35

Operating Engineer - Paving III

Asphalt Plants

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$69.04  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$110.46

Operating Engineer - Concrete I

Cranes

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$89.31  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Concrete II

Compressors

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$53.51  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Concrete III

Micro-traps (Negative Air Machines), Vac-All Remediation System.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$71.55  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Steel Erection I

Three Drum Derricks

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$92.36  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$147.78

Operating Engineer - Steel Erection II

Cranes, 2 Drum Derricks, Hydraulic Cranes, Fork Lifts and Boom Trucks.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$88.77  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$142.03

Operating Engineer - Steel Erection III

Compressors, Welding Machines.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$53.07  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$84.91

Operating Engineer - Steel Erection IV

Compressors - Not Combined with Welding Machine. (Public Works Only)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$50.56  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
Shift Wage Rate: \$80.90

Operating Engineer - Building Work I

Forklifts, Plaster (Platform machine), Plaster Bucket, Concrete Pump and all other equipment used for hoisting material.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$70.94  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Building Work II

Compressors, Welding Machines (Cutting Concrete-Tank Work), Paint Spraying, Sandblasting, Pumps (with the exclusion of Concrete Pumps), All Engines irrespective of Power (Power-Pac) used to drive Auxiliary Equipment, Air, Hydraulic, Jacking System, etc.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$53.12  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Building Work III

Double Drum

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$84.16  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Building Work IV

Stone Derrick, Cranes, Hydraulic Cranes Boom Trucks.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$89.10  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Building Work V

Dismantling and Erection of Cranes, Relief Engineer.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$78.81  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Building Work VI

4 Pole Hoist, Single Drum Hoists.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$77.98  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours

Operating Engineer - Building Work VII

Rack & Pinion and House Cars

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$62.01  
Supplemental Benefit Rate per Hour: \$34.55  
Supplemental Note: \$63.15 overtime hours  
For New House Car projects Wage Rate per Hour \$49.50  
For New House Car projects: Supplemental Benefit overtime hours: \$48.85

**Overtime Description**

On jobs of more than one shift, if an Employee fails to report for work through any cause over which the Employer has no control, the Employee on duty will continue to work at the rate of single time.

For House Cars and Rack & Pinion only: Overtime paid at time and one-half for all hours in excess of eight hours in a day, Saturday, Sunday and Holidays worked.

**Overtime**

Double time the regular rate after an 8 hour day.  
Double time the regular time rate for Saturday.  
Double time the regular rate for Sunday.  
Double time the regular rate for work on the following holiday(s).

**Paid Holidays**

New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day  
Employees must work at least one day in the payroll week in which the holiday occurs to receive the paid holiday

**Shift Rates**

When two (2) or more shifts are employed, single time will be paid for each shift.  
For Steel Erection Only: Shifts may be worked at the single time rate at other than the regular working hours (8:00 A.M. to 4:30 P.M.) on the following work ONLY: Heavy construction jobs on work below the street level, over railroad tracks and on building jobs.

(Operating Engineer Local #14)

**FLOOR COVERER**

(Interior vinyl composition tile, sheath vinyl linoleum and wood parquet tile including site preparation and synthetic turf not including site preparation)

**Floor Coverer**

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$54.75  
Supplemental Benefit Rate per Hour: \$47.13

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**

Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Presidential Election Day  
Thanksgiving Day  
Day after Thanksgiving  
Day before Christmas  
Christmas Day  
Day before New Year's Day

**Shift Rates**

Two shifts may be utilized with the first shift working 8 a.m. to the end of the shift at straight time rate of pay. The wage rate for the second shift consisting of 7 hours shall be paid at 114.29% of straight time wage rate. The wage rate for the second shift consisting of 8 hours shall be paid 112.5% of the straight time wage rate. When it is not possible to conduct alteration or repair work during regular working hours in a building occupied by tenants, the rule for the second shift will apply.

(Carpenters District Council)

**GLAZIER**

(New Construction, Remodeling, and Alteration)

**Glazier**

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$46.55  
Supplemental Benefit Rate per Hour: \$47.74  
Supplemental Note: Supplemental Benefit Overtime Rate: \$71.62

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

**Overtime Holidays**

Time and one half the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

**Paid Holidays**

None

**Shift Rates**

Shifts shall be any 8 consecutive hours after the normal working day for which the Glazier shall receive 9 hours pay for 8 hours worked.

(Local #1281)

**GLAZIER - REPAIR & MAINTENANCE**

(For the Installation of Glass - All repair and maintenance work on a particular building.)

**Craft Jurisdiction for repair, maintenance and fabrication**

Plate glass replacement, Residential glass replacement, Residential mirrors and shower doors, Storm windows and storm doors, Residential replacement windows, Herculite door repairs, Door closer repairs, Retrofit apartment house (non-commercial buildings), Glass tinting.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$26.40  
Supplemental Benefit Rate per Hour: \$24.09

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Sunday.  
Time and one half the regular rate for work on the following holiday(s).  
Time and one half the regular hourly rate after 40 straight time hours in any work week.

**Paid Holidays**

New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day  
Employees must work at least one day in the payroll week in which the holiday occurs to receive the paid holiday

(Local #1281)

**HAZARDOUS MATERIAL HANDLER**

(Removal, abatement, encapsulation or decontamination of asbestos, lead, mold, or other toxic or hazardous waste/materials)

**Handler**

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$38.05  
Supplemental Benefit Rate per Hour: \$17.75

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Sunday.  
Time and one half the regular hourly rate after 40 straight time hours in any work week.

**Overtime Holidays**

Time and one half the regular rate for work on the following holiday(s).  
New Year's Day  
Good Friday  
Memorial Day  
Independence Day



Labor Day  
Thanksgiving Day  
Christmas Day  
Easter

Paid Holidays  
None

(Local #78 and Local #12A)

**HEAT AND FROST INSULATOR**

Heat & Frost Insulator

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$62.21  
Supplemental Benefit Rate per Hour: \$41.91

**Overtime Description**  
Double time shall be paid for supplemental benefits during overtime work.  
8th hour paid at time and one half.

**Overtime**  
Time and one half the regular rate after a 7 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

Triple time the regular rate for work on the following holiday(s).  
Labor Day

Paid Holidays  
None

**Shift Rates**  
The first shift shall work seven hours at the regular straight time rate. The second and third shift shall work seven hours the regular straight time hourly rate plus a fourteen percent wage and benefit premium. There must be a first shift to work the second shift, and a second shift to work the third shift. Off hour jobs in occupied buildings may be worked on weekdays with an increment of one-dollar (\$1.00) per hour and eight (8) hours pay for seven (7) hours worked.

(Local #12) (BCA)

**HOUSE WRECKER  
(TOTAL DEMOLITION)**

House Wrecker - Tier A

On all work sites the first, second, eleventh and every third House Wrecker thereafter will be Tier A House Wreckers (i.e. 1st, 2nd, 11th, 14th etc). Other House Wreckers may be Tier B House Wreckers.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$37.63  
Supplemental Benefit Rate per Hour: \$30.37

House Wrecker - Tier B

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$26.86  
Supplemental Benefit Rate per Hour: \$22.78

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

Paid Holidays  
None

(Mason Tenders District Council)

**IRON WORKER - ORNAMENTAL**

Iron Worker - Ornamental

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$46.15  
Supplemental Benefit Rate per Hour: \$59.62  
Supplemental Note: Supplemental benefits are to be paid at the applicable overtime rate when overtime is in effect.

**Overtime Description**  
Time and one half the regular rate after a 7 hour day for a maximum of two hours on any regular work day (the 8th and 9th hour) and double time shall be paid for all work on a regular work day thereafter, time and one half the regular rate for Saturday for the first seven hours of work and double time shall be paid for all work on a Saturday thereafter.

**Overtime**  
Double time the regular rate for Sunday.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

Paid Holidays  
None

**Shift Rates**  
When two or three shifts are employed on a job, Monday through Friday, the second and third shift are paid eight and one half (8 1/2) hours at the straight time rate for seven (7) hours of work, and ten (10) hours at the straight time rate for eight (8) hours of work. When it is not possible to conduct alteration or repair work during regular working hours in a building occupied by tenants, eight hours will be paid at straight time rate for seven hours of work, and all overtime shall be paid at time and one-half the regular straight time rates but on Sundays and Holidays, time and one-half the regular straight time rate shall be paid for all work up to seven (7) hours and double time shall be paid for all work thereafter.

(Local #580)

**IRON WORKER - STRUCTURAL**

Iron Worker - Structural

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$54.20  
Supplemental Benefit Rate per Hour: \$82.81  
Supplemental Note: Supplemental benefits are to be paid at the applicable overtime rate when overtime is in effect.

**Overtime Description**  
Monday through Friday- the first eight hours are paid at straight time, the 9th and 10th hours are paid at time and one-half the regular rate, all additional weekday overtime is paid at double the regular rate. Saturdays- the first eight hours are paid at time and one-half the regular rate, double time thereafter. Sunday-all shifts are paid at double time. Four Days a week at Ten (10) hours straight time is allowed.

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

Paid Holidays  
1/2 day on Christmas Eve if work is performed in the A.M.  
1/2 day on New Year's Eve if work is performed in the A.M.

**Shift Rates**

Monday through Friday - First Shift: First eight hours are paid at straight time, the 9th & 10th hours are paid at time and a half, double time paid thereafter. Second and third Shifts: First eight hours are paid at time and one-half, double time thereafter. Saturdays: All shifts, first eight hours paid at time and one-half, double time thereafter: Sunday all shifts are paid at double time.

Four (4), ten (10) hour days may be worked at straight time during a week, Monday thru Thursday.

(Local #40 & #361)

**LABORER**

(Foundation, Concrete, Excavating, Street Pipe Layer and Common)

Laborer

Excavation and foundation work for buildings, heavy construction, engineering work, and hazardous waste removal in connection with the above work. Landscaping tasks in connection with heavy construction work, engineering work and building projects. Projects include, but are not limited to pollution plants, sewers, parks, subways, bridges, highways, etc.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$43.50  
Supplemental Benefit Rate per Hour: \$48.63

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Thanksgiving Day  
Christmas Day

**Paid Holidays**  
Labor Day  
Thanksgiving Day

**Shift Rates**  
When two shifts are employed, single time rate shall be paid for each shift. When three shifts are found necessary, each shift shall work seven and one half hours (7 1/2), but shall be paid for eight (8) hours of labor, and be permitted one half hour for lunch.

(Local #731)

**LANDSCAPING**

(Landscaping tasks, such as tree pruning, tree removing and spraying in connection with Green Infrastructure maintenance and the planting of street trees and trees in City parks, but not when such activities are performed as part of construction or reconstruction projects.)

Landscaper (Year 6 and above)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$33.90  
Supplemental Benefit Rate per Hour: \$17.05

Landscaper (Year 3 - 5)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$32.81  
Supplemental Benefit Rate per Hour: \$17.05

Landscaper (up to 3 years)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$30.06  
Supplemental Benefit Rate per Hour: \$17.05

Groundperson

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$30.06  
Supplemental Benefit Rate per Hour: \$17.05

Tree Remover / Pruner

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$39.42  
Supplemental Benefit Rate per Hour: \$17.05

Landscaper Sprayer (Pesticide Applicator)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$28.41  
Supplemental Benefit Rate per Hour: \$17.05

Watering - Plant Maintainer

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$22.88  
Supplemental Benefit Rate per Hour: \$17.05

**Overtime Description**

For all overtime work performed, supplemental benefits shall include an additional seventy-five (\$0.75) cents per hour.

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Time and one half the regular rate for work on a holiday plus the day's pay.

**Paid Holidays**

New Year's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

**Shift Rates**

Work performed on a 4pm to 12am shift has a 15% differential.  
Work performed on a 12am to 8am shift has a 20% differential.

(Local #175)

**MARBLE MECHANIC**

Marble Setter

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$56.73  
Supplemental Benefit Rate per Hour: \$41.76

Marble Finisher

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$44.32  
Supplemental Benefit Rate per Hour: \$38.96

Marble Polisher

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$42.91  
Supplemental Benefit Rate per Hour: \$31.61

Marble Maintenance Finisher

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$26.73  
Supplemental Benefit Rate per Hour: \$13.59

**Overtime Description**

Supplemental Benefit contributions are to be made at the applicable overtime rates.

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

**Overtime Holidays**

Double time the regular rate for work on the following holiday(s).

New Year's Day  
President's Day  
Good Friday  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

**Paid Holidays**

None

(Local #7)

**MASON TENDER**

Mason Tender

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$39.20

Supplemental Benefit Rate per Hour: \$31.24

Overtime

Time and one half the regular rate after an 8 hour day.
Time and one half the regular rate for Saturday.
Double time the regular rate for Sunday.
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

Overtime Holidays

Double time the regular rate for work on the following holiday(s).
New Year's Day
President's Day
Memorial Day
Independence Day
Labor Day
Thanksgiving Day
Christmas Day

Paid Holidays
None

Shift Rates

The employer may work two (2) shifts with the first shift at the straight time wage rate and the second shift receiving eight (8) hours paid for seven (7) hours work at the straight time wage rate. When it is not possible to conduct alteration work during regular working hours in a building occupied by tenants, the rule for the second shift will apply.
(Local #79)

MASON TENDER (INTERIOR DEMOLITION WORKER)

Mason Tender Tier A

Tier A Interior Demolition Worker performs all burning, chopping, and other technically skilled tasks related to interior demolition work.

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$37.29
Supplemental Benefit Rate per Hour: \$25.75

Mason Tender Tier B

Tier B Interior Demolition Worker performs manual work and work incidental to demolition work, such as loading and carting of debris from the work site to an area where it can be loaded in to bins/trucks for removal. Also performs clean-up of the site when demolition is completed.

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$26.48
Supplemental Benefit Rate per Hour: \$20.07

Overtime

Time and one half the regular rate after an 8 hour day.
Time and one half the regular rate for Sunday.

Overtime Holidays

Double time the regular rate for work on the following holiday(s).
New Year's Day
President's Day
Memorial Day
Independence Day
Labor Day
Thanksgiving Day
Christmas Day

Paid Holidays
None

(Local #79)

METALLIC LATHER

Metallic Lather

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$46.40
Supplemental Benefit Rate per Hour: \$49.80
Supplemental Note: For time and one half overtime - \$61.55 For double overtime - \$77.10

Overtime

Time and one half the regular rate after an 8 hour day.
Time and one half the regular rate for Saturday.
Double time the regular rate for Sunday.

Overtime Holidays

Double time the regular rate for work on the following holiday(s).
New Year's Day

President's Day
Memorial Day
Independence Day
Labor Day
Columbus Day
Thanksgiving Day
Christmas Day

Paid Holidays

1/2 day on Christmas Eve if work is performed in the A.M.
1/2 day on New Year's Eve if work is performed in the A.M.

Shift Rates

Off-shift work outside of normal working hours shall receive straight time rate plus \$12 per hour for the first eight (8) hours.
(Local #46)

MILLWRIGHT

Millwright

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$57.00
Supplemental Benefit Rate per Hour: \$54.76

Overtime

Time and one half the regular rate after an 8 hour day.
Time and one half the regular rate for Saturday.
Double time the regular rate for Sunday.
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

Overtime Holidays

Double time the regular rate for work on the following holiday(s).
New Year's Day
President's Day
Good Friday
Memorial Day
Independence Day
Labor Day
Columbus Day
Presidential Election Day
Veteran's Day
Thanksgiving Day
Christmas Day

Paid Holidays

1/2 day on Christmas Eve if work is performed in the A.M.
1/2 day on New Year's Eve if work is performed in the A.M.

Shift Rates

Second and third shifts receives the straight time rate of pay plus fifteen (15%) percent allowing for one half hour for a meal. There must be a first shift to work a second and third shift. All additional hours worked shall be paid at the time and one-half rate of pay plus fifteen (15%) percent for weekday hours.

(Local #740)

MOSAIC MECHANIC

Mosaic Mechanic - Mosaic & Terrazzo Mechanic

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$51.66
Supplemental Benefit Rate per Hour: \$43.67

Mosaic Mechanic - Mosaic & Terrazzo Finisher

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$50.06
Supplemental Benefit Rate per Hour: \$43.67

Mosaic Mechanic - Machine Operator Grinder

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$50.06
Supplemental Benefit Rate per Hour: \$43.67

Overtime

Time and one half the regular rate after a 7 hour day.
Time and one half the regular rate for Saturday.
Double time the regular rate for Sunday.

Overtime Holidays

Double time the regular rate for work on the following holiday(s).
New Year's Day
Washington's Birthday
Good Friday
Independence Day
Labor Day
Columbus Day
Veteran's Day

Thanksgiving Day  
Day after Thanksgiving  
Christmas Day  
Paid Holidays  
None  
(Local #7)

**PAINTER**

Painter - Brush & Roller

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$43.00  
Supplemental Benefit Rate per Hour: \$36.70  
Supplemental Note: \$43.79 on overtime

Spray & Scaffold / Decorative / Sandblast

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$46.00  
Supplemental Benefit Rate per Hour: \$36.70  
Supplemental Note: \$43.79 on overtime

Overtime  
Time and one half the regular rate after a 7 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

Overtime Holidays  
Time and one half the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Thanksgiving Day  
Christmas Day

Paid Holidays  
None  
(District Council of Painters #9)

**PAINTER - LINE STRIPING (ROADWAY)**

Striping - Machine Operator

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$37.00  
Supplemental Benefit Rate per Hour: \$14.37  
Supplemental Note: Overtime Supplemental Benefit rate - \$16.25

Lineperson (Thermoplastic)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$41.00  
Supplemental Benefit Rate per Hour: \$14.37  
Supplemental Note: Overtime Supplemental Benefit rate - \$16.25

Striping Assistant & Traffic Safety

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$36.75  
Supplemental Benefit Rate per Hour: \$14.37  
Supplemental Note: Overtime Supplemental Benefit rate - \$16.25

Overtime Description  
Time and one half the regular rate for all work in excess of ten (10) straight time hours per day and in excess of forty (40) straight time hours per week.

For Paid Holidays: Employees will only receive Holiday Pay for holidays not worked if said employee worked both the regularly scheduled workday before and after the holiday.

Overtime  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.  
Time and one half the regular rate for work on the following holiday(s).

Paid Holidays  
New Year's Day  
Good Friday  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Presidential Election Day  
Thanksgiving Day  
Christmas Day

Vacation  
Employees with one to two years service shall accrue vacation based on hours worked: 250 hours worked - 1 day vacation; 500 hours worked - 2 days vacation; 750 hours worked - 3 days vacation; 900 hours worked - 4 days vacation; 1,000 hours worked - 5 days vacation. Employees with two to five years service receive two weeks vacation. Employees with five to twenty years service receive three weeks vacation. Employees with twenty to twenty-five years service receive four weeks vacation. Employees with 25 or more years service receive five weeks vacation.  
(Local #1010)

**PAINTER - METAL POLISHER**

METAL POLISHER

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$31.88  
Supplemental Benefit Rate per Hour: \$10.29

METAL POLISHER - NEW CONSTRUCTION

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$32.83  
Supplemental Benefit Rate per Hour: \$10.29

METAL POLISHER - SCAFFOLD OVER 34 FEET

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$35.38  
Supplemental Benefit Rate per Hour: \$10.29

ASSISTANT METAL POLISHER

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$24.66  
Supplemental Benefit Rate per Hour: \$9.81

ASSISTANT METAL POLISHER - NEW CONSTRUCTION

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$25.41  
Supplemental Benefit Rate per Hour: \$9.81

ASSISTANT METAL POLISHER - SCAFFOLD OVER 34 FEET

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$27.16  
Supplemental Benefit Rate per Hour: \$9.81

Overtime Description  
All work performed on Saturdays shall be paid at time-in-a-half. The exception being; for suspended scaffold work and work deemed as a construction project; an eight (8) hour shift lost during the week due to circumstances beyond the control of the employer, up to a maximum of eight (8) hours per week, may be worked on Saturday at the straight time rate.

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.  
Triple time the regular rate for work on the following holiday(s).

Paid Holidays  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Election Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

Shift Rates  
Four Days a week at Ten (10) hours straight a day.  
Local 8A-28A

**PAINTER - SIGN**

Sign Painter

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$44.32  
Supplemental Benefit Rate per Hour: \$21.70

Assistant Sign Painter

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$37.66  
Supplemental Benefit Rate per Hour: \$19.93

**Overtime Description**  
If any employee is required to work on any of the paid holidays then the employee shall receive double time rate of wages as well as the holiday pay for that day.

**Overtime**  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

**Paid Holidays**  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Election Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

**Vacation**  
At least 1 year of employment.....1 week  
2 years or more of employment.....2 weeks  
8 years or more of employment.....3 weeks

(Local #8A-28A)

**PAINTER - STRUCTURAL STEEL**

Painters on Structural Steel

Effective Period: 7/1/2021 - 9/30/2021  
Wage Rate per Hour: \$51.50  
Supplemental Benefit Rate per Hour: \$48.28

Effective Period: 10/1/2021 - 6/30/2022  
Wage Rate per Hour: \$53.00  
Supplemental Benefit Rate per Hour: \$49.83

Painter - Power Tool

Effective Period: 7/1/2021 - 9/30/2021  
Wage Rate per Hour: \$57.50  
Supplemental Benefit Rate per Hour: \$48.28  
Overtime Wage Rate: \$6.00 above the "Painters on Structural Steel" overtime rate.

Effective Period: 10/1/2021 - 6/30/2022  
Wage Rate per Hour: \$59.50  
Supplemental Benefit Rate per Hour: \$49.83  
Overtime Wage Rate: \$6.50 above the "Painters on Structural Steel" overtime rate.

**Overtime Description**  
Supplemental Benefits shall be paid for each hour worked, up to forty (40) hours per week for the period of May 1st to November 15th or up to fifty (50) hours per week for the period of November 16th to April 30th.

**Overtime**  
Time and one half the regular rate after a 7 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

**Overtime Holidays**  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

**Paid Holidays**  
None

**Shift Rates**  
Second shift is paid at regular hourly wage rates plus a ten percent (10%) differential. There must be a first shift in order to work a second shift.

(Local #806)

**PAPERHANGER**

Paperhanger

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$46.87  
Supplemental Benefit Rate per Hour: \$37.49

**Supplemental Note:** Supplemental benefits are to be paid at the appropriate straight time and overtime rate.

**Overtime**  
Time and one half the regular rate after a 7 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

**Overtime Holidays**  
Time and one half the regular rate for work on the following holiday(s).

New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

**Paid Holidays**  
None

**Shift Rates**  
Evening shift - 4:30 P.M. to 12:00 Midnight (regular rate of pay); any work performed before 7:00 A.M. shall be at time and one half the regular base rate of pay.

(District Council of Painters #9)

**PAVER AND ROADBUILDER**

Paver & Roadbuilder - Formsetter

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$47.85  
Supplemental Benefit Rate per Hour: \$48.51  
Supplemental Note: For time and one half overtime - \$52.64 For double overtime - \$56.76

Paver & Roadbuilder - Laborer

Paving and road construction work, regardless of material used, including but not limited to preparation of job sites, removal of old surfaces, asphalt and/or concrete, by whatever method, including but not limited to milling; laying of concrete; laying of asphalt for temporary, patchwork, and utility paving (but not production paving); site preparation and incidental work for installation of rubberized materials and similar surfaces; installation and repair of temporary construction fencing; slurry/seal coating, paving stones, maintenance of safety surfaces; play equipment installation, and other related work.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$43.98  
Supplemental Benefit Rate per Hour: \$48.51  
Supplemental Note: For time and one half overtime - \$52.64 For double overtime - \$56.76

Production Paver & Roadbuilder - Screed Person

(Production paving is asphalt paving when using a paving machine or on a project where a paving machine is traditionally used)

Adjustment of paving machinery on production paving jobs.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$48.45  
Supplemental Benefit Rate per Hour: \$48.51  
Supplemental Note: For time and one half overtime - \$52.64 For double overtime - \$56.76

Production Paver & Roadbuilder - Raker

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$47.85  
Supplemental Benefit Rate per Hour: \$48.51  
Supplemental Note: For time and one half overtime - \$52.64 For double overtime - \$56.76

Production Paver & Roadbuilder - Shoveler

General laborer (except removal of surfaces - see Paver and Roadbuilder-Laborer) including but not limited to tamper, AC paint and liquid tar work.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$43.98  
Supplemental Benefit Rate per Hour: \$48.51  
Supplemental Note: For time and one half overtime - \$52.64 For double overtime - \$56.76

**Overtime Description**  
If an employee works New Year's Day or Christmas Day, they receive the single time rate plus 25%.

For Paid Holidays: Holiday pay for all holidays shall be prorated based two hours per day for each day worked in the holiday week, not to exceed 8 hours of holiday pay.

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

**Overtime Holidays**

Double time the regular rate for work on the following holiday(s).  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Thanksgiving Day

**Paid Holidays**

Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day

**Shift Rates**

When two shifts are employed, the work period for each shift shall be a continuous eight (8) hours. When three shifts are employed, each shift will work seven and one half (7 1/2) hours but will be paid for eight (8) hours at the straight time rate since only one half (1/2) hour is allowed for meal time.

When two or more shifts are employed, single time will be paid for each shift.

Night Work - On night work, the first eight (8) hours of work will be paid for at the single time rate, except that production paving work shall be paid at 10% over the single time rate for the screed person, rakers and shovelers directly involved only. This differential is to be paid when there is only one shift and the shift works at night. All other workers will be exempt. Hours worked over eight (8) hours during said shift shall be paid for at the time and one-half rate.

(Local #1010)

**PLASTERER**

Plasterer

Effective Period: 7/1/2021 - 7/31/2021  
Wage Rate per Hour: \$45.73  
Supplemental Benefit Rate per Hour: \$30.37

Effective Period: 8/1/2021 - 6/30/2022  
Wage Rate per Hour: \$46.00  
Supplemental Benefit Rate per Hour: \$28.20

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**

Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

**Paid Holidays**

None

**Shift Rates**

When it is not possible to conduct work during regular working hours (between 6:30am and 4:30pm), a shift differential shall be paid at the regular hourly rate plus a twelve percent (12%) per hour differential. Workers on shift work shall be allowed a paid one-half hour meal break.

(Local #262)

**PLASTERER - TENDER**

Plasterer - Tender

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$39.20  
Supplemental Benefit Rate per Hour: \$31.24

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**

Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Washington's Birthday  
Memorial Day  
Independence Day  
Labor Day  
Presidential Election Day  
Thanksgiving Day  
Christmas Day

**Paid Holidays**

None

**Shift Rates**

When work commences outside regular work hours, workers receive an hour additional (differential) wage and supplement payment. Eight hours pay for seven hours work or nine hours pay for eight hours work.

(Mason Tenders District Council)

**PLUMBER**

Plumber

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$71.25  
Supplemental Benefit Rate per Hour: \$39.95  
Supplemental Note: Supplemental benefit contributions are to be made at the applicable overtime rates.

**Plumber - Temporary Services**

Temporary Services - When there are no Plumbers on the job site, there may be three shifts designed to cover the entire twenty-four hour period, including weekends if necessary, at the following rate straight time.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$57.08  
Supplemental Benefit Rate per Hour: \$31.88

**Overtime**

Double time the regular rate after an 8 hour day.  
Double time the regular time rate for Saturday.  
Double time the regular rate for Sunday.

**Overtime Holidays**

Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

**Shift Rates**

30% shift premium shall be paid for wages and fringe benefits for 4:00 pm and midnight shifts Monday to Friday. 50% shift premium shall be paid for wages and fringe benefits for 4:00 pm and midnight shift work performed on weekends. For shift work on holidays, double time wages and fringe benefits shall be paid.

(Plumbers Local #1)

**PLUMBER (MECHANICAL EQUIPMENT AND SERVICE)**  
(Mechanical Equipment and Service work shall include any repair and/or replacement of the present plumbing system.)

Plumber

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$44.37  
Supplemental Benefit Rate per Hour: \$18.31

**Overtime**

Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

**Overtime Holidays**

Time and one half the regular rate for work on the following holiday(s).  
 New Year's Day  
 President's Day  
 Memorial Day  
 Independence Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day  
 Paid Holidays  
 None  
 (Plumbers Local # 1)

**PLUMBER (RESIDENTIAL RATES FOR 1, 2 AND 3 FAMILY HOME CONSTRUCTION)**

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$49.47  
 Supplemental Benefit Rate per Hour: \$28.68

**Overtime**  
 Double time the regular rate after an 8 hour day.  
 Double time the regular time rate for Saturday.  
 Double time the regular rate for Sunday.

**Overtime Holidays**  
 Double time the regular rate for work on the following holiday(s).  
 New Year's Day  
 President's Day  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day

**Paid Holidays**  
 None

**Shift Rates**  
 30% shift premium shall be paid for wages and fringe benefits for 4:00 pm and midnight shifts Monday to Friday. 50% shift premium shall be paid for wages and fringe benefits for 4:00 pm and midnight shift work performed on weekends. For shift work on holidays, double time wages and fringe benefits shall be paid.

(Plumbers Local #1)

**PLUMBER: PUMP & TANK  
 Oil Trades (Installation and Maintenance)**

Plumber - Pump & Tank  
 Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$69.33  
 Supplemental Benefit Rate per Hour: \$27.98

**Overtime**  
 Time and one half the regular rate after an 8 hour day.  
 Time and one half the regular rate for Saturday.  
 Time and one half the regular rate for Sunday.

**Overtime Holidays**  
 Time and one half the regular rate for work on the following holiday(s).  
 New Year's Day  
 President's Day  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day

**Paid Holidays**  
 None

**Shift Rates**  
 All work outside the regular workday (8:00 A.M. to 3:30 P.M.) is to be paid at time and one half the regular hourly rate

(Plumbers Local #1)

**POINTER, WATERPROOFER, CAULKER, SANDBLASTER, STEAMBLASTER  
 (Exterior Building Renovation)**

Journey person

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$56.77  
 Supplemental Benefit Rate per Hour: \$29.91

**Overtime**  
 Time and one half the regular rate after an 8 hour day.  
 Time and one half the regular rate for Saturday.  
 Time and one half the regular rate for Sunday.  
 Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**  
 Time and one half the regular rate for work on the following holiday(s).  
 New Year's Day  
 Martin Luther King Jr. Day  
 President's Day  
 Memorial Day  
 Independence Day  
 Labor Day  
 Thanksgiving Day  
 Christmas Day

**Paid Holidays**  
 None

**Shift Rates**  
 All work outside the regular work day (an eight hour workday between the hours of 6:00 A.M. and 4:00 P.M.) is to be paid at time and one half the regular rate. However, the employer may establish one (1) or two (2) shifts starting at or after 4:00 P.M. to be paid at the regular hourly rate plus a 10% differential.

(Bricklayer District Council)

**ROOFER**

Roofer

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$44.25  
 Supplemental Benefit Rate per Hour: \$34.81

**Overtime**  
 Time and one half the regular rate after an 8 hour day.  
 Time and one half the regular rate for Saturday.  
 Time and one half the regular rate for Sunday.

**Overtime Holidays**  
 Time and one half the regular rate for work on the following holiday(s).  
 New Year's Day  
 Memorial Day  
 Independence Day  
 Labor Day  
 Thanksgiving Day  
 Christmas Day

**Paid Holidays**  
 None

**Shift Rates**  
 Second shift - Regular hourly rate plus a 10% differential. Third shift - Regular hourly rate plus a 15% differential. There must be a first shift to work the second shift, and a second shift to work the third shift. All other work outside the regular work day (an eight hour workday between the hours of 5:00 A.M. and 4:00 P.M.) is to be paid at time and one half the regular rate.

(Local #8)

**SHEET METAL WORKER**

Sheet Metal Worker

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$51.36  
 Supplemental Benefit Rate per Hour: \$53.34  
 Supplemental Note: Supplemental benefit contributions are to be made at the applicable overtime rates.

Sheet Metal Worker - Fan Maintenance

(The temporary operation of fans or blowers in new or existing buildings for heating and/or ventilation, and/or air conditioning prior to the completion of the project.)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$41.09  
 Supplemental Benefit Rate per Hour: \$53.34

Sheet Metal Worker - Duct Cleaner

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$18.49  
 Supplemental Benefit Rate per Hour: \$11.94

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

Overtime Holidays  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

Paid Holidays  
None

Shift Rates  
Work that can only be performed outside regular working hours (eight hours of work between 7:30 A.M. and 3:30 P.M.) - First shift (work between 3:30 P.M. and 11:30 P.M.) - 10% differential above the established hourly rate. Second shift (work between 11:30 P.M. and 7:30 A.M.) - 15% differential above the established hourly rate.

For Fan Maintenance: On all full shifts of fan maintenance work the straight time hourly rate of pay will be paid for each shift, including nights, Saturdays, Sundays, and holidays.

(Local #28)

**SHEET METAL WORKER - SPECIALTY  
(Decking & Siding)**

Sheet Metal Specialty Worker

The first worker to perform this work must be paid at the rate of the Sheet Metal Worker. The second and third workers shall be paid the Specialty Worker Rate. The ratio of One Sheet Metal Worker, then Two Specialty Workers shall be utilized thereafter.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$48.18  
Supplemental Benefit Rate per Hour: \$26.87  
Supplemental Note: Supplemental benefit contributions are to be made at the applicable overtime rates.

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

Overtime Holidays  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Christmas Day

Paid Holidays  
None

(Local #28)

**SHIPYARD WORKER**

Shipyard Mechanic - First Class

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$28.50  
Supplemental Benefit Rate per Hour: \$3.95

Shipyard Mechanic - Second Class

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$19.07  
Supplemental Benefit Rate per Hour: \$3.59

Shipyard Laborer - First Class

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$23.40  
Supplemental Benefit Rate per Hour: \$3.75

Shipyard Laborer - Second Class

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$17.38  
Supplemental Benefit Rate per Hour: \$3.52

Shipyard Dockhand - First Class

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$21.57  
Supplemental Benefit Rate per Hour: \$3.68

Shipyard Dockhand - Second Class

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$17.28  
Supplemental Benefit Rate per Hour: \$3.52

Overtime Description  
Work performed on holiday is paid double time the regular hourly wage rate plus holiday pay.

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.  
Time and one half the regular hourly rate after 40 straight time hours in any work week.

Paid Holidays  
New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Good Friday  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

Based on Survey Data

**SIGN ERECTOR  
(Sheet Metal, Plastic, Electric, and Neon)**

Sign Erector

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$52.29  
Supplemental Benefit Rate per Hour: \$57.49

Overtime  
Time and one half the regular rate after a 7 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.  
Time and one half the regular rate for work on the following holiday(s).

Paid Holidays  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Election Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

Shift Rates  
Time and one half the regular hourly rate is to be paid for all hours worked outside the regular workday either (7:00 A.M. through 2:30 P.M.) or (8:00 A.M. through 3:30 P.M.)

(Local #137)

**STEAMFITTER**

Steamfitter

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$59.05  
Supplemental Benefit Rate per Hour: \$58.14  
Supplemental Note: Overtime supplemental benefit rate: \$115.54

Steamfitter -Temporary Services

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$44.88  
Supplemental Benefit Rate per Hour: \$47.31

Overtime Description  
Double time after a 7 hour day except for Temporary Services.



Overtime  
Double time the regular time rate for Saturday.  
Double time the regular rate for Sunday.

Overtime Holidays  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Day after Thanksgiving  
Christmas Day

Paid Holidays  
None

Shift Rates  
May be performed outside of the regular workday except Saturday, Sunday and Holidays. When shift work is performed the wage rate for regular time worked is a 15% percent premium on wage and 15% percent premium on supplemental benefits.

Local 638

**STEAMFITTER - REFRIGERATION AND AIR CONDITIONER**  
(Maintenance and Installation Service Person)

Refrigeration and Air Conditioner Mechanic

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$42.85  
Supplemental Benefit Rate per Hour: \$19.46

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

Overtime Holidays  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Independence Day  
Labor Day  
Veteran's Day  
Thanksgiving Day  
Christmas Day

Double time and one half the regular rate for work on the following holiday(s).  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Columbus Day

Paid Holidays  
New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Veteran's Day  
Thanksgiving Day  
Christmas Day

(Local #638-B)

**STONE MASON - SETTER**

Stone Mason - Setter

(Assisted by Derrickperson and Rigger)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$56.43  
Supplemental Benefit Rate per Hour: \$48.52

Overtime  
Time and one half the regular rate after a 7 hour day.  
Time and one half the regular rate for Saturday.  
Double time the regular rate for Sunday.

Overtime Holidays  
Double time the regular rate for work on the following holiday(s).  
New Year's Day  
Washington's Birthday

Good Friday  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

Paid Holidays  
1/2 day on Christmas Eve if work is performed in the A.M.

Shift Rates  
For all work outside the regular workday (8:00 A.M. to 3:30 P.M. Monday through Friday), the pay shall be straight time plus a ten percent (10%) differential.

(Bricklayers District Council)

**TAPER**

Drywall Taper

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$48.47  
Supplemental Benefit Rate per Hour: \$29.06

Overtime  
Time and one half the regular rate after a 7 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

Overtime Holidays  
Time and one half the regular rate for work on the following holiday(s).

New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Good Friday  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Thanksgiving Day  
Christmas Day

Paid Holidays  
Any worker who reports to work on Christmas Eve or New Year's Eve pursuant to his employer's instruction shall be entitled to three (3) hours afternoon pay without working.

(Local #1974)

**TELECOMMUNICATION WORKER**

(Install/maintain/repair telecommunications cables carrying data, video, and/or voice except for installation on building construction/alteration/renovation projects.)

Telecommunication Worker

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$47.03  
Supplemental Benefit Rate per Hour: \$23.15  
Supplemental Note: The above rate applies for Manhattan, Bronx, Brooklyn, Queens. \$22.84 for Staten Island only.

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular rate for Saturday.  
Time and one half the regular rate for Sunday.

Overtime Holidays  
Time and one half the regular rate for work on the following holiday(s).

New Year's Day  
Lincoln's Birthday  
Washington's Birthday  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Election Day  
Veteran's Day  
Thanksgiving Day  
Christmas Day

Paid Holidays  
New Year's Day  
Lincoln's Birthday  
Washington's Birthday  
Memorial Day  
Independence Day  
Labor Day  
Columbus Day  
Election Day

**Veteran's Day**  
**Thanksgiving Day**  
**Christmas Day**  
 Employees have the option of observing either Martin Luther King's Birthday or the day after Thanksgiving instead of Lincoln's Birthday

**Shift Rates**  
 For any workday that starts before 8A.M. or ends after 6P.M. there is a 10% differential for the applicable worker's hourly rate.

**Vacation**  
 After 6 months.....one week.  
 After 12 months but less than 7 years.....two weeks.  
 After 7 or more but less than 15 years.....three weeks.  
 After 15 years or more but less than 25 years.....four weeks.  
 (C.W.A.)

**TILE FINISHER**

Tile Finisher

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$43.71  
**Supplemental Benefit Rate per Hour:** \$35.10

**Overtime**  
 Time and one half the regular rate after a 7 hour day.  
 Time and one half the regular rate for Saturday.  
 Double time the regular rate for Sunday.

**Overtime Holidays**  
 Double time the regular rate for work on the following holiday(s).  
 New Year's Day  
 President's Day  
 Good Friday  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day

**Paid Holidays**  
 None

**Shift Rates**  
 Off shift work day (work performed outside the regular 8:00 A.M. to 3:30 P.M. workday): shift differential of one and one quarter (1/4) times the regular straight time rate of pay for the seven hours of actual off-shift work.

(Local #7)

**TILE LAYER - SETTER**

Tile Layer - Setter

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$56.42  
**Supplemental Benefit Rate per Hour:** \$39.75

**Overtime**  
 Time and one half the regular rate after a 7 hour day.  
 Time and one half the regular rate for Saturday.  
 Double time the regular rate for Sunday.

**Overtime Holidays**  
 Double time the regular rate for work on the following holiday(s).  
 New Year's Day  
 President's Day  
 Good Friday  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Veteran's Day  
 Thanksgiving Day  
 Day after Thanksgiving  
 Christmas Day

**Shift Rates**  
 Off shift work day (work performed outside the regular 8:00 A.M. to 3:30 P.M. workday): shift differential of one and one quarter (1/4) times the regular straight time rate of pay for the seven hours of actual off-shift work.

(Local #7)

**TIMBERPERSON**

Timberperson

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$52.05  
**Supplemental Benefit Rate per Hour:** \$52.94

**Overtime**  
 Time and one half the regular rate after an 8 hour day.  
 Time and one half the regular rate for Saturday.  
 Double time the regular rate for Sunday.  
 Saturday may be used as a make-up day at straight time when a day is lost during that week to inclement weather.

**Overtime Holidays**  
 Double time the regular rate for work on the following holiday(s).  
 New Year's Day  
 President's Day  
 Memorial Day  
 Independence Day  
 Labor Day  
 Columbus Day  
 Presidential Election Day  
 Thanksgiving Day  
 Christmas Day

**Paid Holidays**  
 None

**Shift Rates**  
 Off shift work commencing between 5:00 P.M. and 11:00 P.M. shall work eight and one half hours allowing for one half hour for lunch. The wage rate shall be 113% of the straight time hourly wage rate. Benefits for off-shift work shall be paid at the straight time rate.

(Local #1536)

**TUNNEL WORKER**

Blasters, Mucking Machine Operators (Compressed Air Rates)

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$68.58  
**Supplemental Benefit Rate per Hour:** \$60.19

Tunnel Workers (Compressed Air Rates)

Includes shield driven liner plate portions or solidification portions work (8 hour shift) during excavation phase.

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$66.14  
**Supplemental Benefit Rate per Hour:** \$58.29

Top Nipper (Compressed Air Rates)

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$65.04  
**Supplemental Benefit Rate per Hour:** \$57.14

Outside Lock Tender, Outside Gauge Tender, Muck Lock Tender (Compressed Air Rates)

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$63.74  
**Supplemental Benefit Rate per Hour:** \$56.20

Bottom Bell & Top Bell Signal Person: Shaft Person (Compressed Air Rates)

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$63.74  
**Supplemental Benefit Rate per Hour:** \$56.20

Changehouse Attendant: Powder Watchperson (Compressed Air Rates)

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$56.04  
**Supplemental Benefit Rate per Hour:** \$52.83

Blasters (Free Air Rates)

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$65.41  
**Supplemental Benefit Rate per Hour:** \$57.80

Tunnel Workers (Free Air Rates)

**Effective Period:** 7/1/2021 - 6/30/2022  
**Wage Rate per Hour:** \$62.58  
**Supplemental Benefit Rate per Hour:** \$55.38

All Others (Free Air Rates)

**Effective Period:** 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$57.84  
 Supplemental Benefit Rate per Hour: \$51.26

Microtunneling (Free Air Rates)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$50.06  
 Supplemental Benefit Rate per Hour: \$44.30

Overtime Description

For work performed during excavation and primary concrete tunnel lining phases - Double time the regular rate after an 8 hour day and Saturday, Sunday and on the following holiday(s) listed below.

For Repair-Maintenance Work on Existing Equipment and Facilities - Time and one half the regular rate after a 7 hour day, Saturday, Sunday and double time the regular rate for work on the following holiday(s) listed below.

For Small-Bore Micro Tunneling Machines - Time and one-half the regular rate shall be paid for all overtime.  
 For work not listed above - Time and one half the regular rate after an 8 hour day and Saturday and double time the regular rate on Sunday and on the following holiday(s) listed below.

Paid Holidays

- New Year's Day
- Lincoln's Birthday
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Election Day
- Veteran's Day
- Thanksgiving Day
- Christmas Day

(Local #147)

UTILITY LOCATOR

(Locate & mark underground utilities for street excavation.)

Utility Locator (Year 7 and above)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$31.56  
 Supplemental Benefit Rate per Hour: \$1.43

Utility Locator (Year 5 - 6)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$22.85  
 Supplemental Benefit Rate per Hour: \$1.43

Utility Locator (Year 4)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$21.54  
 Supplemental Benefit Rate per Hour: \$1.43

Utility Locator (Year 3)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$20.30  
 Supplemental Benefit Rate per Hour: \$1.43

Utility Locator (Year 2)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$19.13  
 Supplemental Benefit Rate per Hour: \$1.43

Utility Locator (Year 1)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$18.04  
 Supplemental Benefit Rate per Hour: \$1.43

Utility Locator (Up to 1 year)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$17.00  
 Supplemental Benefit Rate per Hour: \$1.43  
 Supplemental Note: No benefits for the first 90 days of employment.

Overtime

Time and one half the regular rate for work on the following holiday(s).  
 Time and one half the regular hourly rate after 40 straight time hours in any work week.

Paid Holidays

- New Year's Day
- Memorial Day
- Independence Day

Thanksgiving Day  
 Christmas Day

Shift Rates

10% shift differential to employees working any shift starting between noon and 5 AM.

Vacation

For up to 1 year	0 hours
For year 1 - 2	48 hours per year
For year 3 - 9	96 hours per year
For year 10 or more	144 hours per year

Sick Days:

For up to 1 year employee receives 40 hours paid sick leave.  
 For year 1 employee earns 2 hours of paid sick leave for every 100 overtime hours worked.  
 For year 2 - 9 years employee earns 4 hours of paid sick leave for every 100 overtime hours worked.  
 For year 10 or more employee earns 6 hours of paid sick leave for every 100 overtime hours worked.

(C.W.A.)

WELDER

TO BE PAID AT THE RATE OF THE JOURNEYPerson IN THE TRADE PERFORMING THE WORK.

**CONSTRUCTION APPRENTICE PREVAILING WAGE SCHEDULE**

OFFICE OF THE COMPTROLLER  
 CITY OF NEW YORK  
 CONSTRUCTION APPRENTICE  
 PREVAILING WAGE SCHEDULE

Pursuant to Labor Law § 220 (3-e), only apprentices who are individually registered in a bona fide program to which the employer contractor is a participant and registered with the New York State Department of Labor, may be paid at the apprentice rates in this schedule. Apprentices who are not so registered must be paid as journey persons in accordance with the trade classification of the work they actually performed.

Apprentice ratios are established to ensure the proper safety, training and supervision of apprentices. A ratio establishes the number of journey workers required for each apprentice in a program and on a job site. Ratios are interpreted as follows: in the case of a 1:1, 1:4 ratio, there must be one journey worker for the first apprentice, and four additional journey workers for each subsequent apprentice.

**BOILERMAKER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Boilermaker (First Year)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 65% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$33.12

Boilermaker (Second Year: 1st Six Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 70% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$35.05

Boilermaker (Second Year: 2nd Six Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 75% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$37.01

Boilermaker (Third Year: 1st Six Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 80% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$38.92

Boilermaker (Third Year: 2nd Six Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 85% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$40.87

Boilermaker (Fourth Year: 1st Six Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 90% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$42.82

Boilermaker (Fourth Year: 2nd Six Months)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 95% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$44.74  
(Local #5)

**BRICKLAYER**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 4)

Bricklayer (First 750 Hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 50% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$22.95

Bricklayer (Second 750 Hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 60% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$22.95

Bricklayer (Third 750 Hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 70% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$22.95

Bricklayer (Fourth 750 Hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 80% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$22.95

Bricklayer (Fifth 750 Hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 90% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$22.95

Bricklayer (Sixth 750 Hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 95% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$22.95

(Bricklayer District Council)

**CARPENTER**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 4)

Carpenter (First Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour For Building Apprentice: \$19.55  
Supplemental Benefit Rate Per Hour For Building Apprentice: \$16.35

Wage Rate Per Hour For Heavy Apprentice: \$23.37  
Supplemental Benefit Rate Per Hour For Heavy Apprentice: \$35.49

Carpenter (Second Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour For Building Apprentice: \$22.55  
Supplemental Benefit Rate Per Hour For Building Apprentice: \$17.85

Wage Rate Per Hour For Heavy Apprentice: \$28.97  
Supplemental Benefit Rate Per Hour For Heavy Apprentice: \$35.49

Carpenter (Third Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour For Building Apprentice: \$26.80  
Supplemental Benefit Rate Per Hour For Building Apprentice: \$21.45

Wage Rate Per Hour For Heavy Apprentice: \$37.35  
Supplemental Benefit Rate Per Hour For Heavy Apprentice: \$35.49

Carpenter (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour For Building Apprentice: \$34.68  
Supplemental Benefit Rate Per Hour For Building Apprentice: \$23.45

Wage Rate Per Hour For Heavy Apprentice: \$45.74  
Supplemental Benefit Rate Per Hour For Heavy Apprentice: \$35.49

(Carpenters District Council)

**CARPENTER - HIGH RISE CONCRETE FORMS**

(Ratio of Apprentice to Journeyperson: 1 to 1, 2 to 5)

Carpenter - High Rise (First Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$18.27  
Supplemental Benefit Rate per Hour: \$16.55

Carpenter - High Rise (Second Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$24.70  
Supplemental Benefit Rate per Hour: \$16.73

Carpenter - High Rise (Third Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$31.28  
Supplemental Benefit Rate per Hour: \$16.95

Carpenter - High Rise (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$38.90  
Supplemental Benefit Rate per Hour: \$17.20

(Carpenters District Council)

**CEMENT MASON**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 4)

Cement Mason (First Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$19.57  
Supplemental Benefit Rate per Hour: \$15.61

Cement Mason (Second Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$24.40  
Supplemental Benefit Rate per Hour: \$15.91

Cement Mason (Third Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$29.68  
Supplemental Benefit Rate per Hour: \$16.02

(Local #780)

**CEMENT AND CONCRETE WORKER**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 3)

Cement & Concrete Worker (First 1333 hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 53% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$14.79

Cement & Concrete Worker (Second 1333 hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 69% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$19.72

Cement & Concrete Worker (Last 1334 hours)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 85% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: \$21.30

(Cement Concrete Workers District Council)

**DERRICKPERSON & RIGGER (STONE)**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 4)

Derrickperson & Rigger (stone) - First Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 50% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: 50% of Journeyperson's rate

Derrickperson & Rigger (stone) - Second Year: 1st Six Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 70% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: 75% of Journeyperson's rate

Derrickperson & Rigger (stone) - Second Year: 2nd Six Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 80% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: 75% of Journeyperson's rate

Derrickperson & Rigger (stone) - Third Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 90% of Journeyperson's rate  
Supplemental Benefit Rate Per Hour: 75% of Journeyperson's rate

(Local #197)

**DOCKBUILDER/PILE DRIVER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 6)

Dockbuilder/Pile Driver (First Year)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: \$23.37  
 Supplemental Benefit Rate Per Hour: \$35.49

Dockbuilder/Pile Driver (Second Year)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: \$28.97  
 Supplemental Benefit Rate Per Hour: \$35.49

Dockbuilder/Pile Driver (Third Year)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: \$37.35  
 Supplemental Benefit Rate Per Hour: \$35.49

Dockbuilder/Pile Driver (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: \$45.74  
 Supplemental Benefit Rate Per Hour: \$35.49

(Carpenters District Council)

**ELECTRICIAN**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Electrician (First Term: 0-6 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$17.25  
 Supplemental Benefit Rate per Hour: \$14.93  
 Overtime Supplemental Rate Per Hour: \$16.07

Electrician (First Term: 7-12 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$17.75  
 Supplemental Benefit Rate per Hour: \$15.19  
 Overtime Supplemental Rate Per Hour: \$16.36

Electrician (Second Term: 0-6 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$18.75  
 Supplemental Benefit Rate per Hour: \$15.70  
 Overtime Supplemental Rate Per Hour: \$16.95

Electrician (Second Term: 7-12 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$19.75  
 Supplemental Benefit Rate per Hour: \$16.22  
 Overtime Supplemental Rate Per Hour: \$17.53

Electrician (Third Term: 0-6 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$20.75  
 Supplemental Benefit Rate per Hour: \$16.74  
 Overtime Supplemental Rate Per Hour: \$18.11

Electrician (Third Term: 7-12 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$21.75  
 Supplemental Benefit Rate per Hour: \$17.26  
 Overtime Supplemental Rate Per Hour: \$18.70

Electrician (Fourth Term: 0-6 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$22.75  
 Supplemental Benefit Rate per Hour: \$17.77  
 Overtime Supplemental Rate Per Hour: \$19.28

Electrician (Fourth Term: 7-12 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$24.75  
 Supplemental Benefit Rate per Hour: \$18.81  
 Overtime Supplemental Rate Per Hour: \$20.45

Electrician (Fifth Term: 0-12 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$26.00  
 Supplemental Benefit Rate per Hour: \$22.06  
 Overtime Supplemental Rate Per Hour: \$23.70

Electrician (Fifth Term: 13-18 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$30.50

Supplemental Benefit Rate per Hour: \$24.45  
 Overtime Supplemental Rate Per Hour: \$26.38

Overtime Description

Overtime Wage paid at time and one half the regular rate

(Local #3)

**ELEVATOR CONSTRUCTOR**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 2)

Elevator (Constructor) - First Year

Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate Per Hour: 50% of Journeyman's rate  
 Supplemental Rate Per Hour: \$32.76

Elevator (Constructor) - Second Year

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate Per Hour: 50% of Journeyman's rate  
 Supplemental Rate Per Hour: \$33.38

Elevator (Constructor) - Third Year

Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate Per Hour: 55% of Journeyman's rate  
 Supplemental Rate Per Hour: \$33.31

Elevator (Constructor) - Fourth Year

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate Per Hour: 55% of Journeyman's rate  
 Supplemental Rate Per Hour: \$33.96

Elevator (Constructor) - First Year

Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate Per Hour: 65% of Journeyman's rate  
 Supplemental Rate Per Hour: \$34.42

Elevator (Constructor) - Second Year

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate Per Hour: 65% of Journeyman's rate  
 Supplemental Rate Per Hour: \$35.10

Elevator (Constructor) - Third Year

Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate Per Hour: 75% of Journeyman's rate  
 Supplemental Rate Per Hour: \$35.52

Elevator (Constructor) - Fourth Year

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate Per Hour: 75% of Journeyman's rate  
 Supplemental Rate Per Hour: \$36.24

(Local #1)

**ELEVATOR REPAIR & MAINTENANCE**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 2)

Elevator Service/Modernization Mechanic (First Year)

Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate Per Hour: 50% of Journeyman's rate  
 Supplemental Benefit Per Hour: \$32.71

Elevator Service/Modernization Mechanic (Second Year)

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate Per Hour: 50% of Journeyman's rate  
 Supplemental Benefit Per Hour: \$33.33

Elevator Service/Modernization Mechanic (Third Year)

Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate Per Hour: 55% of Journeyman's rate  
 Supplemental Benefit Per Hour: \$33.26

Elevator Service/Modernization Mechanic (Fourth Year)

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate Per Hour: 55% of Journeyman's rate  
 Supplemental Benefit Per Hour: \$33.90

Elevator Service/Modernization Mechanic (Fifth Year)

Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate Per Hour: 65% of Journeyman's rate  
 Supplemental Benefit Per Hour: \$34.35

Elevator Service/Modernization Mechanic (Sixth Year)

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate Per Hour: 65% of Journeyman's rate  
 Supplemental Benefit Per Hour: \$35.03

Elevator Service/Modernization Mechanic (Seventh Year)

Effective Period: 7/1/2021 - 3/16/2022  
 Wage Rate Per Hour: 75% of Journeyman's rate  
 Supplemental Benefit Per Hour: \$35.45

Elevator Service/Modernization Mechanic (Eighth Year)

Effective Period: 3/17/2022 - 6/30/2022  
 Wage Rate Per Hour: 75% of Journeyman's rate  
 Supplemental Benefit Per Hour: \$36.17

(Local #1)

**ENGINEER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 5)

Engineer - First Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$25.38

Supplemental Benefit Rate per Hour: \$28.51

Engineer - Second Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$31.72

Supplemental Benefit Rate per Hour: \$28.51

Engineer - Third Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$34.89

Supplemental Benefit Rate per Hour: \$28.51

Engineer - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$38.06

Supplemental Benefit Rate per Hour: \$28.51

(Local #15)

**ENGINEER - OPERATING**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 5)

Operating Engineer - First Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 40% of Operating Engineer - Road &amp;

Heavy Construction V's Rate

Supplemental Benefit Per Hour: \$24.05

Operating Engineer - Second Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 50% of Operating Engineer - Road &amp;

Heavy Construction V's Rate

Supplemental Benefit Per Hour: \$24.05

Operating Engineer - Third Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 60% of Operating Engineer - Road &amp;

Heavy Construction V's Rate

Supplemental Benefit Per Hour: \$24.05

(Local #14)

**FLOOR COVERER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 4)

Floor Coverer (First Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$24.55

Supplemental Benefit Rate per Hour: \$16.35

Floor Coverer (Second Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$27.55

Supplemental Benefit Rate per Hour: \$17.85

Floor Coverer (Third Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$31.80

Supplemental Benefit Rate per Hour: \$21.45

Floor Coverer (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$39.68

Supplemental Benefit Rate per Hour: \$23.45

(Carpenters District Council)

**GLAZIER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Glazier (First Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 40% of Journeyman's rate

Glazier (Second Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 50% of Journeyman's rate

Glazier (Third Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 60% of Journeyman's rate

Glazier (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 80% of Journeyman's rate

(Local #1281)

**HAZARDOUS MATERIAL HANDLER**

(Ratio of Apprentice Journeyman: 1 to 1, 1 to 3)

Handler (First 1000 Hours)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 78% of Journeyman's rate

Supplemental Benefit Rate Per Hour: \$14.25

Handler (Second 1000 Hours)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 80% of Journeyman's rate

Supplemental Benefit Rate Per Hour: \$14.25

Handler (Third 1000 Hours)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 83% of Journeyman's rate

Supplemental Benefit Rate Per Hour: \$14.25

Handler (Fourth 1000 Hours)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 89% of Journeyman's rate

Supplemental Benefit Rate Per Hour: \$14.25

(Local #78)

**HEAT & FROST INSULATOR**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Heat & Frost Insulator (First Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 40% of Journeyman's rate

Heat & Frost Insulator (Second Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 50% of Journeyman's rate

Heat & Frost Insulator (Third Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 60% of Journeyman's rate

Heat & Frost Insulator (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 70% of Journeyman's rate

(Local #12)

**HOUSE WRECKER**

(TOTAL DEMOLITION)

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

House Wrecker - First Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$20.20

Supplemental Benefit Rate per Hour: \$10.07

House Wrecker - Second Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$22.15

Supplemental Benefit Rate per Hour: \$10.07

House Wrecker - Third Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$23.65

Supplemental Benefit Rate per Hour: \$10.07

House Wrecker - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$26.15

Supplemental Benefit Rate per Hour: \$10.07

(Mason Tenders District Council)

**IRON WORKER - ORNAMENTAL**  
(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 4)

Iron Worker (Ornamental) - First Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$20.63  
Supplemental Benefit Rate per Hour: \$17.61

Iron Worker (Ornamental) - Second Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$24.22  
Supplemental Benefit Rate per Hour: \$18.86

Iron Worker (Ornamental) - Third Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$27.80  
Supplemental Benefit Rate per Hour: \$20.12

Iron Worker (Ornamental) - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$31.38  
Supplemental Benefit Rate per Hour: \$21.38

(Local #580)

**IRON WORKER - STRUCTURAL**  
(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 6)

Iron Worker (Structural) - 1st Six Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$28.21  
Supplemental Benefit Rate per Hour: \$57.12

Iron Worker (Structural) - 7- 18 Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$28.81  
Supplemental Benefit Rate per Hour: \$57.12

Iron Worker (Structural) - 19 - 36 months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$29.42  
Supplemental Benefit Rate per Hour: \$57.12

(Local #40 and #361)

**LABORER (FOUNDATION, CONCRETE, EXCAVATING, STREET PIPE LAYER & COMMON)**  
(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Laborer (Foundation, Concrete, Excavating, Street Pipe Layer & Common) - First 1000 hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 50% of Journeyman's rate  
Supplemental Rate Per Hour: \$48.63

Laborer (Foundation, Concrete, Excavating, Street Pipe Layer & Common) - Second 1000 hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 60% of Journeyman's rate  
Supplemental Rate Per Hour: \$48.63

Laborer (Foundation, Concrete, Excavating, Street Pipe Layer & Common) - Third 1000 hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 75% of Journeyman's rate  
Supplemental Rate Per Hour: \$48.63

Laborer (Foundation, Concrete, Excavating, Street Pipe Layer & Common) - Fourth 1000 hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 90% of Journeyman's rate  
Supplemental Rate Per Hour: \$48.63

(Local #731)

**MARBLE MECHANICS**  
(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 4)

Cutters & Setters - First 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage and Supplemental Rate Per Hour: 40% of Journeyman's rate

NO BENEFITS PAID DURING THE FIRST TWO MONTHS (PROBATIONARY PERIOD)

Cutters & Setters - Second 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 45% of Journeyman's rate

Cutters & Setters - Third 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 50% of Journeyman's rate

Cutters & Setters - Fourth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 55% of Journeyman's rate

Cutters & Setters - Fifth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 60% of Journeyman's rate

Cutters & Setters - Sixth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 65% of Journeyman's rate

Cutters & Setters - Seventh 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 70% of Journeyman's rate

Cutters & Setters - Eighth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 75% of Journeyman's rate

Cutters & Setters - Ninth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 85% of Journeyman's rate

Cutters & Setters - Tenth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 95% of Journeyman's rate

Polishers & Finishers - First 900 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 70% of Journeyman's rate

NO BENEFITS PAID DURING THE FIRST TWO MONTHS (PROBATIONARY PERIOD)

Polishers & Finishers - Second 900 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 80% of Journeyman's rate

Polishers & Finishers - Third 900 Hours

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 90% of Journeyman's rate

(Local #7)

**MASON TENDER**  
(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Mason Tender - First Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$20.20  
Supplemental Benefit Rate per Hour: \$10.07

Mason Tender - Second Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$22.15  
Supplemental Benefit Rate per Hour: \$10.07

Mason Tender - Third Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$23.65  
Supplemental Benefit Rate per Hour: \$10.07

Mason Tender - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$26.15  
Supplemental Benefit Rate per Hour: \$10.07

(Local #79)

**METALLIC LATHER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Metallic Lather (First Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$21.00

Supplemental Benefit Rate per Hour: \$17.87

Metallic Lather (Second Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$22.00

Supplemental Benefit Rate per Hour: \$16.87

Metallic Lather (Third Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$33.10

Supplemental Benefit Rate per Hour: \$21.32

Metallic Lather (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$35.60

Supplemental Benefit Rate per Hour: \$21.82

(Local #46)

**MILLWRIGHT**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 4)

Millwright (First Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$30.74

Supplemental Benefit Rate per Hour: \$35.19

Millwright (Second Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$36.19

Supplemental Benefit Rate per Hour: \$38.89

Millwright (Third Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$41.64

Supplemental Benefit Rate per Hour: \$43.24

Millwright (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$52.54

Supplemental Benefit Rate per Hour: \$50.00

(Local #740)

**PAINTER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Painter - Brush & Roller - First Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$17.20

Supplemental Benefit Rate per Hour: \$16.67

Painter - Brush & Roller - Second Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$21.50

Supplemental Benefit Rate per Hour: \$21.44

Painter - Brush & Roller - Third Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$25.80

Supplemental Benefit Rate per Hour: \$25.27

Painter - Brush & Roller - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$34.40

Supplemental Benefit Rate per Hour: \$32.51

(District Council of Painters)

**PAINTER - METAL POLISHER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Metal Polisher (First Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$16.00

Supplemental Benefit Rate per Hour: \$7.36

New Construction - Wage Rate Per Hour: \$16.39

Scaffold Over 34 Feet - Wage Rate Per Hour: \$18.50

Metal Polisher (Second Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$17.00

Supplemental Benefit Rate per Hour: \$7.36

New Construction - Wage Rate Per Hour: \$17.44

Scaffold Over 34 Feet - Wage Rate Per Hour: \$19.50

Metal Polisher (Third Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$18.00

Supplemental Benefit Rate per Hour: \$7.36

New Construction - Wage Rate Per Hour: \$18.54

Scaffold Over 34 Feet - Wage Rate Per Hour: \$20.50

(Local 8A-28)

**PAINTER - STRUCTURAL STEEL**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Painters - Structural Steel (First Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 40% of Journeyman's rate

Painters - Structural Steel (Second Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 60% of Journeyman's rate

Painters - Structural Steel (Third Year)

Effective Period: 7/1/2021 - 6/30/2022

Wage and Supplemental Rate Per Hour: 80% of Journeyman's rate

(Local #806)

**PAVER AND ROADBUILDER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Paver and Roadbuilder - First Year (Minimum 1000 hours)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$29.86

Supplemental Benefit Rate per Hour: \$23.55

Paver and Roadbuilder - Second Year (Minimum 1000 hours)

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$31.50

Supplemental Benefit Rate per Hour: \$23.55

(Local #1010)

**PLASTERER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

(Each Term is 800 Hours.)

Plasterer - First Term

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 55% of Journeyman's rate

Supplemental Rate Per Hour: \$17.48

Plasterer - Second Term

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 60% of Journeyman's rate

Supplemental Rate Per Hour: \$18.63

Plasterer - Third Term

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 70% of Journeyman's rate

Supplemental Rate Per Hour: \$20.93

Plasterer - Fourth Term

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate Per Hour: 75% of Journeyman's rate

Supplemental Rate Per Hour: \$22.10

(Local #262)

**PLASTERER - TENDER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Plasterer Tender - First Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$20.20

Supplemental Benefit Rate per Hour: \$10.07

Plasterer Tender - Second Year

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$22.15



Supplemental Benefit Rate per Hour: \$10.07

Plasterer Tender - Third Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$23.65  
 Supplemental Benefit Rate per Hour: \$10.07

Plasterer Tender - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$26.15  
 Supplemental Benefit Rate per Hour: \$10.07

(Local #79)

**PLUMBER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Plumber - First Year: 1st Six Months

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$16.78  
 Supplemental Benefit Rate per Hour: \$5.43

Plumber - First Year: 2nd Six Months

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$19.78  
 Supplemental Benefit Rate per Hour: \$6.43

Plumber - Second Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$28.36  
 Supplemental Benefit Rate per Hour: \$21.19

Plumber - Third Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$30.46  
 Supplemental Benefit Rate per Hour: \$21.19

Plumber - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$33.31  
 Supplemental Benefit Rate per Hour: \$21.19

Plumber - Fifth Year: 1st Six Months

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$34.71  
 Supplemental Benefit Rate per Hour: \$21.19

Plumber - Fifth Year: 2nd Six Months

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$46.78  
 Supplemental Benefit Rate per Hour: \$21.19

(Plumbers Local #1)

**POINTER, WATERPROOFER, CAULKER, SANDBLASTER, STEAMBLASTER**

(Exterior Building Renovation)

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 4)

Pointer, Waterproofer, Caulker, Sandblaster, Steamblaster - First Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$28.92  
 Supplemental Benefit Rate per Hour: \$14.81

Pointer, Waterproofer, Caulker, Sandblaster, Steamblaster - Second Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$32.58  
 Supplemental Benefit Rate per Hour: \$19.86

Pointer, Waterproofer, Caulker, Sandblaster, Steamblaster - Third Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$37.63  
 Supplemental Benefit Rate per Hour: \$23.61

Pointer, Waterproofer, Caulker, Sandblaster, Steamblaster - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate per Hour: \$45.44  
 Supplemental Benefit Rate per Hour: \$24.61

(Bricklayer District Council)

**ROOFER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 2)

Roofer - First Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 35% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$3.51

Roofer - Second Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 50% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$17.54

Roofer - Third Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 60% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$20.99

Roofer - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 75% of Journeyman's rate  
 Supplemental Benefit Rate Per Hour: \$26.18

(Local #8)

**SHEET METAL WORKER**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 3)

Sheet Metal Worker (0-6 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 25% of Journeyman's rate  
 Supplemental Rate Per Hour: \$6.76

Sheet Metal Worker (7-18 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 35% of Journeyman's rate  
 Supplemental Rate Per Hour: \$19.55

Sheet Metal Worker (19-30 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 45% of Journeyman's rate  
 Supplemental Rate Per Hour: \$26.65

Sheet Metal Worker (31-36 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 55% of Journeyman's rate  
 Supplemental Rate Per Hour: \$31.50

Sheet Metal Worker (37-42 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 55% of Journeyman's rate  
 Supplemental Rate Per Hour: \$31.50

Sheet Metal Worker (43-48 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 70% of Journeyman's rate  
 Supplemental Rate Per Hour: \$38.78

Sheet Metal Worker (49-54 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 70% of Journeyman's rate  
 Supplemental Rate Per Hour: \$38.78

Sheet Metal Worker (55-60 Months)

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 80% of Journeyman's rate  
 Supplemental Rate Per Hour: \$43.65

(Local #28)

**SIGN ERECTOR**

(Ratio of Apprentice to Journeyman: 1 to 1, 1 to 4)

Sign Erector - First Year: 1st Six Months

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 35% of Journeyman's rate  
 Supplemental Rate Per Hour: \$16.51

Sign Erector - First Year: 2nd Six Months

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 40% of Journeyman's rate  
 Supplemental Rate Per Hour: \$18.74

Sign Erector - Second Year: 1st Six Months

Effective Period: 7/1/2021 - 6/30/2022  
 Wage Rate Per Hour: 45% of Journeyman's rate  
 Supplemental Rate Per Hour: \$20.96

Sign Erector - Second Year: 2nd Six Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 50% of Journeyperson's rate  
Supplemental Rate Per Hour: \$23.21

Sign Erector - Third Year: 1st Six Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 55% of Journeyperson's rate  
Supplemental Rate Per Hour: \$31.44

Sign Erector - Third Year: 2nd Six Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 60% of Journeyperson's rate  
Supplemental Rate Per Hour: \$34.20

Sign Erector - Fourth Year: 1st Six Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 65% of Journeyperson's rate  
Supplemental Rate Per Hour: \$37.76

Sign Erector - Fourth Year: 2nd Six Months

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 70% of Journeyperson's rate  
Supplemental Rate Per Hour: \$40.62

Sign Erector - Fifth Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 75% of Journeyperson's rate  
Supplemental Rate Per Hour: \$43.44

Sign Erector - Sixth Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 80% of Journeyperson's rate  
Supplemental Rate Per Hour: \$46.27

(Local #137)

**STEAMFITTER**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 3)

Steamfitter - First Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate and Supplemental Per Hour: 40% of Journeyperson's rate

Steamfitter - Second Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate and Supplemental Rate Per Hour: 50% of Journeyperson's rate.

Steamfitter - Third Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate and Supplemental Rate per Hour: 65% of Journeyperson's rate.

Steamfitter - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate and Supplemental Rate Per Hour: 80% of Journeyperson's rate.

Steamfitter - Fifth Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate and Supplemental Rate Per Hour: 85% of Journeyperson's rate.

(Local #638)

**STEAMFITTER - REFRIGERATION & AIR CONDITIONER**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 3)

Refrigeration & Air Conditioner (First Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$20.75  
Supplemental Benefit Rate per Hour: \$12.99

Refrigeration & Air Conditioner (Second Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$25.04  
Supplemental Benefit Rate per Hour: \$14.23

Refrigeration & Air Conditioner (Third Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$29.17  
Supplemental Benefit Rate per Hour: \$15.53

Refrigeration & Air Conditioner (Fourth Year)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$35.22

Supplemental Benefit Rate per Hour: \$17.29

(Local #638-B)

**STONE MASON - SETTER**

(Ratio Apprentice of Journeyperson: 1 to 1, 1 to 2)

Stone Mason - Setters - First 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage and Supplemental Rate Per Hour: 50% of Journeyperson's rate

Stone Mason - Setters - Second 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 60% of Journeyperson's rate  
Supplemental Rate Per Hour: 50% of Journeyperson's rate

Stone Mason - Setters - Third 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 70% of Journeyperson's rate  
Supplemental Rate Per Hour: 50% of Journeyperson's rate

Stone Mason - Setters - Fourth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 80% of Journeyperson's rate  
Supplemental Rate Per Hour: 50% of Journeyperson's rate

Stone Mason - Setters - Fifth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 90% of Journeyperson's rate  
Supplemental Rate Per Hour: 50% of Journeyperson's rate

Stone Mason - Setters - Sixth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate Per Hour: 100% of Journeyperson's rate  
Supplemental Rate Per Hour: 50% of Journeyperson's rate

(Bricklayers District Council)

**TAPER**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 4)

Drywall Taper - First Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$20.97  
Supplemental Benefit Rate per Hour: \$13.55

Drywall Taper - Second Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$24.24  
Supplemental Benefit Rate per Hour: \$20.31

Drywall Taper - Third Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$29.08  
Supplemental Benefit Rate per Hour: \$22.06

Drywall Taper - Fourth Year

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$38.78  
Supplemental Benefit Rate per Hour: \$25.56

(Local #1974)

**TILE LAYER - SETTER**

(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 4)

Tile Layer - Setter - First 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage and Supplemental Rate Per Hour: 35% of Journeyperson's rate

Tile Layer - Setter - Second 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage and Supplemental Rate Per Hour 40% of Journeyperson's rate

Tile Layer - Setter - Third 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage and Supplemental Rate Per Hour: 50% of Journeyperson's rate

Tile Layer - Setter - Fourth 750 Hours

Effective Period: 7/1/2021 - 6/30/2022  
Wage and Supplemental Rate Per Hour: 55% of Journeyperson's rate

**Tile Layer - Setter - Fifth 750 Hours**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage and Supplemental Rate Per Hour: 60% of Journeyperson's rate**

**Tile Layer - Setter - Sixth 750 Hours**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage and Supplemental Rate Per Hour: 65% of Journeyperson's rate**

**Tile Layer - Setter - Seventh 750 Hours**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage and Supplemental Rate Per Hour: 70% of Journeyperson's rate**

**Tile Layer - Setter - Eighth 750 Hours**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage and Supplemental Rate Per Hour: 75% of Journeyperson's rate**

**Tile Layer - Setter - Ninth 750 Hours**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage and Supplemental Rate Per Hour: 80% of Journeyperson's rate**

**Tile Layer - Setter - Tenth 750 Hours**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage and Supplemental Rate Per Hour: 90% of Journeyperson's rate**

(Local #7)

**TIMBERPERSON**  
**(Ratio of Apprentice to Journeyperson: 1 to 1, 1 to 6)**

**Timberperson - First Year**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage Rate Per Hour: \$21.42**  
**Supplemental Rate Per Hour: \$35.22**

**Timberperson - Second Year**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage Rate Per Hour: \$26.53**  
**Supplemental Rate Per Hour: \$35.22**

**Timberperson - Third Year**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage Rate Per Hour: \$34.18**  
**Supplemental Rate Per Hour: \$35.22**

**Timberperson - Fourth Year**

**Effective Period: 7/1/2021 - 6/30/2022**  
**Wage Rate Per Hour: \$41.84**  
**Supplemental Rate Per Hour: \$35.22**

(Local #1536)

**BUILDING SERVICE EMPLOYEE PREVAILING WAGE SCHEDULE**

**LABOR LAW ARTICLE 9  
 REAL PROPERTY TAX LAW §421-A  
 NYC ADMINISTRATIVE CODE §6-130**

**PREVAILING WAGE FOR BUILDING SERVICE EMPLOYEES ON NYC CONTRACTS PURSUANT TO LABOR LAW ARTICLE 9**

Building service employees on public contracts must receive not less than the prevailing rate of wage and supplements for the classification of work performed. In accordance with Labor Law Article 9 the Comptroller of the City of New York has promulgated this schedule of prevailing wages and supplemental benefits for building service employees engaged on New York City public building service contracts in excess of \$1,500.00. Prevailing rates are required to be annexed to and form part of the contract pursuant to §231 (4).

This schedule is a compilation of separate determinations of the prevailing rate of wage and supplements made by the Comptroller for each trade classification listed herein pursuant to New York State Labor Law section 234 (1). The source of the wage and supplement rates, whether a collective bargaining agreement, survey data or other, is listed at the end of each classification.

Agency Chief Contracting Officers should contact the Bureau of Labor Law's Classification Unit with any questions concerning trade classifications, prevailing rates or prevailing practices with respect to procurement on New York City building service contracts. Contractors are advised to review the Comptroller's Prevailing Wage Schedule

before bidding on building service contracts. Contractors with questions concerning trade classifications, prevailing rates or prevailing practices with respect to building service contracts in the procurement stage must contact the contracting agency responsible for the procurement.

Any error as to compensation under the prevailing wage law or other information as to trade classification, made by the contracting agency in the contract documents or in any other communication, will not preclude a finding against the contractor of prevailing wage violation.

Any questions concerning trade classifications, prevailing rates or prevailing practices on New York City building service contracts that have already been awarded may be directed to the Bureau of Labor Law's Classification Unit by calling (212) 669-4443. All callers must have the agency name and contract registration number available when calling with questions on building service contracts. Please direct all other compliance issues to: Bureau of Labor Law, Attn: Wasyl Kinach, P.E., Office of the Comptroller, 1 Centre Street, Room 651, New York, N.Y. 10007; Fax (212) 669-4002.

**PREVAILING WAGE FOR BUILDING SERVICE EMPLOYEES IN BUILDINGS WITH TAX EXEMPTION BENEFITS PURSUANT TO REAL PROPERTY TAX LAW §421-A**

Covered Landlords shall ensure that all building service employees performing work in buildings with 50 or more dwelling units for which construction was commenced after December 27, 2007, that receive tax exemption benefits under Real Property Tax Law §421-a(8) (or 30 or more dwelling units in buildings that receive tax exemption benefits under Real Property Tax Law §421-a(16) or (17)), are paid no less than the prevailing wage rates listed in this schedule, unless the New York City Department of Housing Preservation and Development determines that, at initial occupancy, at least 50 percent of the dwelling units are affordable to individuals or families with a gross household income at or below 125 percent of the area median income and that any such units which are located in rental buildings will be subject to restrictions to insure that they will remain affordable for the entire period during which they receive benefits under Real Property Tax Law §421-a.

**PREVAILING WAGE FOR BUILDING SERVICE EMPLOYEES IN NEW YORK CITY LEASED OR FINANCIALLY ASSISTED FACILITIES PURSUANT TO NYC ADMINISTRATIVE CODE § 6-130**

Covered landlords & covered financial assistance recipients shall ensure that all building service employees performing building service work at the premises to which a lease or financial assistance pertains are paid no less than the prevailing wage listed in this Schedule.

**Covered Landlords include:**

Anyone leasing commercial office space or commercial office facilities of 10,000 square feet or more to New York City agencies that lease or rent no less than 51% of the total square footage of the building to which the lease applies (no less than 80% in Staten Island or in an area not defined as an exclusion area pursuant to section 421-a of the real property tax law on the date of enactment of the local law).

**Covered Financial Assistance Recipients include:**

Businesses with annual gross revenues of five million dollars or more who have received financial assistance from the City of New York (as defined in New York City Administrative Code §6-130) with a total value of one million dollars or more. Business Improvement Districts and employers with manufacturing operations at the premises to which the financial assistance pertains are not covered. Not-for-profit organizations are not covered unless they have received financial assistance in relation to a residential development project.

The information is intended to assist you in meeting your prevailing wage obligation. You should consult New York City Administrative Code §6-130 to determine whether you are covered by this prevailing wage law. New York City Administrative Code § 6-130 requires the City to maintain an updated list of covered landlords and financial assistance recipients who are subject to the prevailing wage requirement.

Labor Law § 231 (6) and NYC Administrative Law §6-130 requires contractors to post on the site of the work a current copy of this schedule of wages and supplements.

This schedule is applicable to work performed during the effective period, unless otherwise noted. Changes to this schedule are published on our website [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages). Contractors must pay the wages and supplements in effect when the building service employee performs the work. Preliminary schedules for future one-year periods appear in the City Record on or about June 1 each

succeeding year. Final schedules appear on or about July 1 in the City Record and on our website [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages).

Contractors are solely responsible for maintaining original payroll records delineating, among other things, the hours worked by each employee within a given classification.

In order to meet their obligation to provide prevailing supplemental benefits to each covered employee, employers must either:

- 1) Provide bona fide fringe benefits which cost the employer no less than the prevailing supplemental benefits rate; or
- 2) Supplement the employee's hourly wage by an amount no less than the prevailing supplemental benefits rate; or
- 3) Provide a combination of bona fide fringe benefits and wage supplements which cost the employer no less than the prevailing supplemental benefits rate in total.

Although prevailing wage laws do not require employers to provide bona fide fringe benefits (as opposed to wage supplements) to their employees, other laws may. For example, the Employee Retirement Income Security Act, 29 U.S.C. § 1001 et seq., the Patient Protection and Affordable Care Act, 42 U.S.C. § 18001 et seq., and the New York City Paid Sick Leave Law, N.Y.C. Admin. Code § 20-911 et seq., require certain employers to provide certain benefits to their employees. Labor agreements to which employers are a party may also require certain benefits. The Comptroller's Office does not enforce these laws or agreements.

Employers must provide prevailing supplemental benefits at the straight time rate for each hour worked unless otherwise noted in the classification.

Paid Holidays, Vacation and Sick Leave when listed must be paid or provided in addition to the prevailing hourly supplemental benefit rate.

For more information, please refer to the Comptroller's Prevailing Wage Law Regulations in Title 44 of the Rules of the City of New York, Chapter 2, available at [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages).

Wasył Kinach, P.E.  
Director of Classifications  
Bureau of Labor Law

The City of New York  
Office of the Comptroller  
Bureau Of Labor Law  
1 Centre Street  
New York, NY 10007

Scott M. Stringer  
Comptroller

If you are a Covered Building Service Employee and you have been paid less than the Prevailing Wage and Benefits, please contact us, at (212) 669-4443 or download our complaint form from our website, at [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages).

Si es un empleado de servicios a edificios elegible y recibió menos del sueldo prevalente y beneficios, por favor contáctenos en (212) 669-4443 o descarga un formulario de reclamo del sitio del Internet [comptroller.nyc.gov/wages](http://comptroller.nyc.gov/wages).

Wasył Kinach, P.E.  
Director of Classifications  
Bureau of Labor Law

#### **BUILDING CLEANER AND MAINTAINER (NON-RESIDENTIAL)**

##### **Building Class "A" Handyperson (Over 280,000 square feet gross area)**

(Includes all building service employees that, by training and experience, possess a certain amount of mechanical or technical skill and devote more than fifty (50) percent of their working time in a building to work involving such skills.)

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$30.52  
Supplemental Benefit Rate per Hour: \$13.78  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$31.27  
Supplemental Benefit Rate per Hour: \$14.34  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

##### **Building Class "A" Foreperson, Starter (Over 280,000 square feet gross area)**

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$30.41

Supplemental Benefit Rate per Hour: \$13.78  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$31.16

Supplemental Benefit Rate per Hour: \$14.34  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

##### **Building Class "A" Cleaner/Porter, Elevator Operator, Exterminator, Fire Safety Director (Over 280,000 square feet gross area)**

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$27.95  
Supplemental Benefit Rate per Hour: \$13.78

New Hire Wage Rate per Hour:  
0-21 months of employment - \$20.96  
22-42 months of employment - \$ 23.76

New Hire Supplemental Benefit Rate per Hour:  
0-3 months of employment - \$0.00  
4-12 months of employment - \$10.39  
13-24 months of employment - \$13.46

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$28.65  
Supplemental Benefit Rate per Hour: \$14.34

New Hire Wage Rate per Hour:  
0-21 months of employment - \$21.49  
22-42 months of employment - \$ 24.35

New Hire Supplemental Benefit Rate per Hour:  
0-3 months of employment - \$0.00  
4-12 months of employment - \$10.84  
13-24 months of employment - \$14.01

##### **Building Class "B" Handyperson (Over 120,000 and less than 280,000 square feet gross area)**

(Includes all building service employees that, by training and experience, possess a certain amount of mechanical or technical skill and devote more than fifty (50) percent of their working time in a building to work involving such skills.)

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$30.49  
Supplemental Benefit Rate per Hour: \$13.78  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$31.24  
Supplemental Benefit Rate per Hour: \$14.34  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

##### **Building Class "B" Foreperson, Starter (Over 120,000 and less than 280,000 square feet gross area)**

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$30.38  
Supplemental Benefit Rate per Hour: \$13.78  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$31.13  
Supplemental Benefit Rate per Hour: \$14.34  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

##### **Building Class "B" Cleaner/Porter, Elevator Operator, Exterminator, Fire Safety Director (Over 120,000 and less than 280,000 square feet gross area)**

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$27.92  
Supplemental Benefit Rate per Hour: \$13.78

New Hire Wage Rate per Hour:  
0-21 months of employment - \$20.94  
22-42 months of employment - \$ 23.73

New Hire Supplemental Benefit Rate per Hour:  
0-3 months of employment - \$0.00  
4-12 months of employment - \$10.39  
13-24 months of employment - \$13.46

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$28.62  
Supplemental Benefit Rate per Hour: \$14.34

New Hire Wage Rate per Hour:  
0-21 months of employment - \$21.46

22-42 months of employment - \$ 24.32

New Hire Supplemental Benefit Rate per Hour:

- 0-3 months of employment - \$0.00
- 4-12 months of employment - \$10.84
- 13-24 months of employment - \$14.01

**Building Class "C" Handyperson (Less than 120,000 square feet gross area)**

(Includes all building service employees that, by training and experience, possess a certain amount of mechanical or technical skill and devote more than fifty (50) percent of their working time in a building to work involving such skills.)

Effective Period: 7/1/2021 - 12/31/2021

Wage Rate per Hour: \$30.45

Supplemental Benefit Rate per Hour: \$13.78

Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022

Wage Rate per Hour: \$31.20

Supplemental Benefit Rate per Hour: \$14.34

Supplemental Note: for new hire 0-3 months of employment - \$0.00

**Building Class "C" Foreperson, Starter (Less than 120,000 square feet gross area)**

Effective Period: 7/1/2021 - 12/31/2021

Wage Rate per Hour: \$30.34

Supplemental Benefit Rate per Hour: \$13.78

Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022

Wage Rate per Hour: \$31.09

Supplemental Benefit Rate per Hour: \$14.34

Supplemental Note: for new hire 0-3 months of employment - \$0.00

**Building Class "C" Cleaner/Porter, Elevator Operator, Exterminator, Fire Safety Director (Less than 120,000 square feet gross area)**

Effective Period: 7/1/2021 - 12/31/2021

Wage Rate per Hour: \$27.87

Supplemental Benefit Rate per Hour: \$13.78

New Hire Wage Rate per Hour:

- 0-21 months of employment - \$20.90
- 22-42 months of employment - \$ 23.69

New Hire Supplemental Benefit Rate per Hour:

- 0-3 months of employment - \$0.00
- 4-12 months of employment - \$10.39
- 13-24 months of employment - \$13.46

Effective Period: 1/1/2022 - 6/30/2022

Wage Rate per Hour: \$28.57

Supplemental Benefit Rate per Hour: \$14.34

New Hire Wage Rate per Hour:

- 0-21 months of employment - \$21.43
- 22-42 months of employment - \$ 24.29

New Hire Supplemental Benefit Rate per Hour:

- 0-3 months of employment - \$0.00
- 4-12 months of employment - \$10.84
- 13-24 months of employment - \$14.01

For all BUILDING CLEANER AND MAINTAINER (NON-RESIDENTIAL) titles:

New Hire: Shall be defined as an employee who has not worked any hours with the Employer or at the Facility during the previous six-month period.

Months of Employment: Shall be defined as an Employee's total length of service with the Employer or at the Facility, whichever is greater.

Vacation Relief Employee: Employees hired to replace vacationing employees only, may be paid 60% of wage and no benefits for up to 5 months.

The paid holidays, vacation and sick leave listed below must be paid or provided in addition to the hourly supplemental benefit rate.

**Overtime Description**

Supplemental Benefits shall be paid for each hour paid, up to forty (40) paid hours per week.

Time and one half the regular rate for Saturday and Sunday, unless normal business at the Facility includes weekend operations.

**Overtime**

Time and one half the regular rate after an 8 hour day.

Time and one half the regular rate for work on a holiday plus the day's pay.  
Time and one half the regular hourly rate after 40 straight time hours in any work week.

**Paid Holidays**

- New Year's Day
- President's Day
- Good Friday
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Thanksgiving Day
- Day after Thanksgiving
- Christmas Day

**Vacation**

- Less than 6 months of work.....no vacation
  - 6 months of work.....three (3) days
  - 1 year of work.....ten (10) days
  - 5 years of work.....fifteen (15) days
  - 15 years of work.....twenty (20) days
  - 21 years of work.....twenty-one (21) days
  - 22 years of work.....twenty-two (22) days
  - 23 years of work.....twenty-three (23) days
  - 24 years of work.....twenty-four (24) days
  - 25 years or more of work.....twenty-five (25) days
- Plus two Personal Days per year.

**Sick Leave:**

10 sick days per year.  
Unused sick leave paid in the succeeding January, one full day pay for each unused sick day.

If, pursuant to U.S. Centers for Disease Control and Prevention, NYS Department of Health, and/or NYC Department of Health and Mental Hygiene guidelines, an Employer directs an employee or employees to self-quarantine or self-isolate because of a worksite exposure to COVID-19, such employee will be paid two (2) weeks of paid leave without reduction of any such affected employee's existing paid leave entitlements.

(Local #32 B/J)

**BUILDING CLEANER AND MAINTAINER (RESIDENTIAL)**

**Residential Building Handyperson**

(Includes all building service employees that, by training and experience, possess a certain amount of mechanical or technical skill and devote more than fifty (50) percent of their working time in a building to work involving such skills.)

Effective Period: 7/1/2021 - 12/31/2021

Wage Rate per Hour: \$29.08

Supplemental Benefit Rate per Hour: \$13.71

Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022

Wage Rate per Hour: \$29.08

Supplemental Benefit Rate per Hour: \$14.26

Supplemental Note: for new hire 0-3 months of employment - \$0.00

**Residential Building Cleaner/Porter, Doorperson, Elevator Operator**

(Includes all building service employees that keep buildings in clean and orderly condition, provide services to assist tenants such as with elevators, mail, keys and opening doors, and screen and announce visitors.)

Effective Period: 7/1/2021 - 12/31/2021

Wage Rate per Hour: \$26.45

Supplemental Benefit Rate per Hour: \$13.71

New Hire Wage Rate per Hour:

- 0-21 months of employment - \$19.84
- 22-42 months of employment - \$ 22.48

New Hire Supplemental Benefit Rate per Hour:

- 0-3 months of employment - \$0.00
- 4-12 months of employment - \$10.39
- 13-24 months of employment - \$13.46

Effective Period: 1/1/2022 - 6/30/2022

Wage Rate per Hour: \$26.45

Supplemental Benefit Rate per Hour: \$14.26

New Hire Wage Rate per Hour:

- 0-21 months of employment - \$19.84
- 22-42 months of employment - \$ 22.48

New Hire Supplemental Benefit Rate per Hour:

0-3 months of employment - \$0.00  
4-12 months of employment - \$10.84  
13-24 months of employment - \$14.01

**For all BUILDING CLEANER AND MAINTAINER (RESIDENTIAL) titles:**

**New Hire:** Shall be defined as an employee who has not worked any hours with the Employer or at the Facility during the previous six-month period.

**Months of Employment:** Shall be defined as an Employee's total length of service with the Employer or at the Facility, whichever is greater.

**Vacation Relief Employee:** Employees hired to replace vacationing employees only, may be paid 60% of wage and no benefits for up to 5 months.

The paid holidays, vacation and sick leave listed below must be paid or provided in addition to the hourly supplemental benefit rate.

**Overtime Description**

Supplemental Benefits shall be paid for each hour paid, up to forty (40) paid hours per week.

**Overtime**

Time and one half the regular rate after an 8 hour day.

Time and one half the regular rate for work on a holiday plus the day's pay.

Time and one half the regular hourly rate after 40 straight time hours in any work week.

**Paid Holidays**

- New Year's Day
- Martin Luther King Jr. Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Election Day
- Thanksgiving Day
- Christmas Day

**Vacation**

- 6 months.....three (3) days
  - 1 year.....ten (10) days
  - 5 years.....fifteen (15) days
  - 15 years.....twenty (20) days
  - 21 years.....twenty-one (21) days
  - 22 years.....twenty-two (22) days
  - 23 years.....twenty-three (23) days
  - 24 years.....twenty-four (24) days
  - 25 years.....twenty-five (25) days
- Plus two Personal Days per year.

**SICK LEAVE**

After 1 year of service.....ten (10) days per year

If, pursuant to U.S. Centers for Disease Control and Prevention, NYS Department of Health, and/or NYC Department of Health and Mental Hygiene guidelines, an Employer directs an employee or employees to self-quarantine or self-isolate because of a worksite exposure to COVID-19, such employee will be paid two (2) weeks of paid leave without reduction of any such affected employee's existing paid leave entitlements.

(Local #32 B/J)

**BUILDING HVAC SERVICES OPERATOR**

Engineer (Refrigeration)

Effective Period: 7/1/2021 - 12/31/2021

Wage Rate per Hour: \$45.17

Supplemental Benefit Rate per Hour: \$21.56

New Hire Wage Rate: First 2 years of employment as an Engineer in the industry - \$40.65

New Hire Supplemental Benefit Rate: First 2 years of employment as an Engineer in the industry - \$21.35

Effective Period: 1/1/2022 - 6/30/2022

Wage Rate per Hour: \$46.53

Supplemental Benefit Rate per Hour: \$22.57

New Hire Wage Rate: First 2 years of employment as an Engineer in the industry - \$41.88

New Hire Supplemental Benefit Rate: First 2 years of employment as an Engineer in the industry - \$22.36

Fireperson

Fireperson (Helper): Assist the Engineer

Effective Period: 7/1/2021 - 12/31/2021

Wage Rate per Hour: \$35.17

Supplemental Benefit Rate per Hour: \$21.10

Effective Period: 1/1/2022 - 6/30/2022

Wage Rate per Hour: \$36.23

Supplemental Benefit Rate per Hour: \$22.10

Please note that the NYC Comptroller's Office does not publish rates for the Stationary Engineer title.

For all BUILDING HVAC SERVICES OPERATOR titles: Supplemental Benefits shall be paid for each hour paid (excluding paid sick days).

The paid holidays and vacation leave listed below must be paid or provided in addition to the hourly supplemental benefit rate.

**Overtime Description**

All hours worked on a holiday shall be paid at two and one half times the regular wage rate in lieu of the paid day off.

**Overtime**

Time and one half the regular rate after an 8 hour day.

Time and one half the regular rate for Saturday.

Time and one half the regular rate for Sunday.

**Paid Holidays**

- New Year's Day
- Memorial Day
- Independence Day
- Labor Day
- Thanksgiving Day
- Christmas Day
- Plus six (6) floating Holidays

**Vacation**

- 6 months ..... three (3) days
- 1 year ..... ten (10) days
- 5 years ..... fifteen (15) days
- 15 years ..... twenty (20) days
- 21 years..... twenty-one (21) days
- 22 years ..... twenty-two (22) days
- 23 years ..... twenty-three (23) days
- 24 years ..... twenty-four (24) days
- 25 years ..... twenty-five (25) days

(Local #94)

**CLEANER (PARKING GARAGE)**

Garage Cleaner

Effective Period: 7/1/2021 - 6/30/2022

Wage Rate per Hour: \$16.11

Supplemental Benefit Rate per Hour: \$2.16

**Overtime**

Time and one half the regular rate after an 8 hour day.

Time and one half the regular hourly rate after 40 straight time hours in any work week.

(Based on data from NYS Department of Labor Occupational Employment Statistics and US Department of Labor Bureau of Labor Statistics and Minimum Wage Law)

**FUEL OIL**

Fuel Oil, Coal, Fuel Gas, Petroleum Product Chauffeur (5th Year and above)

Effective Period: 7/1/2021 - 1/24/2022

Wage Rate per Hour: \$36.96

Supplemental Benefit Rate per Hour: \$25.12

Effective Period: 1/25/2022 - 6/30/2022

Wage Rate per Hour: \$37.96

Supplemental Benefit Rate per Hour: \$25.12

Fuel Oil, Coal, Fuel Gas, Petroleum Product Chauffeur (4th Year)

Effective Period: 7/1/2021 - 1/24/2022

Wage Rate per Hour: \$34.35

Supplemental Benefit Rate per Hour: \$25.12

Effective Period: 1/25/2022 - 6/30/2022

Wage Rate per Hour: \$35.35

Supplemental Benefit Rate per Hour: \$25.12

Fuel Oil, Coal, Fuel Gas, Petroleum Product Chauffeur (3rd Year)

Effective Period: 7/1/2021 - 1/24/2022

Wage Rate per Hour: \$32.35

Supplemental Benefit Rate per Hour: \$25.12

Effective Period: 1/25/2022 - 6/30/2022

Wage Rate per Hour: \$33.35
Supplemental Benefit Rate per Hour: \$25.12
Fuel Oil, Coal, Fuel Gas, Petroleum Product Chauffeur (2nd Year)

Effective Period: 7/1/2021 - 1/24/2022
Wage Rate per Hour: \$30.35
Supplemental Benefit Rate per Hour: \$25.12

Effective Period: 1/25/2022 - 6/30/2022
Wage Rate per Hour: \$31.35
Supplemental Benefit Rate per Hour: \$25.12

Fuel Oil, Coal, Fuel Gas, Petroleum Product Chauffeur (1st Year)

Effective Period: 7/1/2021 - 1/24/2022
Wage Rate per Hour: \$28.35
Supplemental Benefit Rate per Hour: \$25.12

Effective Period: 1/25/2022 - 6/30/2022
Wage Rate per Hour: \$29.35
Supplemental Benefit Rate per Hour: \$25.12

For all FUEL OIL titles:

The paid holidays, vacation and sick leave listed below must be paid or provided in addition to the hourly supplemental benefit rate.

Overtime
Time and one half the regular rate after an 8 hour day.
Time and one half the regular rate for Saturday.
Double time the regular rate for Sunday.

Overtime Holidays
Double time the regular rate for work on the following holiday(s).

- Martin Luther King Jr. Day
Lincoln's Birthday
Washington's Birthday
Memorial Day
Independence Day
Labor Day
Columbus Day
Election Day
Veteran's Day

Triple time the regular rate for work on the following holiday(s).
New Year's Day
Thanksgiving Day
Christmas Day

- Paid Holidays
New Year's Day
Martin Luther King Jr. Day
Lincoln's Birthday
Washington's Birthday
Memorial Day
Independence Day
Labor Day
Columbus Day
Election Day
Veteran's Day
Thanksgiving Day
Christmas Day

Vacation
Less than 75 days worked.....no vacation.
75 days worked, but less than 110 days worked in a calendar year.....five (5) days the following year.
110 days or more worked in a calendar year.....ten (10) days the following year.

SICK LEAVE:
1 day sick leave earned for each 40 days worked in the preceding calendar year for a maximum of five (5) days per calendar year.

(Local #553)

LANDSCAPING AND GROUNDSKEEPING WORKER

Landscaper / Groundskeeper

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$22.34
Supplemental Benefit Rate per Hour: \$2.16

Tree Trimmers and Pruners

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$36.96
Supplemental Benefit Rate per Hour: \$2.16

Overtime
Time and one half the regular rate after an 8 hour day.
Time and one half the regular hourly rate after 40 straight time hours in any work week.

(Based on data from NYS Department of Labor Occupational Employment Statistics and US Department of Labor Bureau of Labor Statistics)

LOCKSMITH

Locksmith

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$28.86
Supplemental Benefit Rate per Hour: \$7.08

Overtime
Time and one half the regular rate after an 8 hour day.
Time and one half the regular hourly rate after 40 straight time hours in any work week.

(Based on data from NYS Department of Labor Occupational Employment Statistics and US Department of Labor Bureau of Labor Statistics)

MAINTENANCE WORKER, MACHINERY

Mechanic

Performs routine machinery maintenance and minor repairs.

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$34.01
Supplemental Benefit Rate per Hour: \$7.08

Mechanic Helper

Lubricates machinery, cleans and changes parts, assists Mechanics.

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$22.30
Supplemental Benefit Rate per Hour: \$7.08

Overtime
Time and one half the regular rate after an 8 hour day.
Time and one half the regular hourly rate after 40 straight time hours in any work week.

(Based on data from NYS Department of Labor Occupational Employment Statistics and US Department of Labor Bureau of Labor Statistics)

MEDICAL WASTE REMOVAL

Driver

Effective Period: 7/1/2021 - 3/31/2022
Wage Rate per Hour: \$25.02
Supplemental Benefit Rate per Hour: \$11.98

Effective Period: 4/1/2022 - 6/30/2022
Wage Rate per Hour: \$25.97
Supplemental Benefit Rate per Hour: \$12.77

Helper

Effective Period: 7/1/2021 - 3/31/2022
Wage Rate per Hour: \$21.27
Supplemental Benefit Rate per Hour: \$11.98

Effective Period: 4/1/2022 - 6/30/2022
Wage Rate per Hour: \$22.22
Supplemental Benefit Rate per Hour: \$12.77

Tractor Trailer Driver

Effective Period: 7/1/2021 - 3/31/2022
Wage Rate per Hour: \$27.52
Supplemental Benefit Rate per Hour: \$11.98

Effective Period: 4/1/2022 - 6/30/2022
Wage Rate per Hour: \$28.47
Supplemental Benefit Rate per Hour: \$12.77

Overtime Description
Time and one half the regular hourly rate after an 8 hour day or after 40 straight time hours in any work week. The seventh day of work in a workweek is paid at double time the regular hourly rate. Time and one half the regular hourly rate for work on a holiday plus day's pay for below paid holidays.

For all MEDICAL WASTE REMOVAL titles:

The paid holidays and vacation leave listed below must be paid or provided in addition to the hourly supplemental benefit rate.

Paid Holidays  
New Year's Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day

Vacation  
1 year of service but less than five years.....ten (10) days  
5 years of service but less than ten years.....fifteen (15) days  
10 years of service.....sixteen (16) days  
11 years.....seventeen (17) days  
12 years.....eighteen (18) days  
13 years.....nineteen (19) days  
14 years.....twenty (20) days  
20 years.....twenty-one (21) days  
21 years.....twenty-two (22) days  
22 years.....twenty-three (23) days  
23 years.....twenty-four (24) days  
24 years.....twenty-five (25) days  
Plus 2 Personal Days

(Local #813)

**MOVER - OFFICE FURNITURE AND EQUIPMENT**

Heavy and Tractor Trailer Truck Driver

Tractor-trailer combination or a truck with a capacity of at least 26,000 pounds Gross Vehicle Weight (GVW)

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$30.88  
Supplemental Benefit Rate per Hour: \$5.68

Light Truck Driver

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$23.22  
Supplemental Benefit Rate per Hour: \$5.68

Laborer and Freight, Stock, and Material Mover, Hand

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$19.59  
Supplemental Benefit Rate per Hour: \$5.68

Packer and Packager, Hand

Packs, wraps and labels office furniture and equipment and loads it onto dollies and into elevators.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$16.28  
Supplemental Benefit Rate per Hour: \$5.68

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular hourly rate after 40 straight time hours in any work week.

(Based on data from NYS Department of Labor Occupational Employment Statistics and US Department of Labor Bureau of Labor Statistics and Minimum Wage Law)

**REFUSE REMOVER**

Refuse Remover

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$32.90  
Supplemental Benefit Rate per Hour: \$5.68

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular hourly rate after 40 straight time hours in any work week.

(Based on data from NYS Department of Labor Occupational Employment Statistics and US Department of Labor Bureau of Labor Statistics)

**SECURITY GUARD (ARMED)**

Security Guard (Armed)

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$30.35  
Supplemental Benefit Rate per Hour: \$6.91  
Supplemental Note: for new employee 0-120 days of employment - \$6.36; for new employee 121 days - 2 years of employment - \$6.47

Effective Period: 1/1/2022 - 6/30/2022

Wage Rate per Hour: \$30.35  
Supplemental Benefit Rate per Hour: \$7.26  
Supplemental Note: for new employee 0-120 days of employment - \$6.71; for new employee 121 days - 2 years of employment - \$6.82

Overtime Description  
If President's Day is not observed, then the employer may substitute another holiday not listed below. If an employer observes a holiday not listed they may substitute said holiday with one on the list.

A guard is eligible for Paid Holidays after one year of continuous employment.  
A guard who works a holiday is paid the regular rate plus receives the paid holiday.

For all Security Guard (Armed) titles:  
Supplemental Benefits shall be paid for each hour paid, up to forty (40) paid hours per week.

Months of employment shall be defined as an Employee's length of service with the Employer or at the Facility, whichever is greater.

The paid holidays, vacation and sick leave listed below must be paid or provided in addition to the hourly supplemental benefit rate.

Overtime  
Time and one half the regular rate after an 8 hour day.  
Time and one half the regular hourly rate after 40 straight time hours in any work week.

Paid Holidays  
New Year's Day  
Martin Luther King Jr. Day  
President's Day  
Memorial Day  
Independence Day  
Labor Day  
Thanksgiving Day  
Christmas Day  
Personal Day

Vacation	
Months on payroll	Vacation with Pay
6	3 days
12	1 week
24	2 weeks
60	3 weeks
180	4 weeks
300	5 weeks

Sick Leave  
0 - 120 days of employment, employees will accumulate one (1) hour for every thirty (30) hours worked  
121 days - 36 months of employment, employees will receive five (5) paid sick days  
36 months or more of employment, employees will receive six (6) paid sick days

If, pursuant to U.S. Centers for Disease Control and Prevention, NYS Department of Health, and/or NYC Department of Health and Mental Hygiene guidelines, an Employer directs an employee or employees to self-quarantine or self-isolate because of a worksite exposure to COVID-19, such employee will be paid two (2) weeks of paid leave without reduction of any such affected employee's existing paid leave entitlements.

(Local #32B/J)

**SECURITY GUARD (UNARMED)**

(Security Guards in residential buildings are limited to monitoring and patrolling the interior and exterior of the building premises for the purpose of protecting the safety and property of the building, its residents, visitors and employees.)

Security Guard (Unarmed) 0 - 36 months

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$16.02  
Supplemental Benefit Rate per Hour: \$6.91  
Supplemental Note: for new employee 0-120 days of employment - \$6.36, for new employee 121 days - 2 years of employment - \$6.47

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$16.02  
Supplemental Benefit Rate per Hour: \$7.26  
Supplemental Note: for new employee 0-120 days of employment - \$6.71, for new employee 121 days - 2 years of employment - \$6.82

Security Guard (Unarmed)



Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$18.85  
Supplemental Benefit Rate per Hour: \$6.91

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$18.85  
Supplemental Benefit Rate per Hour: \$7.26

**Overtime Description**

If President's Day is not observed, then the employer may substitute another holiday not listed below. If an employer observes a holiday not listed they may substitute said holiday with one on the list.

A guard is eligible for Paid Holidays after one year of continuous employment.

A guard who works a holiday is paid the regular rate plus receives the paid holiday.

For all Security Guard (Unarmed) titles:  
Supplemental Benefits shall be paid for each hour paid, up to forty (40) paid hours per week.

New Hire: Shall be defined as an employee who has not worked any hours with the Employer or at the Facility during the previous six-month period.

Months of employment shall be defined as an Employee's length of service with the Employer or at the Facility, whichever is greater.

The paid holidays, vacation and sick leave listed below must be paid or provided in addition to the hourly supplemental benefit rate.

**Overtime**

Time and one half the regular rate after an 8 hour day.

Time and one half the regular hourly rate after 40 straight time hours in any work week.

**Paid Holidays**

- New Year's Day
- Martin Luther King Jr. Day
- President's Day
- Memorial Day
- Independence Day
- Labor Day
- Thanksgiving Day
- Christmas Day
- Personal Day

**Vacation**

Months on payroll	Vacation with Pay
6	3 days
12	1 week
24	2 weeks
60	3 weeks
180	4 weeks
300	5 weeks

**Sick Leave**

0 - 120 days of employment, employees will accumulate one (1) hour for every thirty (30) hours worked

121 days - 36 months of employment, employees will receive five (5) paid sick days

36 months or more of employment, employees will receive six (6) paid sick days

If, pursuant to U.S. Centers for Disease Control and Prevention, NYS Department of Health, and/or NYC Department of Health and Mental Hygiene guidelines, an Employer directs an employee or employees to self-quarantine or self-isolate because of a worksite exposure to COVID-19, such employee will be paid two (2) weeks of paid leave without reduction of any such affected employee's existing paid leave entitlements.

(Local #32B/J)

**WINDOW CLEANER**

Window Cleaner

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$30.77  
Supplemental Benefit Rate per Hour: \$13.80  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$30.77  
Supplemental Benefit Rate per Hour: \$14.36  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

Power Operated Scaffolds, Manual Scaffolds, and Boatswain Chairs

Effective Period: 7/1/2021 - 12/31/2021

Wage Rate per Hour: \$33.52  
Supplemental Benefit Rate per Hour: \$13.80  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$33.52  
Supplemental Benefit Rate per Hour: \$14.36  
Supplemental Note: for new hire 0-3 months of employment - \$0.00

Window Cleaner Apprentice (0 - 3 months)

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$22.95  
Supplemental Benefit Rate per Hour: None

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$22.95  
Supplemental Benefit Rate per Hour: None

Window Cleaner Apprentice (4 - 7 months)

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$24.76  
Supplemental Benefit Rate per Hour: \$13.80

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$24.76  
Supplemental Benefit Rate per Hour: \$14.36

Window Cleaner Apprentice (8 - 11 months)

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$26.20  
Supplemental Benefit Rate per Hour: \$13.80

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$26.20  
Supplemental Benefit Rate per Hour: \$14.36

Window Cleaner Apprentice (12 - 15 months)

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$27.67  
Supplemental Benefit Rate per Hour: \$13.80

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$27.67  
Supplemental Benefit Rate per Hour: \$14.36

Window Cleaner Apprentice (16 - 17 months)

Effective Period: 7/1/2021 - 12/31/2021  
Wage Rate per Hour: \$29.12  
Supplemental Benefit Rate per Hour: \$13.80

Effective Period: 1/1/2022 - 6/30/2022  
Wage Rate per Hour: \$29.12  
Supplemental Benefit Rate per Hour: \$14.36

For all WINDOW CLEANER titles:

Months of employment shall be defined as an Employee's length of service with the Employer or at the Facility, whichever is greater.

Pursuant to Labor Law § 231 (7), only apprentices who are individually registered in a bona fide program to which the employer contractor is a participant, registered with the New York State Department of Labor, may be paid at the apprentice rates. Apprentices who are not so registered or who do not meet the other requirements of Labor Law § 231 (7) must be paid as journey persons.

Supplemental Benefits shall be paid for each hour paid, up to forty (40) paid hours per week.

The paid holidays, vacation and sick leave listed below must be paid or provided in addition to the hourly supplemental benefit rate.

**Overtime**

Time and one half the regular rate after an 8 hour day.

Time and one half the regular rate for Saturday.

Double time the regular rate for Sunday.

Time and one half the regular rate for work on a holiday plus the day's pay.

**Paid Holidays**

- New Year's Day
- Martin Luther King Jr. Day
- President's Day
- Good Friday
- Memorial Day
- Independence Day
- Labor Day
- Columbus Day
- Thanksgiving Day
- Day after Thanksgiving
- Christmas Day

Personal Day

Vacation

After 7 months but less than 1 year of service.....five (5) days
1 year but less than 5 years of service.....ten (10) days
5 years of service but less than 15 years of service.....fifteen (15) days
15 years of service but less than 21 years of service.....twenty (20) days
21 year.....twenty-one (21) days
22 years.....twenty-two (22) days
23 years.....twenty-three (23) days
24 years.....twenty-four (24) days
25 years or more of service.....twenty-five (25) days
Plus 1 day per year for medical visit

SICK LEAVE:

10 days after one year worked. Unused sick days from the previous year are to be paid to the employee.

If, pursuant to U.S. Centers for Disease Control and Prevention, NYS Department of Health, and/or NYC Department of Health and Mental Hygiene guidelines, an Employer directs an employee or employees to self-quarantine or self-isolate because of a worksite exposure to COVID-19, such employee will be paid two (2) weeks of paid leave without reduction of any such affected employee's existing paid leave entitlements.

(Local #32 B/J)

NYC SERVICE CONTRACTORS PREVAILING WAGE AND LIVING WAGE SCHEDULE

NYC ADMINISTRATIVE CODE § 6-109

A City service contractor or subcontractor that provides homecare services, day care services, head start services or services to persons with cerebral palsy must pay its covered employees no less than the living wage and must provide its covered employees healthcare benefits or must supplement their hourly wage rate by an amount no less than the health benefits supplement rate.

A City service contractor or subcontractor that provides building services, food services or temporary office services must pay its covered employees no less than the living wage or the prevailing wage, whichever is greater. Where the living wage is greater than the prevailing wage, the city service contractor or subcontractor must either provide its covered employees healthcare benefits or must supplement their hourly wage rate by an amount no less than the health benefits supplement rate. Where the prevailing wage is greater than the living wage, the city service contractor or subcontractor must provide its employees the prevailing wage and supplements.

In accordance with NYC Administrative Code § 6-109, the Comptroller of the City of New York has promulgated this schedule of wages and supplemental benefits for the above services on New York City contracts for non-emergency work in excess of the small purchase limit set by the Procurement Policy Board. This schedule is required to be annexed to and form part of the contract pursuant to § 6-109.

This schedule is a compilation of separate determinations of the prevailing rate of wage and supplements made by the Comptroller for each trade classification listed herein pursuant to NYC Administrative Code section § 6-109. The source of the wage and supplement rates, whether a collective bargaining agreement, survey data or other, is listed at the end of each classification.

Agency Chief Contracting Officers should contact the Bureau of Labor Law's Classification Unit with any questions concerning trade classifications, prevailing or living wage rates or practices with respect to procurement on City service contracts. Contractors are advised to review this schedule before bidding on City service contracts. Contractors with questions concerning trade classifications, prevailing or living wage rates or practices with respect to City service contracts in the procurement stage must contact the contracting agency responsible for the procurement.

Any error as to compensation under the prevailing or living wage law or other information as to trade classification, made by the contracting agency in the contract documents or in any other communication, will not preclude a finding against the contractor of prevailing wage violation.

Any questions concerning trade classifications, prevailing or living wage rates or practices on City service contracts that have already been awarded may be directed to the Bureau of Labor Law's Classification Unit by calling (212) 669-4443. All callers must have the agency name and contract

registration number available when calling with questions on City service contracts. Please direct all other compliance issues to: Bureau of Labor Law, Attn: Wasył Kinach, P.E., Office of the Comptroller, 1 Centre Street, Room 651, New York, NY 10007; Fax (212) 669-4002.

NYC Administrative Code § 6-109 requires contractors and subcontractors to post on the site of the work a current copy of this schedule of wages and supplemental benefits.

This schedule is applicable to work performed during the effective period, unless otherwise noted. Changes to this schedule are published on our website comptroller.nyc.gov/wages. Contractors must pay the wages and supplements in effect when the City service employee performs the work. Preliminary schedules for future one-year periods appear in the City Record on or about June 1 each succeeding year. Final schedules appear on or about July 1 in the City Record and on our website comptroller.nyc.gov/wages.

Contractors are solely responsible for maintaining original payroll records delineating, among other things, the hours worked by each employee within a given classification.

In order to meet their obligation to provide prevailing supplemental benefits to each covered employee, employers must either:

- 1) Provide bona fide fringe benefits which cost the employer no less than the prevailing supplemental benefits rate; or
2) Supplement the employee's hourly wage by an amount no less than the prevailing supplemental benefits rate; or
3) Provide a combination of bona fide fringe benefits and wage supplements which cost the employer no less than the prevailing supplemental benefits rate in total.

The New York State Minimum Wage Act, Labor Law § 652 et seq., may require a higher wage than the living wage set forth in this schedule. Although prevailing wage laws do not require employers to provide bona fide fringe benefits (as opposed to wage supplements) to their employees, other laws may. For example, the Employee Retirement Income Security Act, 29 U.S.C. § 1001 et seq., the Patient Protection and Affordable Care Act, 42 U.S.C. § 18001 et seq., and the New York City Paid Sick Leave Law, N.Y.C. Admin. Code § 20-911 et seq., require certain employers to provide certain benefits to their employees. Labor agreements to which employers are a party may also require certain benefits. The Comptroller's Office does not enforce these laws or agreements.

Employers must provide prevailing supplemental benefits at the straight time rate for each hour worked unless otherwise noted in the classification.

For more information, please refer to the Comptroller's Prevailing Wage/Living Wage and Minimum Average Hourly Wage Law Regulations in Title 44 of the Rules of the City of New York, Chapters 2 and 3, available at comptroller.nyc.gov/wages.

Wasył Kinach, P.E.
Director of Classifications
Bureau of Labor Law

BUILDING CLEANER AND MAINTAINER (NON-RESIDENTIAL)

For the above building service classification, see the Building Service Employee Schedule: Labor Law Article 9, Real Property Tax Law 421-a, NYC Administrative Code 6-130.

BUILDING CLEANER AND MAINTAINER (RESIDENTIAL)

For the above building service classification, see the Building Service Employee Schedule: Labor Law Article 9, Real Property Tax Law 421-a, NYC Administrative Code 6-130.

CLEANER (PARKING GARAGE)

For the above building service classification, see the Building Service Employee Schedule: Labor Law Article 9, Real Property Tax Law 421-a, NYC Administrative Code 6-130.

DAY CARE SERVICES

Day Care Services

'Day Care Services' means provision of day care services through the city's center-based day care program administered under contract with the city's Administration for Children's Services. No other day care programs shall be covered, including family-based day care programs administered by city-contracted day care centers.

Effective Period: 7/1/2021 - 6/30/2022
Wage Rate per Hour: \$10.00

Supplemental Benefit Rate per Hour: \$1.50  
(NYC Administrative Code §6-109)

#### FOOD SERVICE EMPLOYEES

##### Cook

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$19.56  
Supplemental Benefit Rate per Hour: \$2.16

##### Cafeteria Attendant

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$18.61  
Supplemental Benefit Rate per Hour: \$2.16

##### Counter Attendant

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$15.51  
Supplemental Benefit Rate per Hour: \$2.16

##### Kitchen Helper / Dishwasher

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$16.55  
Supplemental Benefit Rate per Hour: \$2.16

##### Overtime

Time and one half the regular hourly rate after 40 straight time hours in any work week.

(Based on data from NYS Department of Labor Occupational Employment Statistics and US Department of Labor Bureau of Labor Statistics)

#### HEAD START SERVICES

##### Head Start Services

'Head Start Services' means provision of head start services through the city's center-based head start program administered under contract with the city's Administration for Children's Services. No other head start programs shall be covered.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$10.00  
Supplemental Benefit Rate per Hour: \$1.50  
(NYC Administrative Code §6-109)

#### HEMOCARE SERVICES

##### Home Care Services

'Homecare Services' means the provision of homecare services under the city's Medicaid Personal Care/Home Attendant or Housekeeping Programs, including but not limited to the In-Home Services for the Elderly Programs administered by the Department for the Aging.

For homecare services provided under the Personal Care Services program, the wage and supplemental benefit rate above shall apply only as long as the state and federal government maintain their combined aggregate proportionate share of funding and approved rates for homecare services in effect as of the date of the enactment of this section.

For contractors or subcontractors providing homecare services, the supplemental benefit rate may be waived by the terms of a bona fide collective bargaining agreement with respect to employees who have never worked a minimum of eighty (80) hours per month for two consecutive months for that covered employer, but such provision may not be waived for any employee once a minimum of eighty (80) hours for two consecutive months has been achieved.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$10.00  
Supplemental Benefit Rate per Hour: \$1.50  
(NYC Administrative Code §6-109)

#### LANDSCAPING AND GROUNDSKEEPING WORKER

For the above building service classification, see the Building Service Employee Schedule: Labor Law Article 9, Real Property Tax Law 421-a, NYC Administrative Code 6-130.

#### SECURITY GUARD (ARMED)

For the above building service classification, see the Building Service Employee Schedule: Labor Law Article 9, Real Property Tax Law 421-a, NYC Administrative Code 6-130.

#### SECURITY GUARD (UNARMED)

For the above building service classification, see the Building Service Employee Schedule: Labor Law Article 9, Real Property Tax Law 421-a, NYC Administrative Code 6-130.

#### SERVICES TO PERSONS WITH CEREBRAL PALSY

##### Services To Person With Cerebral Palsy

'Services to Persons with Cerebral Palsy' means provision of services which enable persons with cerebral palsy and related disabilities to lead independent and productive lives through an agency that provides health care, education, employment, housing and technology resources to such persons under contract with the city or the department of education.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$10.00  
Supplemental Benefit Rate per Hour: \$1.50  
(NYC Administrative Code §6-109)

#### TEMPORARY OFFICE SERVICES

##### Administrative Assistant

Provides high-level administrative support requiring analytical skills such as conducting research, preparing statistical reports and handling information requests, in addition to performing clerical functions such as preparing correspondence, receiving visitors, arranging conference calls and scheduling meetings. May also train and supervise lower-level clerical staff.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$39.03  
Supplemental Benefit Rate per Hour: \$4.85

##### Cashier

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$16.55  
Supplemental Benefit Rate per Hour: \$4.85

##### Computer Assistant

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$33.37  
Supplemental Benefit Rate per Hour: \$4.85

##### Data Entry Operator

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$20.23  
Supplemental Benefit Rate per Hour: \$4.85

##### File Clerk

Performs a wide variety of clerical duties including answering telephones, bookkeeping, typing or data entry, office machine operation and filing.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$19.95  
Supplemental Benefit Rate per Hour: \$4.85

##### Receptionist

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$19.55  
Supplemental Benefit Rate per Hour: \$4.85

##### Secretary

Performs clerical functions such as drafting correspondence, scheduling appointments and providing information to callers, in addition to performing duties of File Clerk.

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$22.31  
Supplemental Benefit Rate per Hour: \$4.85

##### Word Processor

Effective Period: 7/1/2021 - 6/30/2022  
Wage Rate per Hour: \$25.88  
Supplemental Benefit Rate per Hour: \$4.85

##### Overtime

Time and one half the regular hourly rate after 40 straight time hours in any work week.

(Based on data from NYS Department of Labor Occupational Employment Statistics and US Department of Labor Bureau of Labor Statistics or NYC Administrative Code §6-109)

**WINDOW CLEANER**

For the above building service classification, see the Building Service Employee Schedule: Labor Law Article 9, Real Property Tax Law 421-a, NYC Administrative Code 6-130.

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## MAYOR'S OFFICE OF ENVIRONMENTAL COORDINATION

### ■ NOTICE

#### Environmental Review Notifications of Commencement

#### Lead Agency Letter

Project Name	CEQR Number	Date	Borough	CD					
1 Wythe Avenue	21DCP075K	11/05/2020	Brooklyn	BK01	2586 Nostrand Avenue Rezoning	21DCP017K	07/22/2020	Brooklyn	BK14
103 Lee Avenue Rezoning	20DCP144K	07/10/2020	Brooklyn	BK01	261 Walton Avenue	20DCP156X	07/13/2020	Bronx	BX01
103-16 Van Wyck Expressway Rezoning	20DCP161Q	06/29/2020	Queens	QN10	2720 Hylan Boulevard	20DCP152R	05/26/2020	Staten Island	SI02
114 Kingsland Avenue	21BSA023K	10/28/2020	Brooklyn	BK01	2892 Nostrand Avenue Rezoning	20DCP148K	05/19/2020	Brooklyn	BK15
11th Street Long Island City Shelter	20DHS022Q	09/24/2020	Queens	QN01	315 Berry Street	21BSA026K	11/16/2020	Brooklyn	BK01
1284 East 19th Street	21BSA001K	07/2/2020	Brooklyn	BK14	319 West 38th Street	20HPD083M	12/22/2020	Manhattan	MN04
1289 Atlantic Avenue Rezoning	21DCP054K	12/03/2020	Brooklyn	BK03	33 Ridgefield Avenue	20DCP139R	05/05/2020	Staten Island	SI01
133 Beach 116th Street Overlay Rezoning	21DCP015Q	07/17/2020	Queens	QN14	342-346 East 104th Street aka 2017 First Avenue	21BSA004M	07/21/2020	Manhattan	MN11
135-35 Northern Boulevard	20BSA091Q	05/22/2020	Queens	QN07	343 Madison Avenue/ MTA HQ	21DCP020M	07/23/2020	Manhattan	MN05
138-50 Queens Boulevard	21DHS014Q	09/18/2020	Queens	QN08	346 Powers Avenue	21HPD002X	09/24/2020	Bronx	BX01
146-93 Guy R. Brewer Boulevard Rezoning	20DCP163Q	07/10/2020	Queens	QN13	39 Ainslie Street	21DHS019K	09/10/2020	Brooklyn	BK01
15 Parkville Avenue	21BSA024K	11/11/2020	Brooklyn	BK12	41 Summit Street Rezoning	21DCP005K	07/15/2020	Brooklyn	BK06
1500 Williamsbridge Road	21BSA016X	09/16/2020	Bronx	BX02	431 Concord Avenue Rezoning	21DCP007X	07/24/2020	Bronx	BX01
150th Street Spine Trunk Storm Sewer and Outfall at Bergen Basin	21DEP012Q	11/19/2020	Queens	QN10 QN12 QN13	44 New Lots Avenue	21BSA011K	09/09/2020	Brooklyn	BK16
161 Emerson Place	21BSA022K	10/28/2020	Brooklyn	BK02	44 Victory Boulevard	20DHS021R	04/30/2020	Staten Island	SI01
1610 Eastchester Road	19BSA147X	06/11/2020	Bronx	BX10	448 Dahill Road	21BSA009K	09/02/2020	Brooklyn	BK12
170-174 East 123rd Street	21DHS001M	08/17/2020	Manhattan	MN11	4541 Furman Avenue Rezoning	20DCP159X	08/07/2020	Bronx	BX12
175 Park Avenue (Formerly Project Commodore - Grand Hyatt East Midtown)	21DCP057M	10/22/2020	Manhattan	MN05	47-25 34th Street	21DOT006Q	12/02/2020	Queens	QN02
1763-1711 Amsterdam Avenue	20DHS017M	05/27/2020	Manhattan	MN09	506 Third Avenue	20DCP129K	05/27/2020	Brooklyn	BK06
179 27th Street	21BSA002K	07/17/2020	Brooklyn	BK07	58 Nixon Court Rezoning	21DCP056K	09/28/2020	Brooklyn	BK13
20-04 119th Street College Point Rezoning	20DCP164Q	06/29/2020	Queens	QN07	58 North 9th Street	20BSA080K	04/08/2020	Brooklyn	BK01
220 East 2nd Street	21BSA021K	10/09/2020	Brooklyn	BK12	624 Morris Avenue	21DCP089X	11/20/2020	Bronx	BX01
2300 Cropsy Avenue Rezoning	21DCP032K	08/25/2020	Brooklyn	BK11	68-19 Woodhaven Boulevard Rezoning	20DCP155Q	11/13/2020	Queens	QN06
2314 Jerome Avenue	21DHS008X	09/09/2020	Bronx	BX05	69 Adams Street	20DME004K	09/14/2020	Brooklyn	BK02
250 Water Street	21DCP084M	11/16/2020	Manhattan	MN01	737 Fourth Avenue Rezoning	19DCP127K	08/14/2020	Brooklyn	BK07
2500 Park Avenue	21BSA015X	09/14/2020	Bronx	BX02	77-39 Vleigh Place Rezoning	21DCP063Q	10/20/2020	Queens	QN08
					79 Quay Street Rezoning	21DCP010K	07/15/2020	Brooklyn	BK01
					811-817 Lexington Avenue	18HPD091K	10/28/2020	Brooklyn	BK03
					824 Metropolitan Avenue	20DCP110K	05/27/2020	Brooklyn	BK01
					83 Apollo Street	21DHS025K	11/18/2020	Brooklyn	BK01
					840 Atlantic Avenue	20DCP162K	08/07/2020	Brooklyn	BK08
					8401 Flatlands Avenue	20BSA083K	04/27/2020	Brooklyn	BK10
					85 Jay Street	21BSA014K	09/11/2020	Brooklyn	BK02
					85-94 66th Road	21BSA007Q	08/13/2020	Queens	QN06
					86 Fleet Place - ZR	21DCP047K	09/29/2020	Brooklyn	BK02
					8902 5th Avenue	21BSA018K	09/25/2020	Brooklyn	BK10
					95 and 105 Ridgeway Avenue	20BSA095R	06/12/2020	Staten Island	SI02
					97 West 169th Street	20HPD088X	12/08/2020	Bronx	BX04
					97-04 Sutphin Boulevard Rezoning	21DCP095Q	12/09/2020	Queens	QN12
					982 39th Street	20BSA089K	05/21/2020	Brooklyn	BK12
					98-81 Queens Boulevard	20DCP160Q	06/29/2020	Queens	QN06

Alley Creek Living Shoreline and Coastal Restoration	20DPR012Q	08/31/2020	Queens	QN11	Kissena Park Forest Restoration	21DPR010Q	10/19/2020	Queens	QN07
Arthur Avenue Hotel Rezoning	21DCP079X	12/23/2020	Bronx	BX06	Las Raices	20HPD002M	12/22/2020	Manhattan	MN11
Arverne East	20HPD081Q	07/31/2020	Queens	QN14	Liberty Avenue Transitional Single Adult Residence	21DHS004K	08/06/2020	Brooklyn	BK05
Battery Park and West Street Underpasses	21DOT003M	10/29/2020	Manhattan	MN01	Mannie Wilson Towers	21HPD012M	12/24/2020	Manhattan	MN09
Bay Breeze Park	20DPR011Q	05/26/2020	Queens	QN14	MAR- 925 Courtlandt Avenue	19CHA005X	09/23/2020	Bronx	BX03
Bayswater Park Forest Restoration	20DPR008Q	04/30/2020	Queens	QN14	Melrose Cluster	19HPD084X	10/20/2020	Bronx	BX01 BX02 BX03
Beach 67th Street Rezoning	21DCP048Q	09/10/2020	Queens	QN14	National Grid Storm Hardening	20DOT034Y	04/17/2020	Citywide	
Beach 79 Self Storage Rezoning	20DCP138Q	05/05/2020	Queens	QN14	Neighborhood Association for Inter-Cultural Affairs, Inc.	21DHS007X	09/21/2020	Bronx	BX01
Belt Parkway at Mill Basin	21DPR014K	11/17/2020	Brooklyn	BK18	New York Blood Center - Center East	21DCP080M	11/13/2020	Manhattan	MN08
Black Veterans for Social Justice - Duryea Place Transitional Single Adult Residence	21DHS022K	12/16/2020	Brooklyn	BK14	O+O 1611 & 1701 Purdy Street Parkchester Gardens	20HPD016X	06/09/2020	Bronx	BX09
Bowery Residents Committee - 10th Avenue Single Adult Shelter	21DHS011M	07/29/2020	Manhattan	MN12	Park 79 Preservation	20HPD031M	09/02/2020	Manhattan	MN07
Bowery Residents' Committee (BRC) Douglas Avenue Transitional Adult Family Residence	20DHS009Q	08/20/2020	Queens	QN12	Partial Removal of Snake Pond Dam	20DEP044U	05/20/2020	Upstate	
Brinkerhoff Avenue Demapping	20DCP154Q	05/29/2020	Queens	QN12	Pest & Vector Control Warehouse	21DOH001K	09/01/2020	Brooklyn	BK18
Broadway and 11th Street Rezoning	21DCP022Q	09/02/2020	Queens	QN01	Pier 42 Deck	21DPR003M	09/02/2020	Manhattan	MN03
Bronx Housing Network East 233rd Street Transitional Single Adult Residence	20DHS024X	06/02/2020	Bronx	BX12	Project Renewal West 11th Street Single Adult Employment Shelter	21DHS005M	07/28/2020	Manhattan	MN02
Center for Urban Community Services - Safe Haven Facility	21DHS010M	07/29/2020	Manhattan	MN01	Reconstruction of 17th Avenue Pedestrian Bridge Over Belt Parkway	20DPR009K	04/30/2020	Brooklyn	BK11
CI-113 Coney Island WWTP Engine Upgrade	16DEP012K	05/29/2020	Brooklyn	BK15	Reconstruction of 27th Avenue Pedestrian Bridge Over Belt Parkway	20DPR010K	04/30/2020	Brooklyn	BK13
Citywide Hotel Special Permit	21DCP111Y	12/21/2020	Citywide		Relocation of EMS Station 17	20FDO001X	05/07/2020	Bronx	BX04
Core Services Group - Transitional Families with Children Residence	20DHS023Q	05/19/2020	Queens	QN05	Resilient Edgemere Initiative Rezoning	21HPD009Q	12/17/2020	Queens	QN14
Core Services Group East 40th Street Transitional Adult Family Residence	21DHS023M	09/18/2020	Manhattan	MN06	Resilient Neighborhoods: Gerritsen Beach	21DCP051K	09/18/2020	Brooklyn	BK15
Crab Shanty Restaurant - 361 City Island Avenue	21DCP045X	09/08/2020	Bronx	BX10	Resilient Neighborhoods: Old Howard Beach	21DCP052Q	09/18/2020	Queens	QN10
Crescent Beach Park Additions	21DPR006R	12/11/2020	Staten Island	SI03	Resilient Neighborhoods: Sheepshead Bay	21DCP050K	09/18/2020	Brooklyn	BK15
Flatiron Expansion	21SBS001M	09/11/2020	Manhattan	MN04 MN05	River North (Liberty Towers)	20DCP140R	10/08/2020	Staten Island	SI01
Glenmore Manor	20HPD089K	12/22/2020	Brooklyn	BK16	Samaritan Daytop Village Inc 2nd Avenue Transitional Single Adult Residence	21DHS003K	07/20/2020	Brooklyn	BK07
Green Infrastructure Brooklyn Satellite Site	20DEP015K	06/03/2020	Brooklyn	BK01	Sherman Creek Boathouse	21DPR009M	12/16/2020	Manhattan	MN12
Highland Park- Dean Street Families with Children Shelter	21DHS021K	09/10/2020	Brooklyn	BK08	SI Special Districts Update	20DCP130R	12/21/2020	Staten Island	SI03 SI02 SI01
Indian Lake Shoreline Restoration and Water Quality Improvements	21DPR018X	12/28/2020	Bronx	BX03	Slowing the Spread of Emerald Ash Borer in NYC	21DPR008Y	10/05/2020	Citywide	
					Soho/NoHo Neighborhood Plan	21DCP059M	09/30/2020	Manhattan	MN02

St. Josephs - 1949 Bathgate Avenue	21DCP081X	11/17/2020	Bronx	BX06	150th Street Spine Trunk Storm Sewer and Outfall at Bergen Basin	21DEP012Q	12/22/2020	Queens	QN10 QN12 QN13
Standby Generator Upgrades (JA-179)	16DEP006Q	12/22/2020	Queens	QN10	1511 Fulton Avenue	18DHS008X	06/01/2020	Bronx	BX03
Starrett-Lehigh and Terminal Warehouse	21DCP103M	12/04/2020	Manhattan	MN04	165 Spencer Street	14BSA117K	06/26/2020	Brooklyn	BK03
Stevenson Commons	21DCP044X	09/04/2020	Bronx	BX09	1763-1711 Amsterdam Avenue	20DHS017M	9/29/2020	Manhattan	MN09
Sutter Avenue Rezoning	21DCP053K	9/18/2020	Brooklyn	BK05	214-32 Hillside Avenue Rezoning	20DCP082Q	08/03/2020	Queens	QN13
Suydam Street Rezoning	18DCP177K	10/30/2020	Brooklyn	BK04	23-25 Cleveland Place Text Amendment	15DCP138M	11/16/2020	Manhattan	MN02
The Bridge Safe Haven	21DHS012M	10/10/2020	Manhattan	MN09	245-01 Jamaica Avenue Rezoning	20DCP054Q	10/05/2020	Queens	QN13
Urban Pathways, Inc. Safe Haven Facility	20DHS007X	06/18/2020	Bronx	BX03	25 East 21st Street - Gramercy Condominium	19DCP058M	11/02/2020	Manhattan	MN05
Urban Resource Institute - Olmstead Avenue Families with Children Shelter	21DHS013X	11/06/2020	Bronx	BX09	251-77 Jericho Turnpike	19BSA025Q	11/09/2020	Queens	QN13
Urban Resource Institute - Walton Avenue	20DHS018X	05/27/2020	Bronx	BX05	261 Walton Avenue	20DCP156X	11/16/2020	Bronx	BX01
Urban Resource Institute Taylor Avenue Families with Children Residence	21DHS015X	08/20/2020	Bronx	BX09	300 Huntington Street	20DCP080K	11/16/2020	Brooklyn	BK06
West 141st Street Apartments	20HPD008M	10/30/2020	Manhattan	MN09	30-02 Newtown Avenue Rezoning	20DCP090Q	12/14/2020	Queens	QN01
West End 15 West 118th Street	20HPD049M	09/21/2020	Manhattan	MN10	310 East 14th Street - Mount Sinai Beth Israel	20BSA008M	06/15/2020	Manhattan	MN03
WestCOP - Nostrand Avenue Families with Children Shelter	21DHS018K	09/19/2020	Brooklyn	BK17	3203 Bedford Avenue	19BSA132K	07/13/2020	Brooklyn	BK14
Westhab Inc	21DHS006M	08/20/2020	Manhattan	MN04	3341 Country Club Road	19BSA070X	10/05/2020	Bronx	BX10
Willowbrook Park Forest Restoration	21DPR013R	11/4/2020	Staten Island	SI02	37 Hillside Avenue	19HPD071M	05/15/2020	Manhattan	MN12
<b>Lead Agency Letter (Revised)</b>					403 Concord Avenue	20BSA075X	06/29/2020	Bronx	BX08
<b>Project Name</b>	<b>CEQR Number</b>	<b>Date</b>	<b>Borough</b>	<b>CD</b>	42-01 28th Avenue Rezoning	20DCP043Q	08/17/2020	Queens	QN01
Core Services Group East 40th Street Transitional Adult Family Residence	21DHS023M	12/11/2020	Manhattan	MN06	42-11 9th Street Special Permit	20DCP078Q	09/14/2020	Queens	QN02
Sherman Creek Boathouse	21DPR009M	12/16/2020	Manhattan	MN12	431 Concord Avenue Rezoning	21DCP007X	11/02/2020	Bronx	BX01
Soho/NoHo Neighborhood Plan	21DCP059M	10/28/2020	Manhattan	MN02	44 Victory Boulevard	20DHS021R	08/14/2020	Staten Island	SI01
<b>Determinations of Significance</b>					45-20 83rd Street	20BSA002Q	06/29/2020	Queens	QN04
<b>CND</b>					5 Mercer Street - 74-711	20DCP079M	10/19/2020	Manhattan	MN02
<b>Project Name</b>	<b>CEQR Number</b>	<b>Date</b>	<b>Borough</b>	<b>CD</b>	50-25 Barnett Avenue Rezoning	20DCP038Q	10/05/2020	Queens	QN02
2208 Boller Avenue	18BSA020X	09/25/2020	Bronx	BX10	601 Sackett Street	20DHS006K	08/06/2020	Brooklyn	BK06
<b>Negative Declaration</b>					606 Neptune Avenue	20DCP115K	11/30/2020	Brooklyn	BK13
<b>Project Name</b>	<b>CEQR Number</b>	<b>Date</b>	<b>Borough</b>	<b>CD</b>	68-19 Woodhaven Boulevard Rezoning	20DCP155Q	11/16/2020	Queens	QN06
1032 Intrevalle Avenue	20DHS016X	06/04/2020	Bronx	BX07	69 Adams Street	20DME004K	10/01/2020	Brooklyn	BK02
1099 Webster Avenue Rezoning	19DCP115X	10/19/2020	Bronx	BX04	704 Broadway	19BSA118M	06/29/2020	Manhattan	MN02
1101 Westchester Avenue	20DHS019X	04/17/2020	Bronx	BX02	737 Fourth Avenue Rezoning	19DCP127K	08/17/2020	Brooklyn	BK07
1144 Evergreen Avenue	20DHS011X	04/03/2020	Bronx	BX09	79-40 Cooper Avenue	19BSA076Q	11/09/2020	Queens	QN05
11th Street Long Island City Shelter	20DHS022Q	10/13/2020	Queens	QN01	830 Baxter Avenue	20DHS013Q	06/05/2020	Queens	QN04
1212 East Gun Hill Road	20BSA004X	11/09/2020	Bronx	BX11	86 Fleet Place - ZR	21DCP047K	12/14/2020	Brooklyn	BK02
135-137 Bedford Avenue Rezoning	20DCP067K	11/02/2020	Brooklyn	BK01	909 Castle Hill Avenue	19DCP222X	12/14/2020	Bronx	BX09
1434 Utica Avenue	18BSA036K	05/04/2020	Brooklyn	BK17	9114 5th Avenue Rezoning	19DCP128K	08/31/2020	Brooklyn	BK10
					91-32 63rd Drive Rezoning	20DCP107Q	10/05/2020	Queens	QN06
					Alley Creek Living Shoreline and Coastal Restoration	20DPR012Q	10/07/2020	Queens	QN11

Arverne East	20HPD081Q	08/27/2020	Queens	QN14	Pier 42 Deck	21DPR003M	09/30/2020	Manhattan	MN03
Bay Breeze Park	20DPR011Q	07/06/2020	Queens	QN14	Raise Shorelines Program – Travis Avenue, Staten Island	19OOM002R	07/21/2020	Staten Island	SI02
Bayswater Park Forest Restoration	20DPR008Q	06/03/2020	Queens	QN14	Reconstruction Of 17th Avenue Pedestrian Bridge Over Belt Parkway	20DPR009K	06/17/2020	Brooklyn	BK11
Bethany Terraces	20HPD003K	08/10/2020	Brooklyn	BK17	Reconstruction Of 27th Avenue Pedestrian Bridge Over Belt Parkway	20DPR010K	06/17/2020	Brooklyn	BK13
Broad Channel Street Reconstruction and Drainage Improvements	20DOT015Q	08/03/2020	Queens	QN14	Reconstruction of South Jamaica Streets	20DOT010Q	12/02/2020	Queens	QN12
Bronx Housing Network East 233rd Street Transitional Single Adult Residence	20DHS024X	10/13/2020	Bronx	BX12	Relocation of EMS Station 17	20FDO001X	06/04/2020	Bronx	BX04
Central Harlem Clusters	19HPD056M	10/02/2020	Manhattan	MN10 MN11	Removal of Plum Brook Bridge M	20DEP003U	04/21/2020	Upstate	
Clean Soil Stockpile Pilot Project	19OOM007K	04/06/2020	Brooklyn	BK05	Replacement of Esopus Creek and Route 28A Railroad Bridges	19DEP034U	11/02/2020	Upstate	
Core Services Group - Transitional Families with Children Residence	20DHS023Q	10/5/2020	Queens	QN05	Resilient Neighborhoods: Gerritsen Beach	21DCP051K	10/19/2020	Brooklyn	BK15
Core Services Group East 40th Street Transitional Adult Family Residence	21DHS023M	11/24/2020	Manhattan	MN06	Resilient Neighborhoods: Old Howard Beach	21DCP052Q	10/19/2020	Queens	QN10
Crab Shanty Restaurant - 361 City Island Avenue	21DCP045X	12/14/2020	Bronx	BX10	Resilient Neighborhoods: Sheepshead Bay	21DCP050K	10/19/2020	Brooklyn	BK15
Crunch LLC Special Permit (PCE)	18BSA136M	05/28/2020	Manhattan	MN01	Samaritan Daytop Village Inc.	20DHS014X	06/03/2020	Bronx	BX02
First Street Turning Basin, Gowanus Canal	19CAS001K	09/15/2020	Brooklyn	BK06	Samaritan Daytop Village Inc 2nd Avenue Transitional Single Adult Residence	21DHS003K	09/18/2020	Brooklyn	BK07
Flatiron Expansion	21SBS001M	10/15/2020	Manhattan	MN04 MN05	Sherman Creek Boathouse	21DPR009M	12/16/2020	Manhattan	MN12
Grand Street Housing	20DCP039M	08/31/2020	Manhattan	MN03	SI Special Districts Update	20DCP130R	12/21/2020	Staten Island	SI03 SI02 SI01
Green Infrastructure Brooklyn Satellite Site	20DEP015K	06/03/2020	Brooklyn	BK01	Slowing the Spread of Emerald Ash Borer in NYC	21DPR008Y	10/05/2020	Citywide	
Highland Park- Dean Street Families with Children Shelter	21DHS021K	12/7/2020	Brooklyn	BK08	Soho/NoHo Neighborhood Plan	21DCP059M	09/30/2020	Manhattan	MN02
Home Simpson EAS	20HPD018X	09/25/2020	Bronx	BX03	St. Josephs - 1949 Bathgate Avenue	21DCP081X	11/17/2020	Bronx	BX06
IFPM Phase II – Atlantic Basin	19OEM003K	06/19/2020	Brooklyn	BK06	Standby Generator Upgrades (JA-179)	16DEP006Q	12/22/2020	Queens	QN10
Kissena Park Forest Restoration	21DPR010Q	11/24/2020	Queens	QN07	Starrett-Lehigh and Terminal Warehouse	21DCP103M	12/04/2020	Manhattan	MN04
Melrose Cluster	19HPD084X	12/10/2020	Bronx	BX01 BX02 BX03	Stevenson Commons	21DCP044X	09/04/2020	Bronx	BX09
National Grid Storm Hardening	20DOT034Y	07/20/2020	Citywide		Sutter Avenue Rezoning	21DCP053K	09/18/2020	Brooklyn	BK05
New Penn Development (ENY South and West)	19HPD131K	10/30/2020	Brooklyn	BK16 BK05	Suydam Street Rezoning	18DCP177K	10/30/2020	Brooklyn	BK04
New Public Health Laboratory	19DOH001M	07/21/2020	Manhattan	MN10	The Bridge Safe Haven	21DHS012M	10/10/2020	Manhattan	MN09
O+O 1611 & 1701 Purdy Street Parkchester Gardens	20HPD016X	10/29/2020	Bronx	BX09	Urban Pathways, Inc. Safe Haven Facility	20DHS007X	06/18/2020	Bronx	BX03
Ocean Driveway Infrastructure Improvements	20DOT008R	07/09/2020	Staten Island	SI03	Urban Resource Institute - Olmstead Avenue Families with Children Shelter	21DHS013X	11/06/2020	Bronx	BX09
Park 79 Preservation	20HPD031M	09/23/2020	Manhattan	MN07	Urban Resource Institute – Walton Avenue	20DHS018X	05/27/2020	Bronx	BX05
Partial Removal of Snake Pond Dam	20DEP044U	05/20/2020	Upstate						
Peartree Self Storage	20DCP055X	11/16/2020	Bronx	BX12					

Urban Resource Institute Taylor Avenue Families with Children Residence	21DHS015X	08/20/2020	Bronx	BX09	Citywide Hotel Special Permit	21DCP111Y	12/21/2020	Citywide	QN07
West 141st Street Apartments	20HPD008M	10/30/2020	Manhattan	MN09	New York Blood Center - Center East	21DCP080M	11/13/2020	Manhattan	MN08
West End 15 West 118th Street	20HPD049M	09/21/2020	Manhattan	MN10	Resilient Edgemere Initiative Rezoning	21HPD009Q	12/18/2020	Queens	QN14
WestCOP - Nostrand Avenue Families with Children Shelter	21DHS018K	09/19/2020	Brooklyn	BK17	River North (Liberty Towers)	20DCP140R	10/16/2020	Staten Island	SI01
Westhab Inc	21DHS006M	08/20/2020	Manhattan	MN04	SI Special Districts Update	20DCP130R	12/15/2020	Staten Island	SI03 SI02 SI01
Willowbrook Park Forest Restoration	21DPR013R	11/04/2020	Staten Island	SI02	Soho/NoHo Neighborhood Plan	21DCP059M	10/28/2020	Manhattan	MN02
					Starrett-Lehigh and Terminal Warehouse	21DCP103M	12/11/2020	Manhattan	MN04
					Stevenson Commons	21DCP044X	09/04/2020	Bronx	BX09

**Negative Declaration (Revised)**

Project Name	CEQR Number	Date	Borough	CD
142 West 19th Street	16BSA120M	05/22/2020	Manhattan	MN04
263 McGuinness Boulevard	15BSA036K	09/25/2020	Brooklyn	BK01
59-02 Borden Avenue Self-Storage Special Permit	19DCP219Q	11/02/2020	Queens	QN02
Core Services Group East 40th Street Transitional Adult Family Residence	21DHS023M	12/21/2020	Manhattan	MN06
Grand Avenue and Pacific Street Rezoning	19DCP114K	08/03/2020	Brooklyn	BK08
Rikers Island Public Place Application	20DOC001X	10/16/2020	Bronx	QN01

**Positive Declaration**

Project Name	CEQR Number	Date	Borough	CD
175 Park Avenue (Formerly Project Commodore - Grand Hyatt East Midtown)	21DCP057M	11/20/2020	Manhattan	MN05
250 Water Street	21DCP084M	11/16/2020	Manhattan	MN01
343 Madison Avenue / MTA HQ	21DCP020M	07/23/2020	Manhattan	MN05
Citywide Hotel Special Permit	21DCP111Y	12/21/2020	Citywide	
New York Blood Center - Center East	21DCP080M	11/13/2020	Manhattan	MN08
Resilient Edgemere Initiative Rezoning	21HPD009Q	12/18/2020	Queens	QN14
River North (Liberty Towers)	20DCP140R	10/16/2020	Staten Island	SI01
SI Special Districts Update	20DCP130R	12/21/2020	Staten Island	SI03 SI02 SI01
Soho/NoHo Neighborhood Plan	21DCP059M	10/28/2020	Manhattan	MN02
Starrett-Lehigh and Terminal Warehouse	21DCP103M	12/11/2020	Manhattan	MN04
Stevenson Commons	21DCP044X	09/04/2020	Bronx	BX09

**Scoping****Draft Scope of Work**

Project Name	CEQR Number	Date	Borough	CD
175 Park Avenue (Formerly Project Commodore - Grand Hyatt East Midtown)	21DCP057M	11/20/2020	Manhattan	MN05
250 Water Street	21DCP084M	11/16/2020	Manhattan	MN01
343 Madison Avenue / MTA HQ	21DCP020M	07/24/2020	Manhattan	MN05

**Final Scope of Work**

Project Name	CEQR Number	Date	Borough	CD
Acme Smoked Fish / Gem Street Rezoning	20DCP009K	10/30/2020	Brooklyn	BK01
The Phased Redevelopment of Governors Island	11DME007M	10/15/2020	Manhattan	MN01
Zoning For Coastal Flood Resiliency (Flood Text II)	19DCP192Y	10/16/2020	Citywide	SI/all QN/all MN/all BX/all BK/all

**Environmental Impact Statement****DEIS & Notice of Completion**

Project Name	CEQR Number	Date	Borough	CD
Acme Smoked Fish / Gem Street Rezoning	20DCP009K	10/30/2020	Brooklyn	BK01
Catskill Aqueduct Influent Chamber ("Cat/Alum" SPDES Permit)	14DEC001U	12/31/2020	Upstate	
The Phased Redevelopment of Governors Island	11DME007M	10/15/2020	Manhattan	MN01
Zoning For Coastal Flood Resiliency (Flood Text II)	19DCP192Y	10/16/2020	Citywide	SI/all QN/all MN/all BX/all BK/all

**FEIS & Notice of Completion**

Project Name	CEQR Number	Date	Borough	CD
Citywide Ferry Service	15DME009Y	07/31/2020	Citywide	BK02 BK06 BK07 BK10 QN01 QN02 QN14 BX09 MN01 MN03 MN06 MN08 MN04 SI01 BX10 BK01 BK13
Dekalb Commons	18HPD078K	10/26/2020	Brooklyn	BK03
Industry City	18DCP034K	08/07/2020	Brooklyn	BK07



CHANGES IN PERSONNEL

LAW DEPARTMENT
FOR PERIOD ENDING 06/11/21

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Law Department.

DEPARTMENT OF CITY PLANNING
FOR PERIOD ENDING 06/11/21

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Department of City Planning.

DEPARTMENT OF INVESTIGATION
FOR PERIOD ENDING 06/11/21

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Department of Investigation.

TEACHERS RETIREMENT SYSTEM
FOR PERIOD ENDING 06/11/21

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Teachers Retirement System.

CIVILIAN COMPLAINT REVIEW BD
FOR PERIOD ENDING 06/11/21

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Civilian Complaint Review Board.

POLICE DEPARTMENT
FOR PERIOD ENDING 06/11/21

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Police Department.

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Police Department (continued).

POLICE DEPARTMENT
FOR PERIOD ENDING 06/11/21

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Police Department (continued).

POLICE DEPARTMENT
FOR PERIOD ENDING 06/11/21

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists personnel changes for the Police Department (continued).



# READER'S GUIDE

The City Record (CR) is published each business day. The Procurement section of the City Record is comprised of notices of proposed New York City procurement actions, contract awards, and other procurement-related information. Notice of solicitations and other notices for most procurement methods valued at or above \$100,000 for goods, services, and construction must be published once in the City Record, among other requirements. Other procurement methods authorized by law, such as sole source procurements, require notice in the City Record for five consecutive editions. Unless otherwise specified, the agencies and offices listed are open for business Monday through Friday from 9:00 A.M. to 5:00 P.M., except on legal holidays.

## NOTICE TO ALL NEW YORK CITY CONTRACTORS

The New York State Constitution ensures that all laborers, workers or mechanics employed by a contractor or subcontractor doing public work are to be paid the same wage rate that prevails in the trade where the public work is being done. Additionally, New York State Labor Law §§ 220 and 230 provide that a contractor or subcontractor doing public work in construction or building service must pay its employees no less than the prevailing wage. Section 6-109 (the Living Wage Law) of the New York City Administrative Code also provides for a "living wage", as well as prevailing wage, to be paid to workers employed by City contractors in certain occupations. The Comptroller of the City of New York is mandated to enforce prevailing wage. Contact the NYC Comptroller's Office at [www.comptroller.nyc.gov](http://www.comptroller.nyc.gov), and click on Prevailing Wage Schedules to view rates.

## CONSTRUCTION/CONSTRUCTION SERVICES OR CONSTRUCTION-RELATED SERVICES

The City of New York is committed to achieving excellence in the design and construction of its capital program, and building on the tradition of innovation in architecture and engineering that has contributed to the City's prestige as a global destination.

## VENDOR ENROLLMENT APPLICATION

New York City procures approximately \$17 billion worth of goods, services, construction and construction-related services every year. The NYC Procurement Policy Board Rules require that agencies primarily solicit from established mailing lists called bidder/proposer lists. Registration for these lists is free of charge. To register for these lists, prospective suppliers should fill out and submit the NYC-FMS Vendor Enrollment application, which can be found online at [www.nyc.gov/selltonyc](http://www.nyc.gov/selltonyc). To request a paper copy of the application, or if you are uncertain whether you have already submitted an application, call the Vendor Enrollment Center at (212) 857-1680.

## SELLING TO GOVERNMENT TRAINING WORKSHOP

New and experienced vendors are encouraged to register for a free training course on how to do business with New York City. "Selling to Government" workshops are conducted by the Department of Small Business Services at 110 William Street, New York, NY 10038. Sessions are convened on the second Tuesday of each month from 10:00 A.M. to 12:00 P.M. For more information, and to register, call (212) 618-8845 or visit [www.nyc.gov/html/sbs/nycbiz](http://www.nyc.gov/html/sbs/nycbiz) and click on Summary of Services, followed by Selling to Government.

## PRE-QUALIFIED LISTS

New York City procurement policy permits agencies to develop and solicit from pre-qualified lists of vendors, under prescribed circumstances. When an agency decides to develop a pre-qualified list, criteria for pre-qualification must be clearly explained in the solicitation and notice of the opportunity to pre-qualify for that solicitation must be published in at least five issues of the CR. Information and qualification questionnaires for inclusion on such lists may be obtained directly from the Agency Chief Contracting Officer at each agency (see Vendor Information Manual). A completed qualification questionnaire may be submitted to an Agency Chief Contracting Officer at any time, unless otherwise indicated, and action (approval or denial) shall be taken by the agency within 90 days from the date of submission. Any denial or revocation of pre-qualified status can be appealed to the Office of Administrative Trials and Hearings (OATH). Section 3-10 of the Procurement Policy Board Rules describes the criteria for the general use of pre-qualified lists. For information regarding specific pre-qualified lists, please visit [www.nyc.gov/selltonyc](http://www.nyc.gov/selltonyc).

## NON-MAYORAL ENTITIES

The following agencies are not subject to Procurement Policy Board Rules and do not follow all of the above procedures: City University, Department of Education, Metropolitan Transportation Authority, Health & Hospitals Corporation, and the Housing Authority. Suppliers interested in applying for inclusion on bidders lists for Non-Mayoral entities should contact these

entities directly at the addresses given in the Vendor Information Manual.

## PUBLIC ACCESS CENTER

The Public Access Center is available to suppliers and the public as a central source for supplier-related information through on-line computer access. The Center is located at 253 Broadway, 9th floor, in lower Manhattan, and is open Monday through Friday from 9:30 A.M. to 5:00 P.M., except on legal holidays. For more information, contact the Mayor's Office of Contract Services at (212) 341-0933 or visit [www.nyc.gov/mocs](http://www.nyc.gov/mocs).

## ATTENTION: NEW YORK CITY MINORITY AND WOMEN-OWNED BUSINESS ENTERPRISES

Join the growing number of Minority and Women-Owned Business Enterprises (M/WBEs) that are competing for New York City's business. In order to become certified for the program, your company must substantiate that it: (1) is at least fifty-one percent (51%) owned, operated and controlled by a minority or woman and (2) is either located in New York City or has a significant tie to New York City's business community. To obtain a copy of the certification application and to learn more about this program, contact the Department of Small Business Services at (212) 513-6311 or visit [www.nyc.gov/sbs](http://www.nyc.gov/sbs) and click on M/WBE Certification and Access.

## PROMPT PAYMENT

It is the policy of the City of New York to pay its bills promptly. The Procurement Policy Board Rules generally require that the City pay its bills within 30 days after the receipt of a proper invoice. The City pays interest on all late invoices. However, there are certain types of payments that are not eligible for interest; these are listed in Section 4-06 of the Procurement Policy Board Rules. The Comptroller and OMB determine the interest rate on late payments twice a year: in January and in July.

## PROCUREMENT POLICY BOARD RULES

The Rules may also be accessed on the City's website at [www.nyc.gov/selltonyc](http://www.nyc.gov/selltonyc)

## COMMON ABBREVIATIONS USED IN THE CR

The CR contains many abbreviations. Listed below are simple explanations of some of the most common ones appearing in the CR:

ACCO	Agency Chief Contracting Officer
AMT	Amount of Contract
CSB	Competitive Sealed Bid including multi-step
CSP	Competitive Sealed Proposal including multi-step
CR	The City Record newspaper
DP	Demonstration Project
DUE	Bid/Proposal due date; bid opening date
EM	Emergency Procurement
FCRC	Franchise and Concession Review Committee
IFB	Invitation to Bid
IG	Intergovernmental Purchasing
LBE	Locally Based Business Enterprise
M/WBE	Minority/Women's Business Enterprise
NA	Negotiated Acquisition
OLB	Award to Other Than Lowest Responsive Bidder/Proposer
PIN	Procurement Identification Number
PPB	Procurement Policy Board
PQL	Pre-qualified Vendors List
RFEI	Request for Expressions of Interest
RFI	Request for Information
RFP	Request for Proposals
RFQ	Request for Qualifications
SS	Sole Source Procurement
ST/FED	Subject to State and/or Federal requirements

## KEY TO METHODS OF SOURCE SELECTION

The Procurement Policy Board (PPB) of the City of New York has by rule defined the appropriate methods of source selection for City procurement and reasons justifying their use. The CR procurement notices of many agencies include an abbreviated reference to the source selection method utilized. The following is a list of those methods and the abbreviations used:

CSB	Competitive Sealed Bidding including multi-step Special Case Solicitations/Summary of Circumstances:
CSP	Competitive Sealed Proposal including multi-step
CP/1	Specifications not sufficiently definite
CP/2	Judgement required in best interest of City
CP/3	Testing required to evaluate
CB/PQ/4	CSB or CSP from Pre-qualified Vendor List/ Advance qualification screening needed
CP/PQ/4	Demonstration Project
DP	Sole Source Procurement/only one source
RS	Procurement from a Required Source/ST/FED
NA	Negotiated Acquisition
	<i>For ongoing construction project only:</i>
NA/8	Compelling programmatic needs
NA/9	New contractor needed for changed/additional work
NA/10	Change in scope, essential to solicit one or limited number of contractors
NA/11	Immediate successor contractor required due to termination/default
	<i>For Legal services only:</i>

NA/12	Specialized legal devices needed; CSP not advantageous
WA	Solicitation Based on Waiver/Summary of Circumstances (Client Services/CSB or CSP only)
WA1	Preventing loss of sudden outside funding
WA2	Existing contractor unavailable/immediate need
WA3	Unsuccessful efforts to contract/need continues
IG	Intergovernmental Purchasing (award only)
IG/F	Federal
IG/S	State
IG/O	Other
EM	Emergency Procurement (award only): An unforeseen danger to:
EM/A	Life
EM/B	Safety
EM/C	Property
EM/D	A necessary service
AC	Accelerated Procurement/markets with significant short-term price fluctuations
SCE	Service Contract Extension/insufficient time; necessary service; fair price Award to Other Than Lowest Responsible & Responsive Bidder or Proposer/Reason (award only) anti-apartheid preference
OLB/a	local vendor preference
OLB/b	recycled preference
OLB/c	other: (specify)

## HOW TO READ CR PROCUREMENT NOTICES

Procurement notices in the CR are arranged by alphabetically listed Agencies, and within Agency, by Division if any. The notices for each Agency (or Division) are further divided into three subsections: Solicitations, Awards; and Lists & Miscellaneous notices. Each of these subsections separately lists notices pertaining to Goods, Services, or Construction.

Notices of Public Hearings on Contract Awards appear at the end of the Procurement Section.

At the end of each Agency (or Division) listing is a paragraph giving the specific address to contact to secure, examine and/or to submit bid or proposal documents, forms, plans, specifications, and other information, as well as where bids will be publicly opened and read. This address should be used for the purpose specified unless a different one is given in the individual notice. In that event, the directions in the individual notice should be followed.

The following is a SAMPLE notice and an explanation of the notice format used by the CR.

## SAMPLE NOTICE

## POLICE

### DEPARTMENT OF YOUTH SERVICES

#### ■ SOLICITATIONS

*Services (Other Than Human Services)*

**BUS SERVICES FOR CITY YOUTH PROGRAM**  
-Competitive Sealed Bids- PIN# 056020000293 -  
DUE 04-21-03 AT 11:00 A.M.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

*NYPD, Contract Administration Unit,  
51 Chambers Street, Room 310, New York, NY 10007.  
Manuel Cruz (646) 610-5225.*

◀m27-30

ITEM	EXPLANATION
POLICE DEPARTMENT	Name of contracting agency
DEPARTMENT OF YOUTH SERVICES	Name of contracting division
■ SOLICITATIONS	Type of Procurement action
<i>Services (Other Than Human Services)</i>	Category of procurement
BUS SERVICES FOR CITY YOUTH PROGRAM	Short Title
CSB	Method of source selection
PIN #056020000293	Procurement identification number
DUE 04-21-03 AT 11:00 A.M.	Bid submission due 4-21-03 by 11:00 A.M.; bid opening date/ time is the same.
<i>Use the following address unless otherwise specified or submit bid/proposal documents; etc.</i>	Paragraph at the end of Agency Division listing providing Agency
◀	Indicates New Ad
m27-30	Date that notice appears in The City Record

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Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip+4: \_\_\_\_\_  
Phone: (\_\_\_\_) \_\_\_\_\_ Fax: (\_\_\_\_) \_\_\_\_\_  
Email: \_\_\_\_\_  
Signature: \_\_\_\_\_

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