



# THE CITY RECORD

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## THE CITY RECORD

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## PUBLIC HEARINGS AND MEETINGS

See Also: Procurement; Agency Rules

### BRONX BOROUGH PRESIDENT

#### PUBLIC HEARINGS

A PUBLIC HEARING IS BEING CALLED by the President of the Borough of The Bronx, Honorable Ruben Diaz Jr. on Tuesday, November 20, 2012, commencing at 11:00 A.M. The hearing will be held in the office of the Borough President, 851 Grand Concourse, Room 206, The Bronx, New York 10451 on the following matter:

CD 3-ULURP APPLICATION NO: C 120259 PQX - IN THE MATTER OF AN application submitted by the Administration for Children Services and the Department of Citywide Administrative Services, pursuant to Section 197-c of the New York City Charter for the acquisition of property located at 1600 Crotona Park East (Block 2939, Lot 90), Borough of The Bronx, Community District 3, for continued use as a child care center.

ANYONE WISHING TO SPEAK MAY REGISTER AT THE HEARING. PLEASE DIRECT ANY QUESTIONS CONCERNING THIS MATTER TO THE ATTENTION OF THE BOROUGH PRESIDENT AT (718) 590-6124.

n13-19

### CITY PLANNING COMMISSION

#### PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN THAT RESOLUTIONS Have been adopted by the City Planning Commission Scheduling public hearings on the following matters to be held at Spector Hall, 22 Reade Street, New York, NY, on Wednesday, November 28, 2012 at 10:00 A.M.

#### BOROUGH OF THE BRONX No. 1

##### CROTONA PARK CHILD CARE CENTER

CD 3 C 120259 PQX IN THE MATTER OF an application submitted by the Administration for Children's Services and the Department of Citywide Administrative Services, pursuant to Section 197-c of the New York City Charter for the acquisition of property located at 1600 Crotona Park East (Block 2939, Lot 90), for continued use as a child care center.

#### BOROUGH OF MANHATTAN Nos. 2, 3 & 4

##### SPECIAL HUDSON SQUARE REZONING & TEXT AMENDMENT

No. 2

CD 2 C 120380 ZMM IN THE MATTER OF an application submitted by The

Rector, Church-Wardens and Vestrymen of Trinity Church in the City of New York pursuant to Sections 197-c and 201 of the New York City Charter for the amendment of the Zoning Map, Section No. 12a:

- changing from an M1-5B District to an M1-6 District property bounded by the former centerline of the Avenue of the Americas and its southerly prolongation, Canal Street, and the Avenue of the Americas and its southerly centerline prolongation; and
- establishing a Special Hudson Square District bounded by West Houston Street, a line 100 feet easterly of Varick Street, Vandam Street, Avenue of the Americas, Spring Street, Avenue of the Americas and its southerly centerline prolongation, Canal Street, Hudson Street, Spring Street, and Greenwich Street;

as shown on a diagram (for illustrative purposes only) dated August 20, 2012, and subject to the conditions of CEQR Declaration E-288.

#### No. 3

CD 2 N 120381 ZRM IN THE MATTER OF an application submitted by The Rector, Church-Wardens and Vestrymen of Trinity Church in the City of New York pursuant to Section 201 of the New York City Charter for an amendment of the Zoning Resolution of the City of New York, to add Article VIII Chapter 8, establishing the Special Hudson Square District in Community District 2, Borough of Manhattan and to modify related Sections.

Matter in underline is new, to be added;  
Matter in ~~strikeout~~ is to be deleted;  
Matter with # # is defined in Section 12-10;  
\* \* \* indicates where unchanged text appears in the Zoning Resolution

#### Article 1 General Provisions

##### Chapter 1 Title, Establishment of Controls and Interpretation of Regulations

\* \* \*

##### 11-12 Establishment of Districts

\* \* \*

Establishment of the Special Hillside Preservation District

In order to carry out the special purposes of this Resolution as set forth in Article XI, Chapter 9, the #Special Hillside Preservation District# is hereby established.

##### Establishment of the Special Hudson Square District

In order to carry out the special purposes of this Resolution as set forth in Article VIII, Chapter 8, the #Special Hudson Square District# is hereby established.

Establishment of the Special Hudson Yards District

In order to carry out the special purposes of this Resolution as

set forth in Article IX, Chapter 3, the #Special Hudson Yards District# is hereby established.

\* \* \*

#### Chapter 2 Construction of Language and Definitions

\* \* \*

##### 12-10 Definitions

\* \* \*

Special Hillside Preservation District (2/2/11)

The "Special Hillside Preservation District" is a Special Purpose District mapped in Staten Island designated by the letters "HS" in which special regulations set forth in Article XI, Chapter 9, apply.

##### Special Hudson Square District

The #Special Hudson Square District# is a Special Purpose District designated by the letters "HSQ", in which special regulations set forth in Article VIII, Chapter 8, apply.

Special Hudson Yards District (2/2/11)

The "Special Hudson Yards District" is a Special Purpose District designated by the letters "HY" in which special regulations set forth in Article IX, Chapter 3, apply.

\* \* \*

#### Article VII - Administration

\* \* \*

##### Chapter 3 - Special Permits by the Board of Standards and Appeals

\* \* \*

##### 73-244

In C2, C3, C4\*, C6-4\*\*, M1-5A, M1-5B, M1-5M and M1-6M Districts, the Special Hudson Square District and the Special Tribeca Mixed Use District

In C2, C3, C4\*, C6-4\*\*, M1-5A, M1-5B, M1-5M and M1-6M Districts, the Special Hudson Square District and the #Special Tribeca Mixed Use District#, the Board of Standards and Appeals may permit eating or drinking establishments with entertainment and a capacity of more than 200 persons or establishments of any capacity with dancing, for a term not to exceed three years, provided that the following findings are made:

- that a minimum of four square feet of waiting area within the #zoning lot# shall be provided for each person permitted under the occupant capacity as determined by the New York City Building Code. The required waiting area shall be in an enclosed lobby and shall not include space occupied by stairs, corridors or restrooms. A plan shall be provided to the Board to ensure that the operation of the establishment will not result in the gathering of crowds or the formation of lines on the #street#;
- that the entrance to such #use# shall be a minimum of 100 feet from the nearest #Residence District# boundary;
- that such #use# will not cause undue vehicular or pedestrian congestion in local #streets#;
- that such #use# will not impair the character or the future use or development of the surrounding residential or mixed use neighborhoods;
- that such #use# will not cause the sound level in any affected conforming #residential use#, #joint living-work quarters for artists# or #loft dwelling# to exceed the limits set forth in any applicable provision of the New York City Noise Control Code; and
- that the application is made jointly by the owner of

the #building# and the operators of such eating or drinking establishment.

The Board shall prescribe appropriate controls to minimize adverse effects on the character of the surrounding area, including, but not limited to, location of entrances and operable windows, provision of sound-lock vestibules, specification of acoustical insulation, maximum size of establishment, kinds of amplification of musical instruments or voices, shielding of flood lights, adequate screening, curb cuts or parking.

Any violation of the terms of a special permit may be grounds for its revocation.

\* In C4 Districts where such #use# is within 100 feet from a #Residence District# boundary

\*\* In C6-4 Districts mapped within that portion of Community District 5, Manhattan, bounded by West 22nd Street, a line 100 feet west of Fifth Avenue, a line midway between West 16th Street and West 17th Street, and a line 100 feet east of Sixth Avenue

\* \* \*

### Article VIII - Special Purpose Districts

\* \* \*

#### Chapter 8 Special Hudson Square District

##### 88-00 GENERAL PURPOSES

The Special Hudson Square District established in this Resolution is designed to promote and protect public health, safety and general welfare. These general goals include, among others, the following specific purposes:

- support the growth of a mixed residential, commercial and industrial neighborhood by permitting expansion and new development of residential, commercial and community facility uses while promoting the retention of commercial uses and light manufacturing uses;
- recognize and enhance the vitality and character of the neighborhood for workers and residents;
- encourage the development of buildings compatible with existing development;
- regulate conversion of buildings while preserving continued manufacturing or commercial use;
- encourage the development of affordable housing;
- promote the opportunity for workers to live in the vicinity of their work;
- retain jobs within New York City; and
- promote the most desirable use of land in accordance with a well-considered plan and thus conserve the value of land and buildings, and thereby protect City tax revenues.

##### 88-01 Definitions

Definitions specifically applicable to this Chapter are set forth in this Section. The definitions of other defined terms are set forth in Section 12-10 (DEFINITIONS).

##### Qualifying building

For the purposes of this Chapter, a "qualifying #building#" shall be any #building# that contained at least 70,000 square feet of #floor area# on (date of referral).

##### 88-02 General Provisions

In harmony with the general purposes and intent of this Resolution and the general purposes of the #Special Hudson Square District#, the provisions of this Chapter shall apply within the #Special Hudson Square District#. The regulations of all other Chapters of this Resolution are applicable, except as superseded, supplemented or modified by the provisions of this Chapter. In the event of a conflict between the provisions of this Chapter and other regulations of this Resolution, the provisions of this Chapter shall control.

##### 88-03 District Plan and Maps

The regulations of this Chapter are designed to implement the #Special Hudson Square District# Plan.

The District Plan includes the following map in the Appendix to this Chapter:

##### Map 1 Special Hudson Square District and Subdistricts

This map is hereby incorporated and made part of this Resolution for the purpose of specifying locations where the special regulations and requirements set forth in this Chapter apply.

##### 88-04 Subdistricts

In order to carry out the purposes and provisions of this Chapter, two subdistricts are established as follows:

Subdistrict A

Subdistrict B.

The Subdistricts are specified on Map 1 (Special Hudson

Square District and Subdistricts) in the Appendix to this Chapter.

##### 88-05 Applicability of District Regulations

##### 88-051 Applicability of Article I, Chapter 5

The conversion to #dwelling units# of non-#residential buildings# erected prior to January 1, 1977, or portions thereof, shall be permitted subject to Sections 15-11 (Bulk Regulations), 15-12 (Open Space Equivalent) and 15-30 (Minor Modifications), paragraph (b), except as superseded or modified by the provisions of this Chapter.

##### 88-10 SUPPLEMENTAL USE REGULATIONS

All permitted #uses# in the underlying districts, as set forth in Section 42-10 (USES PERMITTED AS-OF-RIGHT), shall comply with the provisions set forth in this Section, inclusive.

##### 88-11 Residential Use

#Residential use# shall be permitted in accordance with the provisions of this Section.

##### (a) Residential use as-of-right

#Residential use# shall be permitted as-of-right on any #zoning lot# that, on (date of referral), was not occupied by a qualifying #building#. As a condition to receiving a building permit, such absence of a qualifying #building# on the #zoning lot# must be demonstrated to the satisfaction of the Department of Buildings.

##### (b) Residential use by certification

#Residential use# shall be permitted on a #zoning lot# that, on (date of referral), was occupied by one or more qualifying #buildings#, only upon certification by the Chairperson of the City Planning Commission that the #zoning lot#, as it existed on (date of referral), will contain at least the amount of non-#residential floor area# that existed within such qualifying #buildings# on the zoning lot on (date of referral), subject to the following:

- non-#residential floor area# that is preserved within existing non-qualifying #buildings# on the #zoning lot# through restrictive declaration may count toward meeting the requirements of this certification; and
- #floor area# from #community facility uses# with sleeping accommodations shall not count toward meeting the requirements of this certification.

However, non-#residential floor area# converted to #residential# vertical circulation space and lobby space need not be replaced as non-#residential floor area#.

A restrictive declaration acceptable to the Department of City Planning shall be executed and recorded, binding the owners, successors and assigns to maintain the amount of non-#residential floor area# that existed within such qualifying #buildings# on (date of referral) on the #zoning lot#. Such restrictive declaration shall be recorded in the Office of the City Register. A copy of such declaration shall be provided to the Department of Buildings upon application for any building permit related to a change in #use# from non-#residential# to #residential#, or for any #development# containing #residences#.

##### 88-12 Community Facility Use

The #community facility use# regulations applicable in M1 Districts shall not apply in the #Special Hudson Square District#. In lieu thereof, all #community facility uses# listed in Use Groups 3 and 4 shall be permitted, except that #community facilities# with sleeping accommodations shall only be permitted in accordance with paragraphs (a) or (b) of this Section, as applicable.

(a) #Community facilities# with sleeping accommodations shall be permitted as-of-right on any #zoning lot# that, on (date of referral), was not occupied by a qualifying #building#. As a condition to receiving a building permit, such absence of a qualifying #building# on the #zoning lot# shall be demonstrated to the satisfaction of the Department of Buildings.

(b) #Community facilities# with sleeping accommodations shall be permitted on a #zoning lot# that, on (date of referral), was occupied by one or more qualifying #buildings#, only upon certification by the Chairperson of the City Planning Commission that the #zoning lot# will contain at least the amount of non-#residential floor area# that existed within qualifying #buildings# on the zoning lot on (date of referral), subject to the following:

- non-#residential floor area# that is preserved within existing non-qualifying #buildings# on the #zoning lot# through restrictive declaration may count toward meeting the requirements of this certification; and
- #floor area# from #community facility

uses# with sleeping accommodations shall not count toward meeting the requirements of this certification.

However, non-#residential floor area# converted to vertical circulation and lobby space associated with a #community facility# with sleeping accommodations need not be replaced as non-#residential floor area#.

A restrictive declaration acceptable to the Department of City Planning shall be executed and recorded, binding the owners, successors and assigns to maintain the amount of non-#residential floor area# that existed within such qualifying #buildings# on (date of referral) on the #zoning lot#. Such restrictive declaration shall be recorded in the Office of the City Register. A copy of such declaration shall be provided to the Department of Buildings upon application for any building permit related to a change in #use# from non-#residential# to #community facility uses# with sleeping accommodations, or for any #development# containing #community facility uses# with sleeping accommodations.

(c) Ground floor #community facility uses# shall be subject to the streetscape provisions set forth in Section 88-131 (Streetscape Provisions).

##### 88-13 Commercial Use

The #commercial use# regulations applicable in M1 Districts shall apply in the #Special Hudson Square District#, except that:

(a) food stores, including supermarkets, grocery stores, or delicatessen stores, shall not be limited as to the size of the establishment;

(b) #uses# listed in Use Group 6A, other than food stores, Use Groups 6C, pursuant to Section 42-13, 6E, 10 and 12B, shall be limited to 10,000 square feet of #floor area# at the ground floor level, per establishment. Portions of such establishments located above or below ground floor level shall not be limited in size;

(c) ground floor #commercial uses# shall be subject to special streetscape provisions set forth in Section 88-131 (Streetscape provisions);

(d) #commercial uses# permitted in M1 Districts shall be subject to the modifications set forth in Section 123-22 (Modification of Use Groups 16, 17 and 18), inclusive;

(e) #transient hotels# shall be allowed, except that:

(1) #development# or #enlargement# of #transient hotels# with greater than 100 sleeping units on #zoning lots# where #residential use# is permitted as-of-right, in accordance with paragraph (a) of Section 88-11, shall only be allowed upon certification by the Chairperson of the City Planning Commission to the Commissioner of Buildings that the "residential development goal" has been met for the #Special Hudson Square District# as set forth in this paragraph, (e)(1), or,

(2) where such "residential development goal" has not been met, by special permit pursuant to Section 88-132 (Special permit for large transient hotels):

##### Residential Development Goal

The residential development goal shall be met when at least 2,255 #dwelling units#, permitted pursuant to the provisions of Section 88-11 (Residential Use), within the #Special Hudson Square District# have received temporary or final certificates of occupancy subsequent to [date of enactment].

(3) A change of #use# within a qualifying #building# to a #transient hotel# with greater than 100 sleeping units shall only be allowed by special permit, pursuant to Section 88-132;

(f) eating or drinking establishments with entertainment and a capacity of more than 200 persons, or establishments of any capacity with dancing, are permitted only by special permit of the Board of Standards and Appeals, pursuant to Section 73-244.

##### 88-131 Streetscape provisions

For #zoning lots# with #street# frontage of 50 feet or more, the location of certain #uses# shall be subject to the following #use# requirements:

(a) For #uses# located on the ground floor or within five feet of #curb level#, limited to Use Groups 6A, 6C, 7B, 8A, 8B, 9A, 10A, 12A and 12B, shall have a depth of at least 30 feet from the #building wall# facing the #street# and shall extend along a minimum of 50 percent of the width of the #street# frontage of the #zoning lot#.

(b) The remainder of the #street# frontage of the #zoning lot# may be occupied by any permitted

#uses#, lobbies or entrances to parking spaces, except that lobbies shall be limited to a total width of 40 feet per #street# frontage. The 30 foot minimum depth requirement shall not apply where a reduction in such depth is necessary in order to accommodate a #residential lobby# or vertical circulation core.

(c) In Subdistrict A, for portions of a #building# bounding a #public park#, the ground floor #use# requirements of paragraph (a) of this Section shall apply to 100 percent of the width of the #street# frontage of the #zoning lot#, and #residential# lobbies and #schools# shall be permitted #uses# on the ground floor for purposes of compliance with paragraph (a) of this Section.

For #zoning lots# with #street frontage# of less than 50 feet, no special ground floor #use# requirements shall apply.

Enclosed parking spaces, or parking spaces covered by a #building#, including such spaces #accessory# to #residences#, shall be permitted to occupy the ground floor provided they are located beyond 30 feet from the #building wall# facing the #street#.

Any ground floor #street wall# of a #development# or #enlargement# that contains #uses# listed in Use Groups 1 through 15, not including #dwelling units#, shall be glazed with transparent materials which may include #show windows#, transom windows or glazed portions of doors, provided such transparent materials have a minimum width of two feet. Such transparency shall occupy at least 50 percent of the surface area of each such ground floor #street wall# between a height of two feet, and 12 feet or the height of the ground floor ceiling, whichever is higher, as measured from the adjoining sidewalk. The lowest level of any transparency that is provided to satisfy the requirements of this Section shall not be higher than four feet above the #curb level#, with the exception of transom windows. In addition, the maximum width of a portion of the ground floor level #street wall# without transparency shall not exceed ten feet. However, where an entrance to a parking facility is provided, the requirements of this Section shall not apply to that portion of the ground floor #street wall# occupied by such an entrance.

**88-132  
Special permit for large transient hotels**

(a) Developments or enlargements

In the #Special Hudson Square District#, prior to the "residential development goal" set forth in paragraph (f) of Section 88-13 (Commercial Use) having been achieved, the City Planning Commission may permit #developments# or #enlargements# of #transient hotels# with greater than 100 sleeping units on #zoning lots# where #residential use# is permitted as-of-right, in accordance with paragraph (a) of Section 88-11 (Residential Use), provided the Commission finds that:

- (1) sufficient development sites are available in the area to meet the "residential development goal"; or
- (2) a harmonious mix of #residential# and non-#residential uses# has been established in the surrounding area, and such #transient hotel# resulting from a #development# or #enlargement# is consistent with the character of such surrounding area.

(b) Changes of use

In the #Special Hudson Square District#, the City Planning Commission may permit the change of #use# of #floor area# within qualifying #buildings# to a Use Group 5 #transient hotel# with greater than 100 sleeping units provided that, at minimum, the amount of #floor area# changed to such #transient hotel# is:

- (1) preserved for Use Group 6B office #use# within a qualifying #building# located within the #Special Hudson Square District#, or
- (2) created for Use Group 6B office #use# within a #building developed# after (date of referral), or within the #enlarged# portion of a #building#, where such #enlargement# was constructed within one year of the date an application pursuant to this Section is filed with the Department of City Planning (DCP). Such #developed# or #enlarged buildings# may be located anywhere within the #Special Hudson Square District#, and shall have either temporary or final certificates of occupancy for Use Group 6B office #use#.

In order to permit such change of #use#, the Commission shall find that the proposed #transient hotel# is so located as not to impair the essential character, or the future use or development, of the surrounding area.

A restrictive declaration acceptable to the DCP shall be executed and recorded, binding the owners, successors and assigns to preserve an amount of Use Group 6B office #use# within a qualifying #building#, or created within a #development# or #enlargement#, as applicable. Such restrictive declaration shall be recorded in the Office of the City Register. A copy of such declaration shall be

provided to the Department of Buildings upon application for any building permit related to a change in #use# from Use Group 6B office #use# to any other #use#.

The Commission may prescribe additional conditions and safeguards to minimize adverse effects on the character of the surrounding area.

**88-14  
Manufacturing Use**

In the #Special Hudson Square District#, #manufacturing uses# permitted in M1 Districts shall be subject to the modifications set forth in Section 123-22 (Modification of Use Groups 16, 17 and 18), inclusive.

**88-20  
SIGN REGULATIONS**

In the #Special Hudson Square District#, #signs# are subject to the regulations applicable in C6-4 Districts, as set forth in Section 32-60, inclusive.

**88-30  
SPECIAL BULK REGULATIONS**

Except as modified in this Chapter, the following bulk regulations shall apply:

- (a) For #developments#, #enlargements#, or changes of #use# containing #residences#, the #bulk# regulations of an R10 District, as set forth in Article II, Chapter 3 (Bulk Regulations for Residential Buildings in Residence Districts) shall apply;
- (b) For #developments#, #enlargements#, or changes of #use# containing #manufacturing#, #commercial# or #community facility uses#, the #bulk# regulations set forth in Article IV, Chapter 3 (Bulk Regulations), shall apply.

For the purposes of applying the regulations of this Section, Greenwich Street shall be a #wide street#.

**88-31  
Floor Area Regulations**

Except in Subdistricts A and B, the maximum #floor area# ratio for #zoning lots# that do not contain #residences# shall be 10.0; no #floor area# bonuses shall apply.

The maximum base #floor area ratio# for #zoning lots# that contain #residences# shall be 9.0 plus an amount equal to 0.25 times the non-#residential floor area ratio# provided on the #zoning lot#, provided that such base #floor area ratio# does not exceed 10.0. Such #floor area ratio# may be increased to a maximum of 12.0 only as set forth in Section 88-32 (Inclusionary Housing).

**88-311  
Special floor area regulations in Subdistrict A**

For #zoning lots# in Subdistrict A that do not contain #residences#, the maximum #floor area# ratio shall be 10.0; no #floor area# bonuses shall apply.

For #zoning lots# in Subdistrict A containing #residences#, the maximum #floor area ratio# shall be 9.0 plus an amount equal to 0.25 times the non-#residential floor area ratio# provided on the #zoning lot#, provided that such base #floor area ratio# does not exceed 10.0.

Any floor space designated for #use# as a #school# shall be exempted from the definition of #floor area# for the purposes of calculating the permitted #floor area ratio# for #community facility uses# and the total maximum #floor area ratio# of the #zoning lot#, provided that such school is either:

- (a) a public school, subject to the jurisdiction of the New York City Department of Education, pursuant to an agreement accepted by the School Construction Authority; or
- (b) a charter school, subject to the New York State Education Law, pursuant to an agreement with a charter school organization.

**88-312  
Special floor area regulations in Subdistrict B**

The maximum #floor area ratios# in Subdistrict B shall be as set forth in the following table:

	Maximum #Floor Area Ratio#
#Residential Use#	5.4 <sup>1</sup>
#Community Facility Use#	6.5
#Commercial Use#	6.0
#Manufacturing Use#	6.0

<sup>1</sup> May be increased to a maximum of 7.2 only as set forth in Section 88-32 (Inclusionary Housing)

**88-32  
Inclusionary Housing**

The #Special Hudson Square District#, except Subdistrict A, shall be an #Inclusionary Housing designated area#, and the provisions of Section 23-90 (INCLUSIONARY HOUSING) applicable to R10 Districts shall apply, except that within Subdistrict B, the provisions of Section 23-90 applicable to R8 Districts shall apply.

**88-33  
Height and Setback**

In the #Special Hudson Square District#, the height and setback regulations of the underlying districts shall not apply. In lieu thereof, the provisions of this Section shall apply to all #buildings#.

(a) Rooftop regulations

(1) Permitted obstructions

The provisions of Section 33-42 shall apply to all #buildings#, except that elevator or stair bulkheads, roof water tanks, cooling towers or other mechanical equipment (including enclosures), may penetrate a maximum height limit, provided that either the product, in square feet, of the #aggregate width of street walls# of such obstructions facing each #street# frontage, times their average height, in feet, shall not exceed a figure equal to eight times the width, in feet, of the #street wall# of the #building# facing such frontage; or that the #lot coverage# of all such obstructions does not exceed 20 percent of the #lot coverage# of the #building#, and the height of all such obstructions does not exceed 40 feet.

In addition, dormers may penetrate a maximum base height provided that on any #street# frontage, the aggregate width of all dormers at the maximum base height does not exceed 60 percent of the length of the #street wall# of the highest #story# entirely below the maximum base height. For each foot of height above the maximum base height, the aggregate width of all such dormers shall be decreased by one percent of the #street wall# width of the highest #story# entirely below the maximum base height.

(2) Screening requirements for mechanical equipment

For all #developments#, #enlargements# and #conversions# of non-#residential floor area# to #residences#, all mechanical equipment located on any roof of a #building# or other structure# shall be fully screened on all sides. However, no such screening requirements shall apply to water tanks.

(b) Height and setback

(1) #Street wall# location

On #wide streets#, and on #narrow streets# within 50 feet of their intersection with a #wide street#, the #street wall# shall be located on the #street line# and extend along the entire #street# frontage of the #zoning lot# up to the minimum base height or the height of the #building#, whichever is less. On #narrow streets# beyond 50 feet of their intersection with a #wide street#, the #street wall# shall be located on the #street line#. For the purposes of this paragraph, (b), portions of #street walls# located up to 18 inches from a #street line# shall be considered to be located on the #street line# where a vertical element of such #street wall# is located on the #street line# and rises without setback from ground level to the top of the second #story# at intervals of at least once every 15 feet in plan and, above the level of the second #story#, where a vertical element rises without setback to the applicable minimum base height at an interval of at least once every 30 feet in plan.

On the ground floor, recesses shall be permitted where required to provide access to the #building#, provided such recesses do not exceed three feet in depth as measured from the #street line#.

Above the level of the ground floor, recesses shall be permitted beyond 20 feet of an adjacent #building# and beyond 30 feet of the intersection of two #street lines#, as follows:

(i) Along #wide streets#

Recesses shall be provided at the level of each #story# entirely above a height of 60 feet, up to the maximum base height of the #building#. Such recesses shall have a minimum depth of five feet and a width between 10 and 40 percent of the #aggregate width of street wall# of the #building# at the level of any #story#.

(ii) Along #narrow streets#

Above the level of the second #story#, recesses in #street walls# deeper than 18 inches shall be permitted. Such recesses may not exceed 30 percent of the #aggregate width of street wall# of the #building# at the level of any #story#.

(2) Base height

On #wide streets#, and on #narrow streets# within 50 feet of their intersection with a #wide street#, the #street wall# of a #building# shall rise without setback to

a minimum base height of 125 feet and a maximum base height of 150 feet.

On #narrow streets#, beyond 50 feet of their intersection with a #wide street#, the #street wall# of a #building# shall rise without setback to a minimum base height of 60 feet, or the height of the #building#, whichever is less, up to a maximum base height of 125 feet.

As an alternative, the minimum and maximum base heights applicable to a #wide street# may apply along a #narrow street# to a distance of 100 feet from its intersection with a #wide street#.

(3) Required setbacks and maximum #building# heights

(i) Along #wide streets#

The provisions of this paragraph, (b)(3)(i), shall apply to #buildings#, or portions thereof, located on #wide streets#, and on #narrow streets# within 100 feet from their intersection with a #wide street#. The portion of such #building# above a height of 150 feet shall be set back from the #street wall# of the #building# at least 10 feet along a #wide street# and at least 15 feet along a #narrow street#, except such dimensions may include the depth of any permitted recesses in the #street wall#. The maximum height of such #buildings# shall be 320 feet. In addition, the gross area of each of either the highest two or three #stories# of such #building# located entirely above a height of 230 feet, shall not exceed 80 percent of the gross area of the #story# directly below such highest two or three #stories#.

(ii) Along #narrow streets#

The provisions of this paragraph, (b)(3)(ii), shall apply to #buildings#, or portions thereof, located on #narrow streets# beyond 100 feet from their intersection with a #wide street#.

The portion of such #building# above a height of 125 feet shall be set back from the #street wall# of the #building# at least 15 feet, except such dimensions may include the depth of any permitted recesses in the #street wall#.

The maximum height of such #buildings# shall be 185 feet. For #buildings# containing #residences#, no portion of such #building# exceeding a height of 125 feet shall be nearer to a #rear yard line# than ten feet.

(4) Maximum length of #building wall#

The maximum length of any #story# located entirely above a height of 150 feet shall not exceed 150 feet. Such length shall be measured in plan view by inscribing within a rectangle the outermost walls at the level of each #story# entirely above a level of 150 feet.

(5) Vertical #enlargements#

(i) Existing #buildings# may be vertically #enlarged# by up to one #story# or 15 feet without regard to the #street wall# location requirements of paragraphs (b)(1) and (b)(2) of this Section.

(ii) Existing #buildings# with #street walls# that rise without setback to a height of at least 80 feet may be vertically #enlarged# in excess of one #story# or 15 feet without regard to the #street wall# location requirements of paragraphs (b)(1) and (b)(2) of this Section, provided such #enlarged# portion is located at least 10 feet from a #wide street# and at least 15 feet from a #narrow street#.

88-331 Special height and setback regulations in Subdistrict A

For #zoning lots# in Subdistrict A, the regulations in paragraph (b) of Section 88-33 applicable to #wide streets# shall apply, except where modified or superseded by the regulations of this Section.

(a) Maximum #building# height

The maximum height of #buildings# shall be 430 feet.

(b) Lot coverage

Below a height of 290 feet, #buildings# shall have a minimum #floor area# coverage of at least 30 percent of the #lot area# of the #zoning lot#. Above a height of 290 feet, #buildings# shall have a minimum #floor area# coverage of at least 20 percent of the #lot area# of the #zoning lot#.

(c) Modification of #bulk# regulations for #zoning lots# bounding a #public park#

In the case of a #zoning lot line# #abutting# the boundary of a #public park#, such #zoning lot line# shall be considered to be a #wide street line# for the purposes of applying all #bulk# regulations of this Resolution except for #street wall# regulations. For the purposes of applying #street wall# regulations in the case of a #zoning lot line# #abutting# the boundary of a #public park#, a line no more than 45 feet west of and parallel to the nearest boundary line of the #public park# shall be considered a #wide street line#.

(d) #Street wall# location

The #street wall# provisions of this Chapter shall apply, except that, for the portion of a #building# bounding a #public park#, the #street wall# shall be located at the #street line# for at least 50 percent of the frontage bounding the #public park# and shall rise to the minimum base height, but not higher than the maximum base height.

88-332 Special height and setback regulations in Subdistrict B

For #zoning lots# in Subdistrict B, the regulations in paragraph (b) of Section 88-33 shall not apply. In lieu thereof, the height and setback regulations applicable in a C6-2A District shall apply.

88-333 Courts

Those portions of #buildings# that contain #residences# shall be subject to the court provisions applicable in R10 Districts as set forth in Section 23-80 (Court Regulations, Minimum Distance between Windows and Walls or Lot Lines and Open Area Requirements), inclusive.

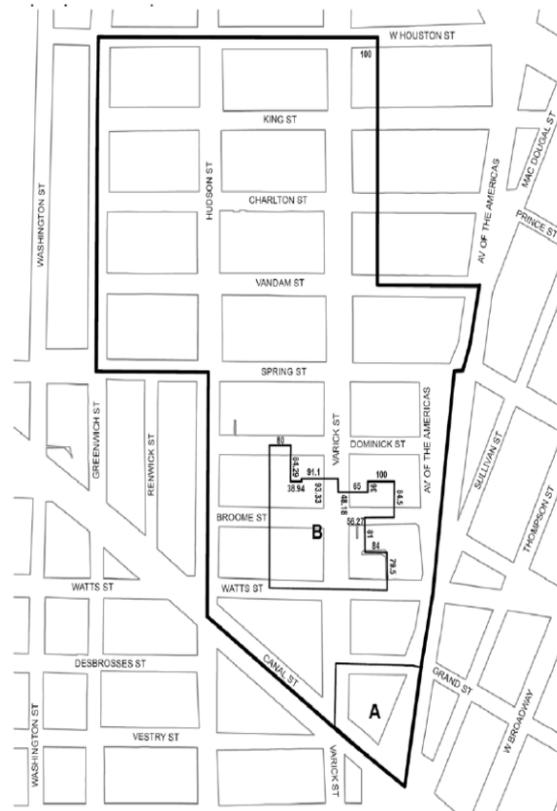
88-40 YARD REGULATIONS

In the #Special Hudson Square District#, the yard provisions applicable in C6 Districts shall apply.

88-50 PARKING AND LOADING REGULATIONS AND CURB CUT LOCATIONS

In the #Special Hudson Square District#, the parking regulations applicable in C6-4 Districts, as set forth in Article III, Chapter 6, and as modified, pursuant to Article I, Chapter 3 (Comprehensive Off-Street Parking Regulations in Community Districts 1,2,3,4,5,6,7 and 8 in the Borough of Manhattan and a Portion of Community Districts 1 and 2 in the Borough of Queens) shall apply.

Appendix A Map 1 - Special Hudson Square District and Subdistricts



Legend for Map 1: Special Hudson Square District (shaded area), Special Hudson Square Subdistrict (dashed line), Manhattan Tax Blocks (unshaded area), A Subdistrict A, B Subdistrict B.

APPENDIX F Inclusionary Housing Designated Areas

The boundaries of #Inclusionary Housing designated areas# are shown on the maps listed in this Appendix F. The #Residence Districts# listed for such areas shall include #Commercial Districts# where #residential buildings# or the #residential# portion of #mixed buildings# are governed by the #bulk# regulations of such #Residence Districts#. Where #Inclusionary Housing designated areas# are mapped in #Commercial Districts#, the residential district equivalent has instead been specified for each map.

Table of Inclusionary Housing Designated Areas

by Zoning Map

Zoning Map	Community District	Maps of Inclusionary Housing Designated Areas
* * *	* * *	* * *
9b	Queens CD 2	Map 1
9d	Queens CD 2	Map 1, Map 2
12a	Manhattan CD 1	Map 1
12a	Manhattan CD 2	Map 1
12c	Manhattan CD 3	Map 1
12c	Brooklyn CD 1	Map 1, Map 2
* * *	* * *	* * *

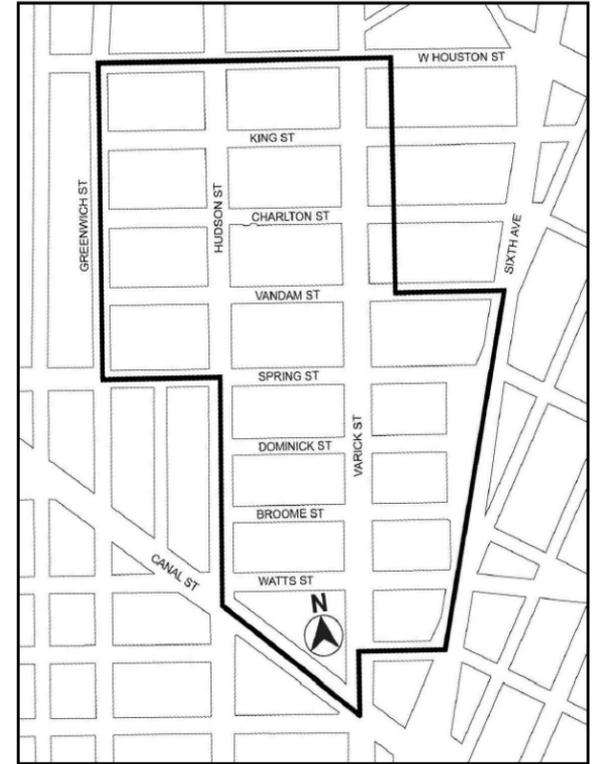
Manhattan  
Manhattan Community District 1

Manhattan Community District 2

In the M1-6 Districts within the areas shown on the following Map 1:

Map 1

#Special Hudson Square District# - see Section 88-32 Portion of Community District 2, Manhattan



No. 4

CD 2 N 120381 (A) ZRM IN THE MATTER OF an application submitted by The Rector, Church-Wardens and Vestrymen of Trinity Church in the City of New York pursuant to Section 201 of the New York City Charter for an amendment of the Zoning Resolution of the City of New York, to add Article VIII Chapter 8, establishing the Special Hudson Square District in Community District 2, Borough of Manhattan and to modify related Sections.

Matter in underline is new, to be added; Matter in ~~strikeout~~ is to be deleted; Matter with # # is defined in Section 12-10; \* \* \* indicates where unchanged text appears in the Zoning Resolution

Article 1 General Provisions

Chapter 1 Title, Establishment of Controls and Interpretation of Regulations

11-12 Establishment of Districts

Establishment of the Special Hillside Preservation District

In order to carry out the special purposes of this Resolution as set forth in Article XI, Chapter 9, the #Special Hillside Preservation District# is hereby established.

Establishment of the Special Hudson Square District

In order to carry out the special purposes of this Resolution as set forth in Article VIII, Chapter 8, the #Special Hudson Square District# is hereby established.

Establishment of the Special Hudson Yards District

In order to carry out the special purposes of this Resolution as set forth in Article IX, Chapter 3, the #Special Hudson Yards District# is hereby established.

Chapter 2 Construction of Language and Definitions

12-10 Definitions

## Special Hillides Preservation District (2/2/11)

The "Special Hillides Preservation District" is a Special Purpose District mapped in Staten Island designated by the letters "HS" in which special regulations set forth in Article XI, Chapter 9, apply.

## Special Hudson Square District

The #Special Hudson Square District# is a Special Purpose District designated by the letters "HSQ", in which special regulations set forth in Article VIII, Chapter 8, apply.

## Special Hudson Yards District (2/2/11)

The "Special Hudson Yards District" is a Special Purpose District designated by the letters "HY" in which special regulations set forth in Article IX, Chapter 3, apply.

\* \* \*

**Article VII – Administration**

\* \* \*

**Chapter 3 - Special Permits by the Board of Standards and Appeals**

\* \* \*

**73-244****In C2, C3, C4\*, C6-4\*\*, M1-5A, M1-5B, M1-5M and M1-6M Districts, the Special Hudson Square District and the Special Tribeca Mixed Use District**

In C2, C3, C4\*, C6-4\*\*, M1-5A, M1-5B, M1-5M and M1-6M Districts, the Special Hudson Square District and the #Special Tribeca Mixed Use District#, the Board of Standards and Appeals may permit eating or drinking establishments with entertainment and a capacity of more than 200 persons or establishments of any capacity with dancing, for a term not to exceed three years, provided that the following findings are made:

- (a) that a minimum of four square feet of waiting area within the #zoning lot# shall be provided for each person permitted under the occupant capacity as determined by the New York City Building Code. The required waiting area shall be in an enclosed lobby and shall not include space occupied by stairs, corridors or restrooms. A plan shall be provided to the Board to ensure that the operation of the establishment will not result in the gathering of crowds or the formation of lines on the #street#;
- (b) that the entrance to such #use# shall be a minimum of 100 feet from the nearest #Residence District# boundary;
- (c) that such #use# will not cause undue vehicular or pedestrian congestion in local #streets#;
- (d) that such #use# will not impair the character or the future use or development of the surrounding residential or mixed use neighborhoods;
- (e) that such #use# will not cause the sound level in any affected conforming #residential use#, #joint living-work quarters for artists# or #loft dwelling# to exceed the limits set forth in any applicable provision of the New York City Noise Control Code; and
- (f) that the application is made jointly by the owner of the #building# and the operators of such eating or drinking establishment.

The Board shall prescribe appropriate controls to minimize adverse effects on the character of the surrounding area, including, but not limited to, location of entrances and operable windows, provision of sound-lock vestibules, specification of acoustical insulation, maximum size of establishment, kinds of amplification of musical instruments or voices, shielding of flood lights, adequate screening, curb cuts or parking.

Any violation of the terms of a special permit may be grounds for its revocation.

\* In C4 Districts where such #use# is within 100 feet from a #Residence District# boundary

\*\* In C6-4 Districts mapped within that portion of Community District 5, Manhattan, bounded by West 22nd Street, a line 100 feet west of Fifth Avenue, a line midway between West 16th Street and West 17th Street, and a line 100 feet east of Sixth Avenue

\* \* \*

**Article VIII - Special Purpose Districts**

\* \* \*

**Chapter 8****Special Hudson Square District****88-00****GENERAL PURPOSES**

The Special Hudson Square District established in this Resolution is designed to promote and protect public health, safety and general welfare. These general goals include, among others, the following specific purposes:

- (a) support the growth of a mixed residential, commercial and industrial neighborhood by permitting expansion and new development of residential, commercial and community facility uses while promoting the retention of commercial uses and light manufacturing uses;
- (b) recognize and enhance the vitality and character of

the neighborhood for workers and residents;

- (c) encourage the development of buildings compatible with existing development;
- (d) regulate conversion of buildings while preserving continued manufacturing or commercial use;
- (e) encourage the development of affordable housing;
- (f) promote the opportunity for workers to live in the vicinity of their work;
- (g) retain jobs within New York City; and
- (h) promote the most desirable use of land in accordance with a well-considered plan and thus conserve the value of land and buildings, and thereby protect City tax revenues.

**88-01****Definitions**

Definitions specifically applicable to this Chapter are set forth in this Section. The definitions of other defined terms are set forth in Section 12-10 (DEFINITIONS).

**Qualifying building**

For the purposes of this Chapter, a "qualifying #building#" shall be any #building# that contained at least 70,000 square feet of #floor area# on (date of referral).

**88-02****General Provisions**

In harmony with the general purposes and intent of this Resolution and the general purposes of the #Special Hudson Square District#, the provisions of this Chapter shall apply within the #Special Hudson Square District#. The regulations of all other Chapters of this Resolution are applicable, except as superseded, supplemented or modified by the provisions of this Chapter. In the event of a conflict between the provisions of this Chapter and other regulations of this Resolution, the provisions of this Chapter shall control.

**88-03****District Plan and Maps**

The regulations of this Chapter are designed to implement the #Special Hudson Square District# Plan.

The District Plan includes the following map in the Appendix to this Chapter:

**Map 1 Special Hudson Square District and Subdistrict**

This map is hereby incorporated and made part of this Resolution for the purpose of specifying locations where the special regulations and requirements set forth in this Chapter apply.

**88-04****Subdistricts**

In order to carry out the purposes and provisions of this Chapter, the following subdistrict is established:

**Subdistrict A**

The Subdistrict is specified on Map 1 (Special Hudson Square District and Subdistrict) in the Appendix to this Chapter.

**88-05****Applicability of District Regulations****88-051****Applicability of Article I, Chapter 5**

The conversion to #dwelling units# of non-#residential buildings# erected prior to January 1, 1977, or portions thereof, shall be permitted subject to Sections 15-11 (Bulk Regulations), 15-12 (Open Space Equivalent) and 15-30 (Minor Modifications), paragraph (b), except as superseded or modified by the provisions of this Chapter.

**88-10****SUPPLEMENTAL USE REGULATIONS**

All permitted #uses# in the underlying districts, as set forth in Section 42-10 (USES PERMITTED AS-OF-RIGHT), shall comply with the provisions set forth in this Section, inclusive.

**88-11****Residential Use**

#Residential use# shall be permitted in accordance with the provisions of this Section.

- (a) Residential use as-of-right

#Residential use# shall be permitted as-of-right on any #zoning lot# that, on (date of referral), was not occupied by a qualifying #building#. As a condition to receiving a building permit, such absence of a qualifying #building# on the #zoning lot# must be demonstrated to the satisfaction of the Department of Buildings.

- (b) Residential use by certification

#Residential use# shall be permitted on a #zoning lot# that, on (date of referral), was occupied by one or more qualifying #buildings#, only upon certification by the Chairperson of the City Planning Commission that the #zoning lot#, as it existed on (date of referral), will contain at least the

amount of non-#residential floor area# that existed within such qualifying #buildings# on the zoning lot on (date of referral), subject to the following:

- (1) non-#residential floor area# that is preserved within existing non-qualifying #buildings# on the #zoning lot# through restrictive declaration may count toward meeting the requirements of this certification; and
- (2) #floor area# from #community facility uses# with sleeping accommodations shall not count toward meeting the requirements of this certification.

However, non-#residential floor area# converted to #residential# vertical circulation space and lobby space need not be replaced as non-#residential floor area#.

A restrictive declaration acceptable to the Department of City Planning shall be executed and recorded, binding the owners, successors and assigns to maintain the amount of non-#residential floor area# that existed within such qualifying #buildings# on (date of referral) on the #zoning lot#. Such restrictive declaration shall be recorded in the Office of the City Register. A copy of such declaration shall be provided to the Department of Buildings upon application for any building permit related to a change in #use# from non-#residential# to #residential#, or for any #development# containing #residences#.

**88-12****Community Facility Use**

The #community facility use# regulations applicable in M1 Districts shall not apply in the #Special Hudson Square District#. In lieu thereof, all #community facility uses# listed in Use Groups 3 and 4 shall be permitted, except that #community facilities# with sleeping accommodations shall only be permitted in accordance with paragraphs (a) or (b) of this Section, as applicable.

- (a) #Community facilities# with sleeping accommodations shall be permitted as-of-right on any #zoning lot# that, on (date of referral), was not occupied by a qualifying #building#. As a condition to receiving a building permit, such absence of a qualifying #building# on the #zoning lot# shall be demonstrated to the satisfaction of the Department of Buildings.

- (b) #Community facilities# with sleeping accommodations shall be permitted on a #zoning lot# that, on (date of referral), was occupied by one or more qualifying #buildings#, only upon certification by the Chairperson of the City Planning Commission that the #zoning lot# will contain at least the amount of non-#residential floor area# that existed within qualifying #buildings# on the zoning lot on (date of referral), subject to the following:

- (1) non-#residential floor area# that is preserved within existing non-qualifying #buildings# on the #zoning lot# through restrictive declaration may count toward meeting the requirements of this certification; and
- (2) #floor area# from #community facility uses# with sleeping accommodations shall not count toward meeting the requirements of this certification.

However, non-#residential floor area# converted to vertical circulation and lobby space associated with a #community facility# with sleeping accommodations need not be replaced as non-#residential floor area#.

A restrictive declaration acceptable to the Department of City Planning shall be executed and recorded, binding the owners, successors and assigns to maintain the amount of non-#residential floor area# that existed within such qualifying #buildings# on (date of referral) on the #zoning lot#. Such restrictive declaration shall be recorded in the Office of the City Register. A copy of such declaration shall be provided to the Department of Buildings upon application for any building permit related to a change in #use# from non-#residential# to #community facility uses# with sleeping accommodations, or for any #development# containing #community facility uses# with sleeping accommodations.

- (c) Ground floor #community facility uses# shall be subject to the streetscape provisions set forth in Section 88-131 (Streetscape Provisions).

**88-13****Commercial Use**

The #commercial use# regulations applicable in M1 Districts shall apply in the #Special Hudson Square District#, except that:

- (a) food stores, including supermarkets, grocery stores, or delicatessen stores, shall not be limited as to the size of the establishment;
- (b) #uses# listed in Use Group 6A, other than food stores, Use Groups 6C, pursuant to Section 42-13, 6E, 10 and 12B, shall be limited to 10,000 square feet of #floor area# at the ground floor level, per establishment. Portions of such establishments

located above or below ground floor level shall not be limited in size;

- (c) ground floor #commercial uses# shall be subject to special streetscape provisions set forth in Section 88-131 (Streetscape provisions);
- (d) #commercial uses# permitted in M1 Districts shall be subject to the modifications set forth in Section 123-22 (Modification of Use Groups 16, 17 and 18), inclusive;
- (e) #transient hotels# shall be allowed, except that:
- (4) #development# or #enlargement# of #transient hotels# with greater than 100 sleeping units on #zoning lots# where #residential use# is permitted as-of-right, in accordance with paragraph (a) of Section 88-11, shall only be allowed upon certification by the Chairperson of the City Planning Commission to the Commissioner of Buildings that the "residential development goal" has been met for the #Special Hudson Square District# as set forth in this paragraph, (e)(1), or, where such "residential development goal" has not been met, by special permit pursuant to Section 88-132 (Special permit for large transient hotels):
- Residential Development Goal
- The residential development goal shall be met when at least 2,255 #dwelling units#, permitted pursuant to the provisions of Section 88-11 (Residential Use), within the #Special Hudson Square District# have received temporary or final certificates of occupancy subsequent to [date of enactment].
- (5) A change of #use# within a qualifying #building# to a #transient hotel# with greater than 100 sleeping units shall only be allowed by special permit, pursuant to Section 88-132;
- (f) eating or drinking establishments with entertainment and a capacity of more than 200 persons, or establishments of any capacity with dancing, are permitted only by special permit of the Board of Standards and Appeals, pursuant to Section 73-244.

#### 88-131 Streetscape provisions

For #zoning lots# with #street# frontage of 50 feet or more, the location of certain #uses# shall be subject to the following #use# requirements:

- (d) For #uses# located on the ground floor or within five feet of #curb level#, limited to Use Groups 6A, 6C, 7B, 8A, 8B, 9A, 10A, 12A and 12B, shall have a depth of at least 30 feet from the #building wall# facing the #street# and shall extend along a minimum of 50 percent of the width of the #street# frontage of the #zoning lot#.
- (e) The remainder of the #street# frontage of the #zoning lot# may be occupied by any permitted #uses#, lobbies or entrances to parking spaces, except that lobbies shall be limited to a total width of 40 feet per #street# frontage. The 30 foot minimum depth requirement shall not apply where a reduction in such depth is necessary in order to accommodate a #residential lobby# or vertical circulation core.
- (f) In Subdistrict A, for portions of a #building# bounding a #public park#, the ground floor #use# requirements of paragraph (a) of this Section shall apply to 100 percent of the width of the #street# frontage of the #zoning lot#, and #residential# lobbies and #schools# shall be permitted #uses# on the ground floor for purposes of compliance with paragraph (a) of this Section.

For #zoning lots# with #street frontage# of less than 50 feet, no special ground floor #use# requirements shall apply.

Enclosed parking spaces, or parking spaces covered by a #building#, including such spaces #accessory# to #residences#, shall be permitted to occupy the ground floor provided they are located beyond 30 feet from the #building wall# facing the #street#.

Any ground floor #street wall# of a #development# or #enlargement# that contains #uses# listed in Use Groups 1 through 15, not including #dwelling units#, shall be glazed with transparent materials which may include #show windows#, transom windows or glazed portions of doors, provided such transparent materials have a minimum width of two feet. Such transparency shall occupy at least 50 percent of the surface area of each such ground floor #street wall# between a height of two feet, and 12 feet or the height of the ground floor ceiling, whichever is higher, as measured from the adjoining sidewalk. The lowest level of any transparency that is provided to satisfy the requirements of this Section shall not be higher than four feet above the #curb level#, with the exception of transom windows. In addition, the maximum width of a portion of the ground floor level #street wall# without transparency shall not exceed ten feet. However, where an entrance to a parking facility is provided, the requirements of this Section shall not apply to that portion of the ground floor #street wall# occupied by

such an entrance.

#### 88-132 Special permit for large transient hotels

- (c) Developments or enlargements
- In the #Special Hudson Square District#, prior to the "residential development goal" set forth in paragraph (f) of Section 88-13 (Commercial Use) having been achieved, the City Planning Commission may permit #developments# or #enlargements# of #transient hotels# with greater than 100 sleeping units on #zoning lots# where #residential use# is permitted as-of-right, in accordance with paragraph (a) of Section 88-11 (Residential Use), provided the Commission finds that:
- (1) sufficient development sites are available in the area to meet the "residential development goal"; or
- (2) a harmonious mix of #residential# and non-#residential uses# has been established in the surrounding area, and such #transient hotel# resulting from a #development# or #enlargement# is consistent with the character of such surrounding area.
- (d) Changes of use
- In the #Special Hudson Square District#, the City Planning Commission may permit the change of #use# of #floor area# within qualifying #buildings# to a Use Group 5 #transient hotel# with greater than 100 sleeping units provided that, at minimum, the amount of #floor area# changed to such #transient hotel# is:
- (2) preserved for Use Group 6B office #use# within a qualifying #building# located within the #Special Hudson Square District#, or
- (2) created for Use Group 6B office #use# within a #building developed# after (date of referral), or within the #enlarged# portion of a #building#, where such #enlargement# was constructed within one year of the date an application pursuant to this Section is filed with the Department of City Planning (DCP). Such #developed# or #enlarged buildings# may be located anywhere within the #Special Hudson Square District#, and shall have either temporary or final certificates of occupancy for Use Group 6B office #use#.

In order to permit such change of #use#, the Commission shall find that the proposed #transient hotel# is so located as not to impair the essential character, or the future use or development, of the surrounding area.

A restrictive declaration acceptable to the DCP shall be executed and recorded, binding the owners, successors and assigns to preserve an amount of Use Group 6B office #use# within a qualifying #building#, or created within a #development# or #enlargement#, as applicable. Such restrictive declaration shall be recorded in the Office of the City Register. A copy of such declaration shall be provided to the Department of Buildings upon application for any building permit related to a change in #use# from Use Group 6B office #use# to any other #use#.

The Commission may prescribe additional conditions and safeguards to minimize adverse effects on the character of the surrounding area.

#### 88-14 Manufacturing Use

In the #Special Hudson Square District#, #manufacturing uses# permitted in M1 Districts shall be subject to the modifications set forth in Section 123-22 (Modification of Use Groups 16, 17 and 18), inclusive.

#### 88-20 SIGN REGULATIONS

In the #Special Hudson Square District#, #signs# are subject to the regulations applicable in C6-4 Districts, as set forth in Section 32-60, inclusive.

#### 88-30 SPECIAL BULK REGULATIONS

Except as modified in this Chapter, the following bulk regulations shall apply:

- (c) For #developments#, #enlargements#, or changes of #use# containing #residences#, the #bulk# regulations of an R10 District, as set forth in Article II, Chapter 3 (Bulk Regulations for Residential Buildings in Residence Districts) shall apply;
- (d) For #developments#, #enlargements#, or changes of #use# containing #manufacturing#, #commercial#

or #community facility uses#, the #bulk# regulations set forth in Article IV, Chapter 3 (Bulk Regulations), shall apply.

For the purposes of applying the regulations of this Section, Greenwich Street shall be a #wide street#.

#### 88-31 Floor Area Regulations

Except in Subdistrict A, the maximum #floor area# ratio for #zoning lots# that do not contain #residences# shall be 10.0; no #floor area# bonuses shall apply.

The maximum base #floor area ratio# for #zoning lots# that contain #residences# shall be 9.0 plus an amount equal to 0.25 times the non-#residential floor area ratio# provided on the #zoning lot#, provided that such base #floor area ratio# does not exceed 10.0. Such #floor area ratio# may be increased to a maximum of 12.0 only as set forth in Section 88-32 (Inclusionary Housing).

#### 88-311 Special floor area regulations in Subdistrict A

For #zoning lots# in Subdistrict A that do not contain #residences#, the maximum #floor area# ratio shall be 10.0; no #floor area# bonuses shall apply.

For #zoning lots# in Subdistrict A containing #residences#, the maximum #floor area ratio# shall be 9.0 plus an amount equal to 0.25 times the non-#residential floor area ratio# provided on the #zoning lot#, provided that such base #floor area ratio# does not exceed 10.0.

Any floor space designated for #use# as a #school# shall be exempted from the definition of #floor area# for the purposes of calculating the permitted #floor area ratio# for #community facility uses# and the total maximum #floor area ratio# of the #zoning lot#, provided that such school is either:

- (a) a public school, subject to the jurisdiction of the New York City Department of Education, pursuant to an agreement accepted by the School Construction Authority; or
- (b) a charter school, subject to the New York State Education Law, pursuant to an agreement with a charter school organization.

#### 88-32 Inclusionary Housing

The #Special Hudson Square District#, except Subdistrict A, shall be an #Inclusionary Housing designated area#, and the provisions of Section 23-90 (INCLUSIONARY HOUSING) applicable to R10 Districts shall apply.

#### 88-33 Height and Setback

In the #Special Hudson Square District#, the height and setback regulations of the underlying districts shall not apply. In lieu thereof, the provisions of this Section shall apply to all #buildings#.

- (a) Rooftop regulations

- (1) Permitted obstructions

The provisions of Section 33-42 shall apply to all #buildings#, except that elevator or stair bulkheads, roof water tanks, cooling towers or other mechanical equipment (including enclosures), may penetrate a maximum height limit, provided that either the product, in square feet, of the #aggregate width of street walls# of such obstructions facing each #street# frontage, times their average height, in feet, shall not exceed a figure equal to eight times the width, in feet, of the #street wall# of the #building# facing such frontage; or that the #lot coverage# of all such obstructions does not exceed 20 percent of the #lot coverage# of the #building#, and the height of all such obstructions does not exceed 40 feet.

In addition, dormers may penetrate a maximum base height provided that on any #street# frontage, the aggregate width of all dormers at the maximum base height does not exceed 60 percent of the length of the #street wall# of the highest #story# entirely below the maximum base height. For each foot of height above the maximum base height, the aggregate width of all such dormers shall be decreased by one percent of the #street wall# width of the highest #story# entirely below the maximum base height.

- (2) Screening requirements for mechanical equipment

For all #developments#, #enlargements# and #conversions# of non-#residential floor area# to #residences#, all mechanical equipment located on any roof of a #building# or other structure# shall be

fully screened on all sides. However, no such screening requirements shall apply to water tanks.

(b) Height and setback

(1) #Street wall# location

On #wide streets#, and on #narrow streets# within 50 feet of their intersection with a #wide street#, the #street wall# shall be located on the #street line# and extend along the entire #street# frontage of the #zoning lot# up to the minimum base height or the height of the #building#, whichever is less. On #narrow streets# beyond 50 feet of their intersection with a #wide street#, the #street wall# shall be located on the #street line#. For the purposes of this paragraph, (b), portions of #street walls# located up to 18 inches from a #street line# shall be considered to be located on the #street line# where a vertical element of such #street wall# is located on the #street line# and rises without setback from ground level to the top of the second #story# at intervals of at least once every 15 feet in plan and, above the level of the second #story#, where a vertical element rises without setback to the applicable minimum base height at an interval of at least once every 30 feet in plan.

On the ground floor, recesses shall be permitted where required to provide access to the #building#, provided such recesses do not exceed three feet in depth as measured from the #street line#.

Above the level of the ground floor, recesses shall be permitted beyond 20 feet of an adjacent #building# and beyond 30 feet of the intersection of two #street lines#, as follows:

(i) Along #wide streets#

Recesses shall be provided at the level of each #story# entirely above a height of 60 feet, up to the maximum base height of the #building#. Such recesses shall have a minimum depth of five feet and a width between 10 and 40 percent of the #aggregate width of street wall# of the #building# at the level of any #story#.

(ii) Along #narrow streets#

Above the level of the second #story#, recesses in #street walls# deeper than 18 inches shall be permitted. Such recesses may not exceed 30 percent of the #aggregate width of street wall# of the #building# at the level of any #story#.

(2) Base height

On #wide streets#, and on #narrow streets# within 50 feet of their intersection with a #wide street#, the #street wall# of a #building# shall rise without setback to a minimum base height of 125 feet and a maximum base height of 150 feet.

On #narrow streets#, beyond 50 feet of their intersection with a #wide street#, the #street wall# of a #building# shall rise without setback to a minimum base height of 60 feet, or the height of the #building#, whichever is less, up to a maximum base height of 125 feet.

As an alternative, the minimum and maximum base heights applicable to a #wide street# may apply along a #narrow street# to a distance of 100 feet from its intersection with a #wide street#.

(3) Required setbacks and maximum #building# heights

(i) Along #wide streets#

The provisions of this paragraph, (b)(3)(i), shall apply to #buildings#, or portions thereof, located on #wide streets#, and on #narrow streets# within 100 feet from their intersection with a #wide street#. The portion of such #building# above a height of 150 feet shall be set back from the #street wall# of the #building# at least 10 feet along a #wide street# and at least 15 feet along a #narrow street#,

except such dimensions may include the depth of any permitted recesses in the #street wall#. The maximum height of such #buildings# shall be 320 feet. In addition, the gross area of each of either the highest two or three #stories# of such #building# located entirely above a height of 230 feet, shall not exceed 80 percent of the gross area of the #story# directly below such highest two or three #stories#.

(ii) Along #narrow streets#

The provisions of this paragraph, (b)(3)(ii), shall apply to #buildings#, or portions thereof, located on #narrow streets# beyond 100 feet from their intersection with a #wide street#.

The portion of such #building# above a height of 125 feet shall be set back from the #street wall# of the #building# at least 15 feet, except such dimensions may include the depth of any permitted recesses in the #street wall#.

The maximum height of such #buildings# shall be 185 feet.

For #buildings# containing #residences#, no portion of such #building# exceeding a height of 125 feet shall be nearer to a #rear yard line# than ten feet.

(4) Maximum length of #building wall#

The maximum length of any #story# located entirely above a height of 150 feet shall not exceed 150 feet. Such length shall be measured in plan view by inscribing within a rectangle the outermost walls at the level of each #story# entirely above a level of 150 feet.

(5) Vertical #enlargements#

(i) Existing #buildings# may be vertically #enlarged# by up to one #story# or 15 feet without regard to the #street wall# location requirements of paragraphs (b)(1) and (b)(2) of this Section.

(ii) Existing #buildings# with #street walls# that rise without setback to a height of at least 80 feet may be vertically #enlarged# in excess of one #story# or 15 feet without regard to the #street wall# location requirements of paragraphs (b)(1) and (b)(2) of this Section, provided such #enlarged# portion is located at least 10 feet from a #wide street# and at least 15 feet from a #narrow street#.

**88-331 Special height and setback regulations in Subdistrict A**

For #zoning lots# in Subdistrict A, the regulations in paragraph (b) of Section 88-33 applicable to #wide streets# shall apply, except where modified or superseded by the regulations of this Section.

(a) Maximum #building# height

The maximum height of #buildings# shall be 430 feet.

(b) Lot coverage

Below a height of 290 feet, #buildings# shall have a minimum #floor area# coverage of at least 30 percent of the #lot area# of the #zoning lot#. Above a height of 290 feet, #buildings# shall have a minimum #floor area# coverage of at least 20 percent of the #lot area# of the #zoning lot#.

(c) Modification of #bulk# regulations for #zoning lots# bounding a #public park#

In the case of a #zoning lot line# #abutting# the boundary of a #public park#, such #zoning lot line# shall be considered to be a #wide street line# for the purposes of applying all #bulk# regulations of this Resolution except for #street wall# regulations. For the purposes of applying #street wall# regulations in the case of a #zoning lot line# #abutting# the boundary of a #public park#, a line no more than 45 feet west of and parallel to the nearest boundary line of the #public park# shall be considered a #wide street line#.

(d) #Street wall# location

The #street wall# provisions of this Chapter shall apply, except that, for the portion of a #building#

bounding a #public park#, the #street wall# shall be located at the #street line# for at least 50 percent of the frontage bounding the #public park# and shall rise to the minimum base height, but not higher than the maximum base height.

**88-332 Courts**

Those portions of #buildings# that contain #residences# shall be subject to the court provisions applicable in R10 Districts as set forth in Section 23-80 (Court Regulations, Minimum Distance between Windows and Walls or Lot Lines and Open Area Requirements), inclusive.

**88-40 YARD REGULATIONS**

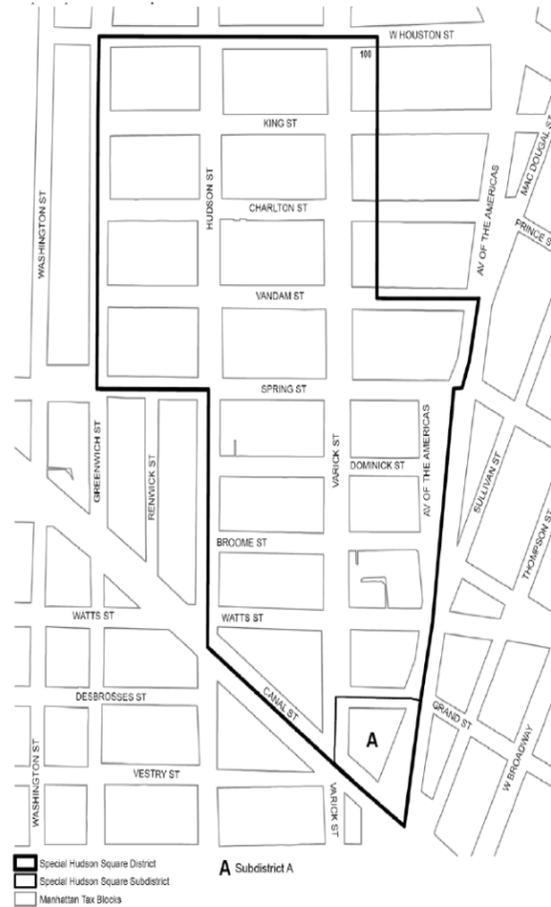
In the #Special Hudson Square District#, the yard provisions applicable in C6 Districts shall apply.

**88-50 PARKING AND LOADING REGULATIONS AND CURB CUT LOCATIONS**

In the #Special Hudson Square District#, the parking regulations applicable in C6-4 Districts, as set forth in Article III, Chapter 6, and as modified, pursuant to Article I, Chapter 3 (Comprehensive Off-Street Parking Regulations in Community Districts 1,2,3,4,5,6,7 and 8 in the Borough of Manhattan and a Portion of Community Districts 1 and 2 in the Borough of Queens) shall apply

**Appendix A**

**Map 1 - Special Hudson Square District and Subdistrict**



**APPENDIX F Inclusionary Housing Designated Areas**

The boundaries of #Inclusionary Housing designated areas# are shown on the maps listed in this Appendix F. The #Residence Districts# listed for such areas shall include #Commercial Districts# where #residential buildings# or the #residential# portion of #mixed buildings# are governed by the #bulk# regulations of such #Residence Districts#. Where #Inclusionary Housing designated areas# are mapped in #Commercial Districts#, the residential district equivalent has instead been specified for each map. Table of

**Inclusionary Housing Designated Areas**

**by Zoning Map**

Zoning Map	Community District	Maps of Inclusionary Housing Designated Areas
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* * *	* * *	* * *
9b	Queens CD 2	Map 1
9d	Queens CD 2	Map 1, Map 2
12a	Manhattan CD 1	Map 1
12a	Manhattan CD 2	Map 1
12c	Manhattan CD 3	Map 1
12c	Brooklyn CD 1	Map 1, Map 2
* * *	* * *	* * *

**Manhattan**

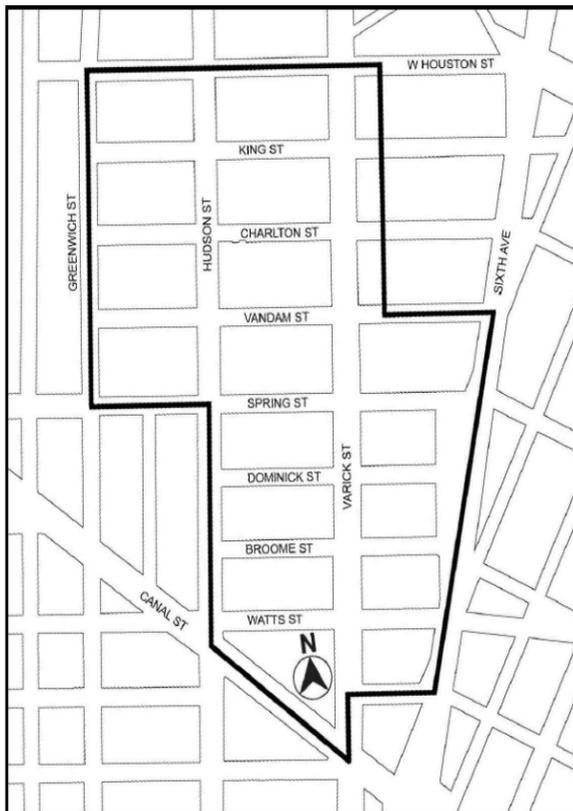
Manhattan Community District 1

\* \* \*  
Manhattan Community District 2

In the M1-6 Districts within the areas shown on the following Map 1:

Map 1

## #Special Hudson Square District# - see Section 88-32



Portion of Community District 2, Manhattan

## NOTICE

On Wednesday, November 28, 2012, at 10:00AM in Spector Hall, at the Department of City Planning, 22 Reade Street, in Lower Manhattan, a public hearing is being held by the City Planning Commission in conjunction with the above ULURP hearing to receive comments related to a Draft Environmental Impact Statement (DEIS) (CEQR # 12DCP045M) concerning zoning map and zoning text amendments affecting an 18-block area within the Hudson Square neighborhood of Manhattan Community District 2. The affected area is bounded generally by West Houston and Vandam Streets to the north, Avenue of the Americas and approximately 100 feet east of Varick Street to the east, Canal and Spring Streets to the south, and Hudson and Greenwich Streets to the west. The Proposed Action would facilitate a proposal by the applicant, the Rector, Church-Wardens and Vestrymen of Trinity Church in the City of New York, to create a Special Purpose zoning district (the "Special Hudson Square District"), within the affected area, allow new residential development to occur in the Special Hudson Square District, incentivize affordable housing, institute provisions to limit conversions of non-residential buildings to residential use and retain certain commercial uses. The public hearing will also consider a modification to the Proposed Action, (ULURP No. 120381ZRM(A)). Written comments on the DEIS are requested and would be received and considered by the Lead Agency until Monday, December 10, 2012.

This hearing is being held pursuant to the State Environmental Quality Review Act (SEQRA) and City Environmental Quality Review (CEQR), CEQR No. 12DCP045M.

**BOROUGH OF QUEENS**  
No. 5  
**PROLOGIS JFK SITE**

CD 13 C 130023 PPQ  
IN THE MATTER OF an application submitted by the NYC Department of Citywide Administrative Services (DCAS), pursuant to Section 197-c of the New York City Charter, for the disposition of city-owned property located in the JFK Industrial Business Zone, on the south side of 146th Avenue, between 153rd Court and 157th Street (Block 14260, p/o Lot 1), pursuant to zoning.

**BOROUGH OF BROOKLYN**  
No. 6  
**4 METROTECH PLAZA OFFICE SPACE**

CD 2 N 130111 PXX  
IN THE MATTER OF a Notice of Intent to acquire office space submitted by the Department of Citywide Administrative Services, pursuant to Section 195 of the New York City Charter for use of property located at 4 MetroTech (Block 2059, Lot 1) (HRA offices).

**BOROUGH OF MANHATTAN**  
No. 7  
**1112 ST. NICHOLAS AVENUE OFFICE SPACE**

CD 12 N 130106 PXM  
IN THE MATTER OF a Notice of Intent to acquire office space submitted by the Department of Citywide Administrative Services, pursuant to Section 195 of the New York City Charter for use of property located at 1112 St. Nicholas Avenue (Block 2124, Lot 1) (CB 12 offices).

**No. 8**  
**EAST VILLAGE/LES HISTORIC DISTRICT**

CD 3 N 130097 HKM  
IN THE MATTER OF a communication dated October 19, 2012, from the Executive Director of the Landmarks Preservation Commission regarding the landmark designation of the East Village/Lower East Side Historic District, by the Landmarks Preservation Commission on October 9, 2012 (Designation List No. 460/LP-2491). The district boundaries are:

Area I of the East Village/Lower East Side Historic District consists of the property bounded by a line beginning at the

northeast corner of Second Avenue and East 2nd Street, extending westerly across Second Avenue and continuing westerly along the northern curblin of East 2nd Street to its intersection with a line extending southerly from the western side wall of 26 East 2nd Street, northerly along the western side wall of 26 East 2nd Street, easterly along the northern property line of 26 East 2nd Street and a portion of the northern property line of 28 East 2nd Street, northerly along a portion of the western property line of 28 East 2nd Street, easterly along a portion of the northern property line of 28 East 2nd Street and the northern property lines of 30 to 36 East 2nd Street to the western curblin of Second Avenue, northerly along the western curblin of Second Avenue to its intersection with a line extending easterly from the southern property line of 43 Second Avenue, westerly along the southern property line of 43 Second Avenue, northerly along the western property lines of 43 to 45-47 Second Avenue, westerly along a portion of the southern property line of 30 East 3rd Street to the northern curblin of East 3rd Street, westerly along the southern curblin of East 3rd Street to its intersection with a line extending southerly from the western property line of 7 East 3rd Street, northerly along the western property line of 7 East 3rd Street, westerly along the southern property line of 56 East 4th Street and a portion of the southern property line of 54 East 4th Street, northerly along a portion of the western property line of 54 East 7th Street, westerly along a portion of the southern property line of 54 East 7th Street, northerly along a portion of the western curblin of East 4th Street, easterly along the northern curblin of East 4th Street to its intersection with a line extending southerly from the western property line of 57 East 4th Street, northerly along the western property line of 57 East 4th Street, westerly along a portion of the southern property line of 210-214 East 5th Street, northerly along the western property line of 210-214 East 5th Street to the northern curblin of East 5th Street, westerly along the northern curblin of East 5th Street to its intersection with a line extending southerly from the western property line of 207 East 5th Street, northerly along the western property line of 207 East 5th Street, easterly along the northern property lines of 207 to 223 East 5th Street and a portion of the northern property line of 225 East 5th Street, northerly along the western property line of 226 East 6th Street to the southern curblin of East 6th Street, easterly along the southern curblin of East 6th Street to its intersection with a line extending southerly from the western property line of 103 Second Avenue (aka 239 East 6th Street), northerly along the western property line of 103 Second Avenue (aka 239 East 6th Street) and 105 Second Avenue and a portion of the western property line of 107-113 Second Avenue, easterly along a portion of the northern property line of 107-113 Second Avenue, northerly along a portion of the western property line of 107-113 Second Avenue and the western property line of 46 East 7th Street to the northern curblin of East 7th Street, westerly along the northern property line of East 7th Street to its intersection with a line extending southerly from the western property line of 11 East 7th Street, northerly along the western property line of 11 East 7th Street, easterly along the northern property lines of 11 to 39 East 7th Street and a portion of the northern property line of 41-43 East 7th Street, northerly along western property line of 125 Second Avenue, easterly along a portion of the northern property line of 125 Second Avenue, northerly along the western property lines of 127 Second Avenue to 131 Second Avenue (aka 36 St. Mark's Place) to the southern curblin of St. Mark's Place, easterly along the southern curblin of St. Mark's Place, southerly along the western curblin of Second Avenue to the southwest corner of Second Avenue and East 7th Street, easterly along the southern curblin of East 7th Street to its intersection with a line extending southerly from the western property line of 49 East 7th Street, northerly along the western property line of 49 East 7th Street, easterly along the northern property line of 49 East 7th Street, northerly along a portion of the western property line of 51 East 7th Street, easterly along the northern property lines of 51 to 65 East 7th Street, southerly along a portion of the eastern property line of 65 East 7th Street, easterly along the northern property lines of 67 to 69 East 7th Street, northerly along a portion of the western property line of 71 East 7th Street, easterly along the northern property lines of 71 to 73-75 East 7th Street, southerly along a portion of the eastern property line of 73-75 East 7th Street, easterly along the northern property line of 77 East 7th Street, northerly along a portion of the western property line of 79 East 7th Street, easterly along the northern property lines of 79 to 85 East 7th Street, southerly along the eastern property line of 85 East 7th Street to the northern curblin of East 7th Street, westerly along the northern curblin of East 7th Street to its intersection with a line extending northerly from the eastern property line of 84 East 7th Street, southerly along the eastern property line of 84 East 7th Street, westerly along the southern property line of 84 East 7th Street, southerly along a portion of the eastern property line of 82 East 7th Street and the eastern property line of 341 East 6th Street, continuing across East 6th Street and along the eastern property line of 340 East 6th Street, westerly along the southern property lines of 340 to 306-308 East 6th Street, southerly along the eastern property line of 92-94 Second Avenue, westerly along a portion of the southern property line of 92-94 Second Avenue, southerly along the eastern property line of 88-90 Second Avenue (aka 301 East 5th Street) to the southern curblin of East 5th Street, easterly along the southern curblin of East 5th Street to its intersection with a line extending northerly from the eastern property line of 86 Second Avenue (aka 300 East 5th Street), southerly along the eastern property lines of 86 Second Avenue (aka 300 East 5th Street) to 72 Second Avenue (aka 91 East 4th Street) to the northern curblin of East 4th Street, westerly along the northern curblin of East 4th Street to its intersection with a line extending northerly from the eastern property line of 68-70 Second Avenue (aka 86 East 4th Street), southerly along the eastern property lines of 68-70 Second Avenue (aka 86 East 4th Street) to 64 Second Avenue, easterly along a portion of the northern property line of 60-62 Second Avenue, southerly along the eastern property line of 60-62 Second Avenue, easterly along

a portion of the northern property line of 51-55 East 3rd Street, northerly along a portion of the western property line of 51-55 East 3rd Street, easterly along a portion of the northern property line of 51-55 East 3rd Street and the northern property line of 57 East 3rd Street, southerly along the eastern property line of 57 East 3rd Street to the southern curblin of East 3rd Street, easterly along said curblin to a point on a line extending northerly from the eastern property line of 64 East 3rd Street, southerly along the eastern property line of 64 East 3rd Street, easterly along a portion of the northern property line of 52-74 East 2nd Street, southerly along the eastern property line of 52-74 East 2nd Street, southerly along the eastern property line of 80 East 2nd Street to the northern curblin of East 2nd Street, westerly along said curblin to a point on a line extending northerly from the eastern property line of 77 East 2nd Street, southerly along said line and the eastern property line of 77 East 2nd Street, westerly along the southern property lines of 77 and 75 East 2nd Street, southerly along a portion of the eastern property line of 67-69 East 2nd Street, westerly along the southern property lines of 67-69 and 59-63 East 2nd Street, northerly along a portion of the western property line of 59-63 East 2nd Street, westerly along the southern property line of 47-55 East 2nd Street, southerly along a portion of the eastern property line of 43-45 East 2nd Street (aka 32-34 Second Avenue), westerly along the southern property line of 43-45 East 2nd Street to the eastern curblin of Second Avenue, northerly along said curblin, easterly along the southern curblin of East 2nd Street to a point on a line extending southerly from the western property line of 52-74 East 2nd Street, northerly along said line and the western property line of 52-74 East 2nd Street, westerly along the southern property lines of 54-56 and 50-52 East 3rd Street, northerly along a portion of the western property line of 50-52 East 3rd Street, westerly along the southern property lines of 48 through 40-42 East 2nd Street (aka 50-52 Second Avenue) to the eastern curblin of Second Avenue, and southerly along said curblin to the point or place of beginning.

Area II of the East Village/Lower East Side Historic District consists of the property bounded by a line beginning at the northeast corner of First Avenue and East 7th Street, extending northerly along the eastern curblin of First Avenue to its intersection with a line extending westerly from the northern property line of 122 First Avenue, easterly along the northern property line 122 First Avenue, northerly along a portion of the western property line of 95 East 7th Street, easterly along the northern property lines of 95 to 109 East 7th Street, southerly along a portion of the eastern property line of 109 East 7th Street, easterly along the northern property line of 111-115 East 7th Street, southerly along a portion of the eastern property line of 117-119 East 7th Street, easterly the northern property lines of 117-119 to 129 East 7th Street, southerly along the eastern property line of 129 East 7th Street to the northern curblin of East 7th Street, westerly along the northern curblin of East 7th Street to its intersection with a line extending northerly from the eastern property line of 122 East 7th Street, southerly along the eastern property line of 122 East 7th Street, easterly along the northern property lines of 439 to 441 East 6th Street and 101 Avenue A to the western curblin of Avenue A, southerly along the western curblin of Avenue A to the northern curblin of East 6th Street, westerly along the northern curblin of East 6th Street to its intersection with a line extending southerly from the western property line of 405 East 6th Street, northerly along said property line, easterly along the northern property line of 405 East 6th Street, northerly along the western property line of 94 East 7th Street and across East 7th Street to its northern curblin, and westerly along the northern curblin of East 7th Street to the point of the beginning.

**YVETTE V. GRUEL, Calendar Officer**  
**City Planning Commission**  
**22 Reade Street, Room 2E**  
**New York, New York 10007**  
**Telephone (212) 720-3370**

n14-28

**COMMUNITY BOARDS**

## ■ PUBLIC HEARINGS

PUBLIC NOTICE IS HEREBY GIVEN THAT the following matters have been scheduled for public hearing by Community Boards:

**BOROUGH OF BROOKLYN**

COMMUNITY BOARD NO. 18 - Wednesday, November 21, 2012, 7:00 P.M., Community Board Office, 1097 Bergen Avenue, Brooklyn, NY

**BSA# 206-12-BZ**

Premises: 2372 East 70th Street between Avenues W and X  
An application filed pursuant to Section 23-141 of the Zoning Resolution for a special permit to legalize removal of existing one-car garage and convert the area into recreational use in a R3-1 zoning district.

n15-21

PUBLIC NOTICE IS HEREBY GIVEN THAT the following matters have been scheduled for public hearing by Community Boards:

**BOROUGH OF BROOKLYN**

COMMUNITY BOARD NO. 10 - Monday, November 19, 2012, 7:15 P.M., Norwegian Christian Home, 1250 67th Street, Brooklyn, NY

DCA renewal application for unenclosed sidewalk cafe for 9 tables and 19 seats at 8406 Third Avenue Restaurant Corp. d/b/a Sofia, 8406 Third Avenue.

n13-19

**CONSUMER AFFAIRS****■ PUBLIC HEARINGS**

NOTICE IS HEREBY GIVEN, PURSUANT TO LAW, that the New York City Department of Consumer Affairs will hold a Public Hearing on Wednesday, November 21st 2012, at 2:00 P.M., at 66 John Street, 11th floor, in the Borough of Manhattan, on the following petitions for sidewalk café revocable consent:

- 1) 149 Broadway Restaurant, LLC  
149 Broadway, in the Borough of Brooklyn  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 2) 191 Grand Restaurant Corp.  
191 Grand Street, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 3) Ballaro, Inc.  
77 2nd Avenue, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 4) Caffe Silvestri Inc.  
191 Hester Street, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 5) Carnival Latin Bistro Corp.  
4325 Broadway, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 6) Feenjon Corp.  
103-105 Macdougall Street, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 7) FGNV 496 Laguardia, LLC  
496 Laguardia Place, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 8) Harlem Apple LLC  
1 West 125th Street, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 9) Haru Too, Inc.  
1327 Third Avenue, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 10) HL Koeln Corp.  
710 Fulton Street, in the Borough of Brooklyn  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 11) Kon Café Corp.  
2001 Stillwell Avenue, in the Borough of Brooklyn  
(To establish, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 12) Los Pollitos III, Inc.  
499 Myrtle Avenue, in the Borough of Brooklyn  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 13) Olympian Summit Inc.  
35-25 Steinway Street, in the Borough of Queens  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 14) Third Ave. Rest., Inc.  
430 Amsterdam Avenue, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 15) Vero Midtown LLC  
1004 Second Avenue, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 16) Virgilia Café Inc.  
168 East 31st Street, in the Borough of Manhattan  
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 17) Zee Seven Corp.  
2869 Broadway, in the Borough of Manhattan  
(To establish, maintain, and operate an unenclosed sidewalk café for a term of two years.)

Individuals requesting Sign Language Interpreters should contact the Department of Consumer Affairs, Licensing division, 42 Broadway, 5th Floor, New York, NY 10004, (212) 487-4379, no later than five (5) business days before the hearing.

n16

**EMPLOYEES RETIREMENT SYSTEM****■ INVESTMENT MEETING**

Please be advised that the next Investment Meeting of the Board of Trustees of the New York City Employees' Retirement System has been scheduled for Tuesday, November 20, 2012 at 9:30 A.M. to be held at the New York City Employees' Retirement System, 335 Adams Street, 22nd Floor Boardroom, Brooklyn, NY 11201-3751.

n13-19

**LANDMARKS PRESERVATION COMMISSION****■ PUBLIC HEARINGS**

NOTICE IS HEREBY GIVEN that pursuant to the provisions of Title 25, chapter 3 of the Administrative Code of the City of New York (Sections 25-307, 25-308, 25-309, 25-313, 25-318, 25-320) (formerly Chapter 8-A, Sections 207-6.0, 207-7.0, 207-12.0, 207-17.0, and 207-19.0), on Tuesday, **November 27, 2012 at 9:00 A.M.** in the morning of that day, a public hearing will be held in the Conference Room at 1 Centre Street, 9th Floor, Borough of Manhattan with respect to the following properties and then followed by a public meeting. Any person requiring reasonable accommodation in order to participate in the hearing or attend the meeting should call or write the Landmarks Commission no later than five (5) business days before the hearing or meeting.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF QUEENS 12-2297 - Block 1266, lot 7501-79-15 35th Avenue - Jackson Heights Historic District  
A neo-Georgian style apartment building designed by Cohn Brothers and built in 1936-37. Application is to legalize the installation of an areaway fence without Landmarks Preservation Commission permit(s). Community District 3.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-5383 - Block 2563, lot 72-127 Milton Street - Greenpoint Historic District  
An Italianate style rowhouse designed by Thomas C. Smith and built c. 1876. Application is to alter window openings at the rear elevation and excavate the rear yard.  
Community District 1.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-2190 - Block 249, lot 34-146 Montague Street - Brooklyn Heights Historic District  
A 19th century rowhouse, later altered with Gothic style elements. Application is to legalize a display box installed without a Landmarks Preservation Commission permit.  
Zoned R7-1, C1-3. Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-6245 - Block 244, lot 17-177 Montague Street - Former Brooklyn Trust Company Building- Individual & Interior Landmark  
A neo-Italian Renaissance style bank building and banking hall designed by York & Sawyer and built in 1913-16. Application is to alter the facade, and install a canopy.  
Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 12-2916 - Block 261, lot 29-90 Joralemon Street - Brooklyn Heights Historic District  
A Greek Revival style rowhouse built in 1855. Application is to install a cornice. Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-1756 - Block 221, lot 29-70 Henry Street - Brooklyn Heights Historic District  
A one-story store building built in the 19th Century and later altered. Application is to demolish the existing building and construct a new building. Zoned R7-1, C1-5.  
Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-7280 - Block 238, lot 8-1 Pierrepont Street - Brooklyn Heights Historic District  
A brick apartment house with neo-Gothic style features designed by Caughey & Evans and built in 1924. Application is to establish a Master Plan governing the future installation of windows at the 11th and 12th floors.  
Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-6583 - Block 1922, lot 1-171-185 Steuben Street - Pratt Institute Faculty Rowhouses- Individual Landmark  
Eight Colonial Revival style rowhouses designed by Hobart A. Walker and built in 1907. Application is to replace windows. Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-6265 - Block 235, lot 37-105 Willow Street - Brooklyn Heights Historic District  
An Eclectic-Diverse style rowhouse built between 1861-1879. Application is to construct a rooftop bulkhead and railing and alter windows on the rear facade. Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-6099 - Block 1073, lot 14-20 Montgomery Place - Park Slope Historic District  
A rowhouse with Romanesque Revival style elements built in 1897-98. Application is to excavate the cellar. Zoned R7B.  
Community District 6.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF BROOKLYN 13-4696 - Block 1151, lot 80-175 Prospect Place - Prospect Heights Historic District  
An altered Italianate style rowhouse built circa 1870. Application is to excavate the rear yard and to construct a rear yard addition. Zoned R6B. Community District 6.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-7939 - Block 172, lot 5-372 Broadway - Tribeca East Historic District  
An Italianate style store and loft building built in 1852-54. Application is to construct a rooftop addition, alter the lot-line facade and fire-escapes, and install storefront infill.  
Zoned C6-4A. Community District 1.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-5558 - Block 294, lot 8-54 Canal Street - S. Jarmulowsky Bank Building - Individual Landmark  
A neo-Renaissance style bank and office building designed by Rouse & Goldstone and built in 1911-12. Application is to construct a rooftop addition, and to install windows, balconies and ground-floor infill. Zoned C6-2C. Community District 1.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-6664 - Block 617, lot 1-

76 Greenwich Avenue - Greenwich Village Historic District  
A brick building built in the mid -1980's and designed by Ferrenz and Taylor. Application is to amend Certificate of Appropriateness 12-7254 for the demolition of the building and the construction of a park. Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 11-7958 - Block 592, 79 lot - 123 Washington Place - Greenwich Village Historic District  
A transitional Federal style rowhouse built in 1831. Application is to construct a rear yard addition, alter a dormer window, and excavate the rear yard. Zoned R6. Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-3756 - Block 590, lot 10-275 Bleecker Street - Greenwich Village Historic District - Extension II  
A Federal/Italianate style row house, built c.1818 and altered in 1876. Application is to modify storefront cladding installed without Landmarks Preservation Commission permits.  
Community District 2.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-6318 - Block 672, lot 1-601 West 26th Street - Starrett-Lehigh Building - Individual Landmark  
An International style warehouse building designed by Russell G. and Walter M. Cory with Yasuo Matsui and built in 1930-31. Application is to replace windows.  
Community District 4.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-6228 - Block 1015, lot 29-1501 Broadway - Paramount Building - Individual Landmark  
A French Beaux-Arts style-inspired skyscraper designed by Rapp and Rapp and built in 1926-1927. Application is to install a marquee with LED lighting and to create window openings. Community District 5.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-6206 - Block 875, lot 35-141 East 19th Street - Gramercy Park Historic District  
A rowhouse with Italianate style details built in 1842 and altered in the early 20th Century. Application is to construct an addition and stair bulkhead. Zoned R8B, LH1.  
Community District 6.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-6148 - Block 1198, lot 60-70 West 85th Street - Upper West Side/Central Park Historic District  
A Romanesque Revival style rowhouse designed by John G. Prague and built in 1894-95. Application is to construct rooftop and rear yard additions. Community District 7.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-1690 - Block 1249, lot 16-337 West 87th Street -Riverside-West End Historic District  
A Renaissance Revival style rowhouse design by Thom and Wilson and built in 1893. Application is to construct a rear yard addition. Zoned R8. Community District 7.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-6410 - Block 1501, lot 1-1080 Fifth Avenue - Expanded Carnegie Hill Historic District  
A Modern style apartment building designed by Wechsler & Schimenti and built in 1960-61. Application is to modify the door surround and replace window and door grilles.  
Community District 8.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-6306 - Block 1379, lot 51-30 East 65th Street - Upper East Side Historic District  
An apartment house designed by Kikkins & Lyras and built in 1959. Application is to modify the vestibule and replace the canopy. Community District 8.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-6628 - Block 1405, lot 14-131 East 70th Street, aka 960 Lexington Avenue - Upper East Side Historic District  
An rowhouse designed by Robert Mook and built circa 1871, and altered in the Anglo- Italianate style by Grosvenor Atterbury in 1909-11. Application is to replace an existing rear addition. Zoned C1-5, R9X. Community District 8.

**CERTIFICATE OF APPROPRIATENESS**  
BOROUGH OF MANHATTAN 13-5210 - Block 1383, lot 36-686 Park Avenue - Upper East Side Historic District  
A neo-Federal style residence designed by Delano and Aldrich built in 1917-19. Application is to install an LED sign box. Zoned R-10. Community District 8.

n13-27

**BOARD OF STANDARDS AND APPEALS****■ PUBLIC HEARINGS****NOVEMBER 27, 2012, 10:00 A.M.**

**NOTICE IS HEREBY GIVEN** of a public hearing, Tuesday morning, **November 27, 2012, 10:00 A.M.**, at 40 Rector Street, 6th Floor, New York, N.Y. 10006, on the following matters:

**SPECIAL ORDER CALENDAR****743-59-BZ**

**APPLICANT** – Peter Hirshman, for VM 30 Park, LLC, owner.  
**SUBJECT** – Application June 14, 2012 – Extension of Term of a previously approved variance, granted pursuant to Section 7e of the 1916 zoning resolution and Section 60 (1d) of the Multiple Dwelling Law, which permitted attended transient parking limited to twenty (20) unused or surplus

spaces, which expired on June 14, 2011; Waiver of the Rules. R10 & R9x zoning district.  
PREMISES AFFECTED – 30 Park Avenue, southwest corner of East 36th Street and Park Avenue, Block 865, Lot 40, Borough of Manhattan.

**COMMUNITY BOARD #6M****APPEALS CALENDAR****85-12-A**

APPLICANT – Fried Frank by Richard G. Leland, Esq., for Take Two Outdoor Media LLC c/o Van Wagner Communication LLC.

OWNER OF PREMISES - G.A.L. Manufacturing Company  
SUBJECT – Application April 6, 2012 –Appeal from determination of Bronx Borough Commissioner of the Department of Buildings regarding right to maintain existing advertising sign in manufacturing district. M1-1 Zoning District  
PREMISES AFFECTED – 50 East 153rd Street, bounded by Metro North and the Metro North Station; an off ramp to the Major Deegan Expressway, E. 157th Street, E. 153rd Street and the Bronx Terminal Market, Block 2539, Lot 132, Borough of Bronx.

**COMMUNITY BOARD #4BX****90-12-A**

APPLICANT – Fried Frank by Richard G. Leland, Esq., for Van Wagner Communication LLC.

OWNER OF PREMISES – Robal Arlington Corporation.  
SUBJECT – Application April 11, 2012 – Appeal from determination of Manhattan Borough Commissioner of the Department of Buildings regarding right to maintain existing advertising sign in manufacturing district.  
PREMISES AFFECTED – 111 Varick Street, between Broome and Dominick Street, Block 578, Lot 71, Borough of Manhattan.

**COMMUNITY BOARD #2M****NOVEMBER 27, 2012, 1:30 P.M.**

**NOTICE IS HEREBY GIVEN** of a public hearing, Tuesday afternoon, **November 27, 2012, at 1:30 P.M.**, at 40 Rector Street, 6th Floor, New York, N.Y. 10006, on the following matters:

**ZONING CALENDAR****106-12-BZ**

APPLICANT – Eric Palatnik, P.C., for Edgar Soto, owner; Autozone, Inc., lessee.

SUBJECT – Application April 17, 2012 – Special Permit (§73-50) to permit the development of a new one-story Use Group 6 retail store contrary to rear yard §33-292. C8-3 zoning district.  
PREMISES AFFECTED – 2102 Jerome Avenue between East Burnside Avenue and East 181st Street, Block 3179, Lot 20, Borough of Bronx.

**COMMUNITY BOARD #5BX****156-12-BZ**

APPLICANT – Sheldon Lobel, for Prospect Equities Operation, LLC, owner.

SUBJECT – Application May 17, 2012 – Variance (§72-21) to permit construction of a mixed-use affordable housing building with ground floor commercial use contrary to §23-851 (minimum inner court dimensions). C1-4/R7A zoning district.  
PREMISES AFFECTED – 816 Washington Avenue, southwest corner of Washington Avenue and St. John's Place, Block 1176, Lot 90, Borough of Brooklyn.

**COMMUNITY BOARD #8BK****276-12-BZ**

APPLICANT – Rothkrug Rothkrug & Spector LLP, for 833 Flatbush, LLC c/o Jem Realty, owner; Blink 833 Flatbush Avenue Inc., lessee.

SUBJECT – Application September 11, 2012 – Special Permit (§73-36) to permit a physical culture establishment (*Blink*) within portions of existing commercial building in a C2-4 zoning district.

PREMISES AFFECTED – 833/45 Flatbush Avenue aka 2/12 Linden Boulevard, northeast corner of Flatbush Avenue and Linden Boulevard, Block 5086, Lot 8, Borough of Brooklyn.

**COMMUNITY BOARD #14BK****278-12-BZ**

APPLICANT – John M. Marmora, Esq., for Robert J. Panzarella, BSB Real Estate Holdings LLC, J & J Real Estate Holdings LLC, owners.

SUBJECT – Application September 18, 2012 – Special Permit (§73-52) to extend by 25'-0" a commercial use into a residential zoning district to permit the development of a proposed eating and drinking establishment (McDonald's) with accessory drive thru. C8-2 and R5 zoning district.

PREMISES AFFECTED – 3143 Atlantic Avenue, northwest corner of Atlantic Avenue between Hale Avenue and Norwood Avenue, Block 3960, Lot 58, Borough of Brooklyn

**COMMUNITY BOARD #5BK***Jeff Mulligan, Executive Director***n15-16****PROPERTY DISPOSITION****CITYWIDE ADMINISTRATIVE SERVICES****ASSET MANAGEMENT****PUBLIC AUCTION****PROPOSED LEASES OF CERTAIN NEW YORK CITY REAL PROPERTY SEALED BID PUBLIC LEASE AUCTION**

**PUBLIC NOTICE IS HEREBY GIVEN** THAT The Department of Citywide Administrative Services, Asset Management will conduct a Sealed Bid Public Lease Auction

pertaining to Long-Term Leases, Short-Term Leases and Licenses on December 4, 2012, at 1 Centre Street, 18th floor Bid Room, New York, New York 10007. Sealed bids will be accepted from 10:00 A.M. to 11:00 A.M. and opened at 11:00 A.M.

The offerings, including Terms and Conditions and Special Terms and Conditions, are set forth in a brochure which will be available on November 1, 2012. For further information, including a brochure and a bid packet, please visit the DCAS website after November 1, 2012 at [nyc.gov/dcas](http://nyc.gov/dcas) or contact Shelley Goldman at 212-386-0608.

In accordance with Section 384 of the City Charter, long term leases will be offered for the properties listed below at Sealed Bid Public Lease Auction. A Public Hearing was held on August 15, 2012 at 22 Reade Street, in the Borough of Manhattan in the matter of the two properties listed below.

**Brooklyn, Block 6036, Part of Lot 1**

Property Address: 8501 Fifth Avenue  
Property Type: Ground floor retail store and basement space

Minimum Annual Bid: \$99,960  
Inspection Dates: Thursday, November 8, 2012, 11:00 A.M. to 12:00 P.M.  
Friday, November 16, 2012, 10:00 A.M. to 11:00 A.M.

**Brooklyn, Block 6036, Part of Lot 1**

Property Address: 8509 Fifth Avenue  
Property Type: Ground floor retail store and basement space

Minimum Annual Bid: \$85,680  
Inspection Dates: Thursday, November 8, 2012, 10:00 A.M. to 11:00 A.M.  
Friday, November 16, 2012, 11:00 A.M. to 12:00 P.M.

**NOTE:** Individuals requesting Sign Language Interpreters should contact the Mayor's Office of Contract Services, Public Hearings Unit, 253 Broadway, Room 915, New York, NY 10007, (212) 788-7490, no later than fourteen (14) days prior to the auction.

TDD users should call VERIZON relay services.

**o16-d4****PROPOSED LEASES OF CERTAIN NEW YORK CITY REAL PROPERTY SEALED BID PUBLIC LEASE AUCTION**

**PUBLIC NOTICE IS HEREBY GIVEN** THAT The Department of Citywide Administrative Services, Asset Management will conduct a Sealed Bid Public Lease Auction pertaining to Long-Term Leases, Short-Term Leases and Licenses on December 4, 2012, at 1 Centre Street, 18th floor Bid Room, New York, New York 10007. Sealed bids will be accepted from 10:00 A.M. to 11:00 A.M. and opened at 11:00 A.M.

The offerings, including Terms and Conditions and Special Terms and Conditions, are set forth in a brochure which will be available on November 1, 2012. For further information, including a brochure and a bid packet, please visit the DCAS website after November 1, 2012 at [nyc.gov/dcas](http://nyc.gov/dcas), or contact us at 212-386-0335.

In accordance with New York Administrative Code Section 4-203, the properties listed below will be offered at Sealed Bid Public Lease Auction:

**Queens, Block 3880, Lot 91**

Property Description: Unimproved land located approximately 167 feet from the north west corner of Margaret Place and Trotting Course Lane

Minimum Monthly Bid: \$9,000  
Inspection Dates: Tuesday, November 13, 2012, 1:00 P.M. to 2:00 P.M.  
Tuesday, November 20, 2012, 11:00 A.M. to 12:00 P.M.

**Staten Island, Block 1107, Lot 100**

Property Description: Unimproved land and adjacent land underwater located approximately 86 feet north of Richmond Terrace between Winant Street and Newark Avenue

Minimum Monthly Bid: \$6,000  
Inspection Dates: Friday, November 9, 2012, 12:00 P.M. to 1:00 P.M.  
Thursday, November 15, 2012, 11:00 A.M. to 12:00 P.M.

**Brooklyn, Block 2896, Lot 999**

Property Description: Unimproved land (bed-of-street) located at the bed of Skillman Street between Morgan Avenue and Vandervoort Avenue

Minimum Monthly Bid: \$6,200  
Inspection Dates: Wednesday, November 14, 2012, 11:00 A.M. to 12:00 P.M.  
Tuesday, November 20, 2012, 1:00 P.M. to 2:00 P.M.

**Queens, Block 13420, Lots: 8 and 999**

Property Description: Unimproved land located west side of 183rd Street, 200 feet south of the southwest corner of 150th Drive and 183rd Street

Minimum Monthly Bid: \$6,500  
Inspection Dates: Thursday, November 15, 2012, 12:00 P.M. to 1:00 P.M.  
Wednesday, November 21, 2012, 11:00 A.M. to 12:00 P.M.

**Queens, Block 13432, Lots:** Part of Lot 6, Part of Lot 20, Part of Lot 21, Part of Lot 40, Part of Lot 46, Part of Lot 49, Part of Lot 53; and

**Block 13433, Lots:** Part of Lot 2, 5, 10, Part of Lot 15, Part of Lot 20, Part of Lot 23, Part of Lot 29, Part of Lot 34, Part of Lot 36, Part of Lot 53, Part of Lot 55, Part of Lot 57, 59, 69, Part of Lot 999 (formerly known as 150th Road)

Property Description: Unimproved land located on the east side of 183rd Street, 80 feet north of Rockaway Boulevard  
Minimum Monthly Bid: \$23,460

Inspection Dates: Thursday, November 15, 2012, 1:00 P.M. to 2:00 P.M.  
Wednesday, November 21, 2012, 12:00 P.M. to 1:00 P.M.

**NOTE:** Individuals requesting Sign Language Interpreters should contact the Mayor's Office of Contract Services, Public Hearings Unit, 253 Broadway, Room 915, New York, NY 10007, (212) 788-7490, no later than fourteen (14) days prior to the auction.

TDD users should call VERIZON relay services.

**n1-d4****CITYWIDE PURCHASING****NOTICE**

The Department of Citywide Administrative Services, Office of Citywide Purchasing is currently selling surplus assets on the internet. Visit

<http://www.publicsurplus.com/sms/nycdcas.ny/browse/home>. To begin bidding, simply click on 'Register' on the home page. There are no fees to register. Offerings may include but are not limited to: office supplies/equipment, furniture, building supplies, machine tools, HVAC/plumbing/electrical equipment, lab equipment, marine equipment, and more. Public access to computer workstations and assistance with placing bids is available at the following locations:

- DCAS Central Storehouse, 66-26 Metropolitan Avenue, Middle Village, NY 11379
- DCAS, Office of Citywide Purchasing, 1 Centre Street, 18th Floor, New York, NY 10007.

**n1-d4****HOUSING PRESERVATION & DEVELOPMENT****NOTICE**

Pursuant to Section 695(2)(b) of the General Municipal Law and Section 1802(6)(j) of the Charter, notice is hereby given that the Department of Housing Preservation and Development ("HPD") of the City of New York ("City") has proposed to the Council the sale of the following property located in the Borough of Brooklyn, City and State of New York, comprising the following property currently owned by the City, known as:

Address	Block	Lots
524 Vandalia Ave.	4452	700
526 Schroeders Ave.	4452	p/o 170

together with the following property to be acquired by the City from the State of New York, known as:

Address	Block	Lots
516 Vandalia Ave.	4452	p/o 400 ("State Land")

on the Tax Map of the City and as Gateway Elton Phase II in HPD's Low Income Rental Program (collectively, "Disposition Area"); and

Under HPD's Low Income Rental Program, sponsors purchase City-owned land or vacant buildings and construct or rehabilitate multifamily buildings in order to create affordable rental housing. Construction and permanent financing is provided through loans from private institutional lenders and from public sources including HPD, the New York City Housing Development Corporation, the State of New York, and the federal government. Additional funding may also be provided from the syndication of low-income housing tax credits. The newly constructed or rehabilitated buildings provide rental housing to low-income families. Subject to project underwriting, up to 20% of the units may be rented to formerly homeless families.

Under the proposed project, the City will sell the Disposition Area to CAMBA Gateway II Housing Development Corporation, Inc. ("Sponsor") for the nominal price of one dollar per tax lot. The Sponsor will also deliver an enforcement note and mortgage for the remainder of the appraised value ("Land Debt"). The Sponsor will then construct 3 buildings containing a total of 175 rental dwelling units and approximately 24,000 square feet of commercial space on the Disposition Area.

The Land Debt will be repayable out of resale or refinancing profits for a period of thirty (30) years following completion of construction. The remaining balance, if any, may be forgiven in the 30th year.

The appraisal and the proposed Land Disposition Agreement and Project Summary are available for public examination at the office of HPD, 100 Gold Street, Room 9-C11, New York, New York on business days during business hours.

**PLEASE TAKE NOTICE** that a public hearing will be held on December 18, 2012 at Second Floor Conference Room, 22 Reade Street, Manhattan at 10:00 A.M., or as soon thereafter as the matter may be reached on the calendar, at which time and place those wishing to be heard will be given an opportunity to be heard concerning the proposed sale of the Disposition Area pursuant to Section 695(2)(b) of the General Municipal Law and Section 1802(6)(j) of the Charter.

Individuals requesting sign language interpreters should contact the Mayor's Office Of Contract Services, Public Hearings Unit, 253 Broadway, Room 915, New York, New York 10007, (212) 788-7490, no later than five (5) business days prior to the public hearing. TDD users should call Verizon relay services.

**n16****POLICE**

**OWNERS ARE WANTED BY THE PROPERTY CLERK DIVISION OF THE NEW YORK CITY POLICE DEPARTMENT.**

The following listed property is in the custody, of the Property Clerk Division without claimants.

Recovered, lost, abandoned property, property obtained from prisoners, emotionally disturbed, intoxicated and deceased persons; and property obtained from persons incapable of caring for themselves.

Motor vehicles, boats, bicycles, business machines, cameras, calculating machines, electrical and optical property, furniture, furs, handbags, hardware, jewelry, photographic equipment, radios, robes, sound systems, surgical and musical instruments, tools, wearing apparel, communications equipment, computers, and other miscellaneous articles.

#### INQUIRIES

Inquiries relating to such property should be made in the Borough concerned, at the following office of the Property Clerk.

#### FOR MOTOR VEHICLES (All Boroughs):

- \* College Auto Pound, 129-01 31 Avenue, College Point, NY 11354, (718) 445-0100
- \* Gowanus Auto Pound, 29th Street and 2nd Avenue, Brooklyn, NY 11212, (718) 832-3852
- \* Erie Basin Auto Pound, 700 Columbia Street, Brooklyn, NY 11231, (718) 246-2029

#### FOR ALL OTHER PROPERTY

- \* Manhattan - 1 Police Plaza, New York, NY 10038, (212) 374-4925.
- \* Brooklyn - 84th Precinct, 301 Gold Street, Brooklyn, NY 11201, (718) 875-6675.
- \* Bronx Property Clerk - 215 East 161 Street, Bronx, NY 10451, (718) 590-2806.
- \* Queens Property Clerk - 47-07 Pearson Place, Long Island City, NY 11101, (718) 433-2678.
- \* Staten Island Property Clerk - 1 Edgewater Plaza, Staten Island, NY 10301, (718) 876-8484.

j1-d31

## PROCUREMENT

**“Compete To Win” More Contracts!**  
Thanks to a new City initiative - “Compete to Win” - the NYC Department of Small Business Services offers a new set of FREE services to help create more opportunities for minority and women-owned businesses to compete, connect and grow their business with the City. With NYC Construction Loan, Technical Assistance, NYC Construction Mentorship, Bond Readiness, and NYC Teaming services, the City will be able to help even more small businesses than before.

- Win More Contracts at [nyc.gov/competetowin](http://nyc.gov/competetowin)

**“The City of New York is committed to achieving excellence in the design and construction of its capital program, and building on the tradition of innovation in architecture and engineering that has contributed to the City’s prestige as a global destination. The contracting opportunities for construction/construction services and construction-related services that appear in the individual agency listings below reflect that commitment to excellence.”**

## AGING

### AWARDS

#### Human/Client Services

**NEIGHBORHOOD SENIOR CENTERS** – Innovative Procurement – Available only from a single source – The attached list of vendors have been awarded a contract by the Dept. for the Aging for the provision of Neighborhood Senior Center programs (e.g. congregate lunch, case assistance, health management, etc.). The contract terms shall each be from November 1, 2012 to June 30, 2016, each with a renewal option from July 1, 2016 to October 31, 2018.

Bergen Basin Community Development Corp./DBA Millennium Development  
2331 Bergen Avenue, Brooklyn, NY 11234  
PIN#: 12513NC1024R - \$1,254,737

Jewish Association for Services for the Aged  
247 West 37th Street, 9th Fl., New York, NY 10018  
PIN#: 12513NC1014D - \$1,006,868

Homecrest Community Services, Inc.  
1413 Avenue T, Brooklyn, NY 11229  
PIN#: 12513NC1026A - \$1,316,333

Sunset Bay Community Services, Inc.  
150 55th Street, Brooklyn, NY 11220  
PIN#: 12513NC1027K - \$948,827

Mid-Bronx Senior Citizens Council, Inc.  
900 Grand Concourse, Bronx, NY 10451  
PIN#: 12513NC1014A - \$2,075,386

Jewish Association for Services for the Aged  
247 West 37th Street, 9th Fl., New York, NY 10018  
PIN#: 12513NC1044F - \$1,111,253

Brooklyn Chinese American Association  
5000 8th Avenue, Brooklyn, NY 11220  
PIN#: 12513NC1024V - \$2,126,666

The Neighborhood Self-Help by Older Persons Project, Inc.  
953 Southern Blvd., Bronx, NY 10459  
PIN#: 12513NC1014B - \$1,628,050

n16

**NEIGHBORHOOD SENIOR CENTER** – Innovative Procurement – Available only from a single source - PIN# 12513NC1025A – AMT: \$1,405,300.00 – TO: Bergen Basin Community Development Corp./Millennium Development, 2331 Bergen Avenue, Brooklyn, NY 11234.

The vendor has been awarded a contract by the Dept. for the Aging for the provision of Neighborhood Senior Center programs (e.g. congregate lunch, case assistance, health management, etc.). The contract terms shall be from August 1, 2012 to June 30, 2016, with a renewal option from July 1, 2016 to July 31, 2018.

n16

## CITYWIDE ADMINISTRATIVE SERVICES

### SOLICITATIONS

#### Goods

**RADIATION DETECTION RESPONSE KITS** – Competitive Sealed Bids – PIN# 8571200654 – DUE 12-05-12 AT 10:30 A.M. – A copy of the bid can be downloaded from the City Record Online site at <http://a856-internet.nyc.gov/nycvendoronline/home.asp>. Enrollment is free. Vendors may also request the bid by contacting Vendor Relations via email at [dcasdmssbids@dcas.nyc.gov](mailto:dcasdmssbids@dcas.nyc.gov) by telephone at (212) 669-8610.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.  
Department of Citywide Administrative Services,  
1 Centre Street, 18th Floor, New York, NY 10007.  
Jeanette Cheung (212) 386-0465; Fax: (212) 669-4867;  
[jcheung@dcas.nyc.gov](mailto:jcheung@dcas.nyc.gov)

n16

**ENVELOPES, INVITATION** – Competitive Sealed Bids – PIN# 8571300121 – DUE 12-05-12 AT 10:30 A.M. – A copy of the bid can be downloaded from the City Record Online site at <http://a856-internet.nyc.gov/nycvendoronline/home.asp>. Enrollment is free. Vendors may also request the bid by contacting Vendor Relations via email at [dcasdmssbids@dcas.nyc.gov](mailto:dcasdmssbids@dcas.nyc.gov) by telephone at (212) 669-8610.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.  
Department of Citywide Administrative Services,  
1 Centre Street, 18th Floor, New York, NY 10007.  
Kelly Taylor (212) 386-0421; Fax: (212) 669-4867;  
[ktaylor@dcas.nyc.gov](mailto:ktaylor@dcas.nyc.gov)

n16

## CITYWIDE PURCHASING

### SOLICITATIONS

#### Services (Other Than Human Services)

**PUBLIC SURPLUS ONLINE AUCTION** – Other – PIN# 0000000000 – DUE 12-31-14.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.  
Department of Citywide Administrative Services, 66-26 Metropolitan Avenue, Queens Village, NY 11379. Donald Lepore (718) 417-2152; Fax: (212) 313-3135;  
[dlepore@dcas.nyc.gov](mailto:dlepore@dcas.nyc.gov)

s6-f25

## MUNICIPAL SUPPLY SERVICES

### VENDOR LISTS

#### Goods

**EQUIPMENT FOR DEPARTMENT OF SANITATION** – In accordance with PPB Rules, Section 2.05(c)(3), an acceptable brands list will be established for the following equipment for the Department of Sanitation:

- A. Collection Truck Bodies
- B. Collection Truck Cab Chassis
- C. Major Component Parts (Engine, Transmission, etc.)

Applications for consideration of equipment products for inclusion on the acceptable brands list are available from: Mr. Edward Andersen, Procurement Analyst, Department of Citywide Administrative Services, Office of Citywide Procurement, 1 Centre Street, 18th Floor, New York, NY 10007. (212) 669-8509.

j5-d31

## CONSUMER AFFAIRS

### SOLICITATIONS

#### Human/Client Services

**NOTICE OF PARTICIPATION IN INNOVATIVE TAX PREPARATION DELIVERY SERVICES FOR LOW-INCOME FILERS NON-COMPETITIVE SOLICITATION** – Other – PIN# 2012XX – DUE 11-26-12 AT 3:00 P.M.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.  
Department of Consumer Affairs, 42 Broadway, 9th Floor, New York, NY 10004. Tamara Lindsay (212) 487-2749; Fax: (212) 487-3184; [tlindsay@dca.nyc.gov](mailto:tlindsay@dca.nyc.gov)

n16

## DESIGN & CONSTRUCTION

### AGENCY CHIEF CONTRACTING OFFICER

#### SOLICITATIONS

#### Construction Related Services

**REQUIREMENTS CONTRACT FOR ENGINEERING DESIGN AND RELATED SERVICES FOR SMALL INFRASTRUCTURE PROJECTS** – Competitive Sealed Proposals – Judgment required in evaluating proposals - PIN# 8502013VP00011P-13P – DUE 12-17-12 AT 4:00 P.M. – All qualified and interested firms are advised to download the Request for Proposal at <http://ddcftp.nyc.gov/rfpweb/> beginning on November 15, 2012 or contact the person listed for this RFP. The contracts resulting from this Request for

Proposal will be subject to Local Law 129 of 2005, the Minority-Owned and Woman Owned Business Enterprise (M/WMBE) Program. Task orders issued pursuant to the contract may include “Federal Aid Projects” and as such will be subject to the Disadvantaged Business Enterprises Program. Any project that is subject to the DBE program will not be subject to M/WBE requirements. The submission date is indicated above.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.  
Department of Design and Construction,  
30-30 Thomson Avenue, 4th Floor, Long Island City, NY 11101. Belkis Palacios (718) 391-1866; Fax: (718) 391-1885;  
[palaciob@ddc.nyc.gov](mailto:palaciob@ddc.nyc.gov)

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## ECONOMIC DEVELOPMENT CORPORATION

### CONTRACTS

#### SOLICITATIONS

#### Goods & Services

**FOREIGN TRADE ZONE** – Request for Proposals – PIN# 720-00 – DUE 12-20-12 AT 4:00 P.M. – NYCEDC, on behalf of the City of New York, is seeking proposals from qualified individuals, organizations, or companies to advise and assist NYCEDC in its Alternative Site Framework application and with expansion of its Foreign Trade Zone program.

NYCEDC plans to select a consultant on the basis of factors stated in the RFP which include, but are not limited to: the quality of the proposal, experience of key staff identified in the proposal, experience and quality of any subcontractors proposed, demonstrated successful experience in performing services similar to those encompassed in the RFP.

Companies who have been certified with the New York City Department of Small Business Services as Minority and Women Owned Business Enterprises (“M/WBE”) are strongly encouraged to apply. To learn more about M/WBE certification and NYCEDC’s M/WBE program, please visit <http://www.nycfedc.com/opportunitymwdb>.

An optional informational session will be held on Wednesday, November 28, 2012 at 1:00 P.M. via conference call. Those who wish to attend should RSVP by email to [FTZRFP@nycfedc.com](mailto:FTZRFP@nycfedc.com) on or before Monday, November 26, 2012.

Respondents may submit questions and/or request clarifications from NYCEDC no later than 5:00 P.M. on Tuesday, December 4, 2012. Answers to all questions will be posted by Tuesday, December 11, 2012, to [www.nycfedc.com/RFP](http://www.nycfedc.com/RFP).

The RFP is available for in-person pick-up between 9:30 A.M. and 4:30 P.M., Monday through Friday, from NYCEDC. Please submit five (5) sets of your proposal to: NYCEDC, Attention: Maryann Catalano, Senior Vice President, Contracts.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.  
Economic Development Corp., 110 William Street, 6th Floor, New York, NY 10038. Maryann Catalano (212) 312-3969; Fax: (212) 312-3918; [FTZRFP@nycfedc.com](mailto:FTZRFP@nycfedc.com)

n16

**WEST THAMES PEDESTRIAN BRIDGE, CONSULTANT SERVICES** – Request for Proposals – PIN# 53340002 – DUE 12-20-12 AT 4:00 P.M. – Provide construction management and related services for the replacement of the existing Rector Street pedestrian bridge over West Street (Route 9A) and the construction of a new pedestrian bridge over West Street (Route 9A) between Joseph P. Ward Street adjacent to the Brooklyn Battery Tunnel Exit Roadway and Little West Street between West Thames Street and Third Place.

This project has Minority and Women Owned Business Enterprise (“M/WBE”) participation goals and all respondents will be required to submit an M/WBE Utilization Plan with their response. To learn more about NYCEDC’s M/WBE program visit <http://www.nycfedc.com/opportunitymwdb>. For the list of companies who have been certified with the Empire State Development’s Division of Minority and Women Business Development as M/WBE, please go to the <http://www.esd.ny.gov/MWBE/directorySearch.html>.

NYCEDC established the Kick Start Loan programs for Minority, Women and Disadvantaged Business Enterprise (M/WDBE) interested in working on NYCEDC construction projects. Kick Start Loans facilitates financing for short-term mobilization needs such as insurance, labor, and supplies and equipment. Bidders/subcontractors are strongly encouraged to visit the NYCEDC website at [www.nycfedc.com/opportunitymwdb](http://www.nycfedc.com/opportunitymwdb) to learn more about the program.

An optional pre-proposal session will be held on Monday, November 26, at 1:00 P.M. at NYCEDC. Those who wish to attend should RSVP by email to [westthamespedbridgecm@nycfedc.com](mailto:westthamespedbridgecm@nycfedc.com) on or before November 21, 2012.

Respondents may submit questions and/or request clarifications from NYCEDC no later than 4:00 P.M. on Friday, November 30, 2012. Questions regarding the subject matter of this RFP should be directed to [westthamespedbridgecm@nycfedc.com](mailto:westthamespedbridgecm@nycfedc.com). Answers to all questions will be posted by Wednesday, December 12, 2012, to [www.nycfedc.com/RFP](http://www.nycfedc.com/RFP).

Please submit six (6) sets and one (1) CD of electronic files of your proposal.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.  
Economic Development Corp., 110 William Street, 6th Floor, New York, NY 10038. Maryann Catalano (212) 312-3969; [westthamespedbridgecm@nycfedc.com](mailto:westthamespedbridgecm@nycfedc.com)

n16

**ENVIRONMENTAL PROTECTION**

**AGENCY CHIEF CONTRACTING OFFICER**

**INTENT TO AWARD**

*Services (Other Than Human Services)*

**CAT-415** – Sole Source – Available only from a single source - PIN# 82613S0005 – DUE 12-05-12 – DEP intends to enter into a Sole Source Agreement with the Catskill Watershed Corporation for CAT-415: Septic System Rehabilitation and Replacement Program IV-Home Reimbursement. This Capital contract was negotiated with the Catskill Watershed Corporation (“CWC”) pursuant to the 2007 FAD Part II, (2012-2017) and consistent with the 2010 Water Supply Permit whereby DEP will provide Thirty-six million dollars (\$36,000,000) for the continuation and implementation of the Residential Septic Repair and Remediation Program, to be known here as the Septic IV Program. The City has agreed to commit significant new resources for the continuation and expansion of key watershed protection and partnership programs in the City’s watershed that lies west of the Hudson River (“West of Hudson Watershed”) which were initially funded and implemented pursuant to the 1997 Watershed Memorandum of Agreement (“Watershed MOA”). Any firm which believes it can also provide the required service IN THE FUTURE is invited to so, indicated by letter which must be received no later than December 05, 2012, 4:00 P.M. at: Department of Environmental Protection, Agency Chief Contracting Officer, 59-17 Junction Blvd., 17th Floor, Flushing, NY 11373, Attn: Ms. Debra Butlien, dbutlien@dep.nyc.gov, (718) 595-3423.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/ blueprints; other information; and for opening and reading of bids at date and time specified above.  
 Department of Environmental Protection,  
 59-17 Junction Blvd., 17th Floor, Flushing, NY 11373.  
 Glorivee Roman (718) 595-3226; Fax: (718) 595-3208;  
 glroman@dep.nyc.gov

n15-21

**HEALTH AND HOSPITALS CORPORATION**

The New York City Health and Hospitals Corporation is regularly soliciting bids for supplies and equipment at its Central Purchasing Offices, 346 Broadway, New York City, Room 516, for its Hospitals and Diagnostic and Treatment Centers. All interested parties are welcome to review the bids that are posted in Room 516 weekdays between 9:00 a.m. and 4:30 p.m. For information regarding bids and the bidding process, please call (212) 442-4018.

j1-d31

**HOUSING AUTHORITY**

**PURCHASING**

**SOLICITATIONS**

*Goods*

**SCO EXPANDED METAL LATH AND ACCESSORIES** – Competitive Sealed Bids – RFQ# 58966 MF – DUE 11-29-12 AT 10:35 A.M.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/ blueprints; other information; and for opening and reading of bids at date and time specified above.  
 Housing Authority, 23-02 49th Avenue, 5th Floor SCOD Long Island City, NY 11101. Bid documents available via internet ONLY:  
[http://www.nyc.gov/html/nycha/html/buses/goods\\_materials.shtml](http://www.nyc.gov/html/nycha/html/buses/goods_materials.shtml) Marjorie Flores (718) 707-5460;  
 marjorie.flores@nycha.nyc.gov

n16

**SCO KEY BLANKS** – Competitive Sealed Bids – RFQ# 42928 MF – DUE 12-06-12 AT 10:35 A.M.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/ blueprints; other information; and for opening and reading of bids at date and time specified above.  
 Housing Authority, 23-02 49th Avenue, 5th Floor SCOD Long Island City, NY 11101.  
 Bid documents available via internet ONLY:  
[http://www.nyc.gov/html/nycha/html/buses/goods\\_materials.shtml](http://www.nyc.gov/html/nycha/html/buses/goods_materials.shtml) Marjorie Flores (718) 707-5460;  
 marjorie.flores@nycha.nyc.gov

n16

**SCO FURNISHING CAMERA FOR CCTV** – Competitive Sealed Bids – RFQ# 58993 AS – DUE 12-06-12 AT 10:30 A.M.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/ blueprints; other information; and for opening and reading of bids at date and time specified above.  
 Housing Authority, 23-02 49th Avenue, 5th Floor SCOD Long Island City, NY 11101.  
 Bid documents available via internet ONLY:  
[http://www.nyc.gov/html/nycha/html/buses/goods\\_materials.shtml](http://www.nyc.gov/html/nycha/html/buses/goods_materials.shtml) Atul Shah (718) 707-5450.

n16

**PARKS AND RECREATION**

**REVENUE AND CONCESSIONS**

**SOLICITATIONS**

*Services (Other Than Human Services)*

**DEVELOPMENT, OPERATION AND MAINTENANCE OF AN OUTDOOR CAFE AND BIKE RENTAL STATION** – Competitive Sealed Proposals – Judgment required in evaluating proposals - PIN# Q99-SB-O-BK BR 2012 – DUE 01-04-13 AT 3:00 P.M. – Request for Proposals (RFP) for the Development, Operation, and Maintenance of an Outdoor Cafe and Bike Rental Station, with optional

Entertainment Venue and Boat Rental concession, at Flushing Meadows Corona Park, Queens.

There will be a recommended on-site proposer meeting and site tour on Friday, December 7, 2012 at 1:00 P.M. We will meet at the Ederle Terrace Pavilion. If you are considering responding to this RFP, please make every effort to attend this recommended meeting. To obtain driving or general directions to Ederle Terrace, please call (718) 760-6600.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/ blueprints; other information; and for opening and reading of bids at date and time specified above.  
 Parks and Recreation, The Arsenal-Central Park,  
 830 Fifth Avenue, Room 407, New York, NY 10021.  
 Glenn Kaalund (212) 360-1397; Fax: (212) 360-3434;  
 glenn.kaalund@parks.nyc.gov

n16-30

**OPERATION AND MAINTENANCE OF A CAFE AT HUNTER'S POINT SOUTH**

– Competitive Sealed Proposals – Judgment required in evaluating proposals - PIN# QHPS-SB-2012 – DUE 01-11-13 AT 3:00 P.M. – There will be a recommended on-site proposer meeting on Wednesday, December 5, 2012 at 11:00 A.M. We will be meeting in Room 407 of the Arsenal, which is located at 830 5th Avenue, in Central Park, Manhattan. If you are considering responding to this RFP, please make every effort to attend this recommended meeting.

**TELECOMMUNICATION DEVICE FOR THE DEAF (TDD)** 212-504-4115.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/ blueprints; other information; and for opening and reading of bids at date and time specified above.  
 Parks and Recreation, The Arsenal-Central Park,  
 830 Fifth Avenue, Room 407, New York, NY 10021.  
 Alexander Han (212) 360-1397; Fax: (212) 360-3434;  
 alexander.han@parks.nyc.gov

n16-30

**MAINTENANCE OF LAKESIDE IN PROSPECT PARK, BROOKLYN**

– Competitive Sealed Proposals – Judgment required in evaluating proposals - PIN# PPA01-BK-2012 – DUE 01-31-13 AT 2:00 P.M.

**TELECOMMUNICATION DEVICE FOR THE DEAF (TDD)** 212-504-4115.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/ blueprints; other information; and for opening and reading of bids at date and time specified above.  
 Parks and Recreation, Prospect Park Alliance,  
 95 Prospect Park West, Brooklyn, NY 11215.  
 Barbara Christ (646) 393-9031; Fax: (212) 360-3434;  
 bchrist@prospectpark.org

n16-30

**AGENCY RULES**

**BUILDINGS**

**NOTICE**

**NOTICE OF ADOPTION OF RULE**

**NOTICE IS HEREBY GIVEN**, pursuant to the authority vested in the Commissioner of the Department of Buildings by Section 643 of the New York City Charter and in accordance with Section 1043 of the Charter, that the Department of Buildings hereby adopts the amendments to section 101-03 of Title 1 of the Official Compilation of the Rules of the City of New York, regarding fees.

This rule was first published on October 5, 2012 and a public hearing thereon was held on November 8, 2012.

Dated: 11/13/12 /s/ Robert D. LiMandri  
 New York, New York Commissioner

**STATEMENT OF BASIS AND PURPOSE**

This rule is proposed pursuant to the authority of the Commissioner of Buildings under Sections 643 and 1043(a) of the New York City Charter and sections 28-401.7 and 28-401.8 of the New York City Administrative Code.

Currently, the Department of Citywide Administrative Services administers examinations and conducts investigations for most licenses. The Department of Buildings will be taking over the examinations and investigations for those licenses it issues. This rule sets out the fees for these examinations and investigations.

The entry for “License examination fee” set forth in section 101-03 of Subchapter A of Chapter 100 of Title 1 of the Rules of the City of New York is deleted, and a new entry for “Licensing” is added, to read as follows:

[License examination fee:	
● Elevator agency director certificate of approval	\$350]
● Elevator agency inspector certificate of approval	
● Site safety manager certificate]	
Licensing:	
● Written examination	\$525
● Practical examination	\$350
● Background investigation class 1 (includes experience)	\$500
● Background investigation class 2 (does not include experience)	\$330

n16

**ENVIRONMENTAL CONTROL BOARD**

**NOTICE**

**NOTICE OF PUBLIC HEARING**

**Subject:** Opportunity to comment on the proposed rule regarding penalties for offenses adjudicated by the Environmental Control Board (ECB) related to fines for illegal conversions of dwelling units from permanent residences.

**Date / Time:** December 18, 2012 / 3:30 P.M.

**Location:** Environmental Control Board (ECB)  
 66 John Street  
 10th Floor, Conference Room  
 New York, N.Y. 10038

**Contact:** James Macron  
 Counsel to the Board  
 ECB  
 66 John Street, 10th Floor  
 New York, N.Y. 10038  
 (212) 361-1515

**Proposed Rule Amendment**

Pursuant to Section 1049-a of the New York City Charter, and in accordance with Section 1043(b) of the New York City Charter and Chapter 2 of Title 28 of the New York City Administrative Code, the Environmental Control Board proposes to amend Subchapter G of Chapter 3 of Title 48 of the Rules of the City of New York, creating penalties for offenses adjudicated by the Environmental Control Board related to fines for illegal conversions of permanent residential units for use other than a permanent residence, such as converting the space for use as a hotel.

This rule was not included in the Environmental Control Board’s regulatory agenda because it was not anticipated at the time the agenda was created.

**Instructions**

- Prior to the hearing, you may submit written comments about the proposed rule to Mr. Macron by mail at the address above or electronically through NYC RULES at [www.nyc.gov/nycrules](http://www.nyc.gov/nycrules) by December 18, 2012. Individuals seeking to testify at the hearing should also notify Mr. Macron by December 18, 2012.
- To request a sign language interpreter or other reasonable accommodation for a disability at the hearing, please contact Mr. Macron by December 11, 2012.
- After the hearing, individuals interested in receiving written comments and a transcript of oral comments on the proposed rule may request them by writing to Mr. Macron.

**Statement of Basis and Purpose**

The Environmental Control Board proposes to amend its Department of Buildings (DOB) Penalty Schedule. This schedule is found in Section 3-103 of Subchapter G of Chapter 3 of Title 48 of the Rules of the City of New York (RCNY). The proposed amendments will create penalties for certain sections of the New York City Building Code, Administrative Code, and RCNY in order to better enforce these provisions.

On October, 2, 2012, the Mayor signed Int. 404-A of 2010 into law. This new law:

- amends article 210 of chapter two of title 28 of the Administrative Code by adding a new section 28-210.3; and
- amends section 28-201.2.1 of the Administrative Code by adding a new item 16.

**Section 1. Permanent Dwelling Offered/Used/ Converted for other than Permanent Residential Purpose(s)**

Section 28-210.3 makes it illegal to offer, use or convert a permanent residential apartment space for use other than a permanent residence, such as converting the space for use as a hotel. These illegal conversions contribute to an already extremely low rental vacancy rate across the City and create significant health and safety concerns for legal permanent residents.

The law also amends Section 28-201.2.1 of the New York City Administrative Code making the offering, use or conversion of:

- more than one residential unit in a building, or
- a second or subsequent violation by the same person at the same unit or multiple dwelling,

a *per se* Immediately Hazardous (Class 1) violation. Class 1 violations carry higher penalties, including per day penalties (see Section 2). A first notice of violation for the conversion of only one dwelling unit will be issued as a Class 2 Major Violation.

**Section 2. Additional Daily Penalty for Class 1 Violation of 28-210.3 - Permanent Dwelling to other than Permanent Residential Purpose(s)**

Additional and separate daily civil penalties for Class 1 violations, as specified in section 28.202.1, may be imposed above the flat penalty for each continued and uncorrected Immediately Hazardous (Class 1) violation. Additional daily penalties deter illegal conversions and help keep rental apartments on the market for permanent tenants. Pursuant to 1 RCNY 102-01, a daily penalty, at a rate of \$1,000 per day, will be imposed for a total of forty-five days running from the date of the Commissioner’s order to correct the violation within the notice of violation (NOV). If the person charged with the violation proves at a hearing that the violating condition(s) has been corrected prior to the end of that forty-five day period, the penalty imposed will be the amount accrued up to and including the date of the proved correction.

New matter is underlined.

**Section 1. The Environmental Control Board is amending its DOB Penalty Schedule II found in Section 3-103 of Subchapter G of Chapter 3 of Title 48 of the Rules of the City of New York to add the**

following violations after the violation "BC 28-210.2, Plumbing work contrary to approved app'n/plans that assists/maintains convers'n of indust/manuf occupancy for resid use":

Section of Law	Classification	Violation Description	Cure	Stipulation	Standard Penalty (\$)	Mitigated Penalty (\$)	Default Penalty (\$)	Aggravated I Penalty (\$)	Aggravated II Penalty (\$)	Aggravated II Default - Maximum Penalty (\$)
BC 28-210.3	1	Permanent dwelling offered/used/co inverted for other than permanent residential purpose(s)	No	No	3,200	No	16,000	8,000	16,000	25,000
	2	Permanent dwelling offered/used/co inverted for other than permanent residential purpose(s)	No	No	1,600	Yes	8,000	4,000	8,000	10,000

Section 2. The Environmental Control Board is amending its DOB Penalty Schedule II found in Section 3-103 of Subchapter G of Chapter 3 of Title 48 of the Rules of the City of New York to add the following violation after the violation "28-202.1, Additional monthly penalty for continued violation of 28-210.2":

Section of Law	Classification	Violation Description	Cure	Stipulation	Standard Penalty (\$)	Mitigated Penalty (\$)	Default Penalty (\$)	Aggravated I Penalty (\$)	Aggravated II Penalty (\$)	Aggravated II Default - Maximum Penalty (\$)
28-202.1	1	Additional daily penalty for Class 1 violation of 28-210.3 - permanent dwelling to other than permanent residential purpose(s)	No	No	1,000/per day	No	45,000	N/A	N/A	N/A

NEW YORK CITY LAW DEPARTMENT  
DIVISION OF LEGAL COUNSEL  
100 CHURCH STREET  
NEW YORK, NY 10007  
212-788-1087

CERTIFICATION PURSUANT TO  
CHARTER §1043(d)

RULE TITLE: Amendment of Buildings Penalty Schedule (Illegal Hotel Conversions)

REFERENCE NUMBER: 2012 RG 081

RULEMAKING AGENCY: Environmental Control Board

I certify that this office has reviewed the above-referenced proposed rule as required by section 1043(d) of the New York City Charter, and that the above-referenced proposed rule:

- (i) is drafted so as to accomplish the purpose of the authorizing provisions of law;
- (ii) is not in conflict with other applicable rules;
- (iii) to the extent practicable and appropriate, is narrowly drawn to achieve its stated purpose; and
- (iv) to the extent practicable and appropriate, contains a statement of basis and purpose that provides a clear explanation of the rule and the requirements imposed by the rule.

/s/ STEVEN GOULDEN  
Acting Corporation Counsel

Date: October 23, 2012

NEW YORK CITY MAYOR'S OFFICE OF OPERATIONS  
253 BROADWAY, 10th FLOOR  
NEW YORK, NY 10007  
212-788-1400

CERTIFICATION / ANALYSIS  
PURSUANT TO CHARTER SECTION 1043(d)

RULE TITLE: Proposed Rule Illegal Residential Conversions to Hotels

REFERENCE NUMBER: OATH/ECB 27

RULEMAKING AGENCY: Environmental Control Board

I certify that this office has analyzed the proposed rule referenced above as required by Section 1043(d) of the New York City Charter, and that the proposed rule referenced above:

- (i) Is understandable and written in plain language for the discrete regulated community or communities;
- (ii) Does not provide a cure period because a cure period would present a substantial risk to public safety.

/s/ Amina Masood  
Mayor's Office of Operations

10/22/12  
Date

SPECIAL MATERIALS

CITYWIDE ADMINISTRATIVE SERVICES

MUNICIPAL SUPPLY SERVICES

NOTICE

OFFICIAL FUEL PRICE SCHEDULE NO. 6981  
FUEL OIL AND KEROSENE

CONTRACT NO.	ITEM NO.	FUEL/OIL TYPE	VENDOR	CHANGE	PRICE
3187250	5.0	#1DULS	CITY WIDE BY TW	GLOBAL MONTELLO GROUP	-0.533 GAL. 3.5781 GAL.
3187250	6.0	#1DULS	P/U	GLOBAL MONTELLO GROUP	-0.533 GAL. 3.4531 GAL.
3187251	11.0	#1DULS >=80%	CITY WIDE BY TW	SPRAGUE ENERGY CORP.	-0.533 GAL. 3.7238 GAL.
3187251	12.0	#1DULS B100 <=20%	CITY WIDE BY TW	SPRAGUE ENERGY CORP.	-0.533 GAL. 4.9896 GAL.
3187251	13.0	#1DULS >=80%	P/U	SPRAGUE ENERGY CORP.	-0.533 GAL. 3.6395 GAL.
3187251	14.0	#1DULS B100 <=20%	P/U	SPRAGUE ENERGY CORP.	-0.533 GAL. 4.9052 GAL.
3087064	1.0	#1DULSB50	CITY WIDE BY TW	METRO FUEL OIL CORP.	-0.836 GAL. 3.9746 GAL.
3187249	1.0	#2DULS	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.058 GAL. 3.3344 GAL.
3187249	2.0	#2DULS	P/U	CASTLE OIL CORPORATION	-0.058 GAL. 3.2929 GAL.
3187249	3.0	#2DULS	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.058 GAL. 3.3499 GAL.
3187249	4.0	#2DULS	P/U	CASTLE OIL CORPORATION	-0.058 GAL. 3.3129 GAL.
3187249	7.0	#2DULS >=80%	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.058 GAL. 3.3422 GAL.
3187249	8.0	#2DULS B100 <=20%	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.058 GAL. 3.4794 GAL.
3187249	9.0	#2DULS >=80%	P/U	CASTLE OIL CORPORATION	-0.058 GAL. 3.3029 GAL.
3187249	10.0	#2DULS B100 <=20%	P/U	CASTLE OIL CORPORATION	-0.058 GAL. 3.4364 GAL.
3387022	15.1	#2DULS	BARGE MTF III & ST. GEORGE & WI	SPRAGUE ENERGY CORP.	-0.058 GAL. 3.4303 GAL.
3087065	2.0	#2DULSB50	CITY WIDE BY TW	SPRAGUE ENERGY CORP.	-0.599 GAL. 3.8215 GAL.
3287257	7.1	#2DULSDISP	DISPENSED	SPRAGUE ENERGY CORP.	-0.058 GAL. 3.6708 GAL.
3187263	1.0	JETA	FLOYD BENNETT	METRO FUEL OIL CORP.	+0.132 GAL. 3.6810 GAL.
3387042	1.0	#2B5	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.058 GAL. 3.3019 GAL.
3387042	2.0	#4B5	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.126 GAL. 3.0080 GAL.
3387042	3.0	#6B5	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.201 GAL. 2.7413 GAL.
3387042	4.0	B100 <=20%	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.058 GAL. 3.9008 GAL.
3387042	5.0	#2(ULSH) >=80%	CITY WIDE BY TW	CASTLE OIL CORPORATION	-0.058 GAL. 3.2655 GAL.

OFFICIAL FUEL PRICE SCHEDULE NO. 6982  
FUEL OIL, PRIME AND START

CONTRACT NO.	ITEM NO.	FUEL/OIL TYPE	VENDOR	CHANGE	PRICE
3087225	1.0	#4	CITY WIDE BY TW	METRO FUEL OIL CORP.	-0.130 GAL. 3.4024 GAL.
3087225	2.0	#6	CITY WIDE BY TW	METRO FUEL OIL CORP.	-0.208 GAL. 3.0688 GAL.
3087154	1.0	ULSH MANH	MANH	F & S PETROLEUM CORP.	-0.058 GAL. 3.3547 GAL.
3087154	79.0	ULSH BRONX	BRONX	F & S PETROLEUM CORP.	-0.058 GAL. 3.3547 GAL.
3087154	157.0	ULSH BKLYN, QUEENS, SI	BKLYN, QUEENS, SI	F & S PETROLEUM CORP.	-0.058 GAL. 3.4347 GAL.

OFFICIAL FUEL PRICE SCHEDULE NO. 6983  
FUEL OIL AND REPAIRS

CONTRACT NO.	ITEM NO.	FUEL/OIL TYPE	VENDOR	CHANGE	PRICE
3087218	1.0	#4	CITY WIDE BY TW	PACIFIC ENERGY	-0.130 GAL. 3.3437 GAL.
3087218	2.0	#6	CITY WIDE BY TW	PACIFIC ENERGY	-0.208 GAL. 3.1217 GAL.
3087115	1.0	ULSH MANH & BRONX	MANH & BRONX	PACIFIC ENERGY	-0.058 GAL. 3.1801 GAL.
3087115	80.0	ULSH BKLYN, QUEENS, SI	BKLYN, QUEENS, SI	PACIFIC ENERGY	-0.058 GAL. 3.1853 GAL.

OFFICIAL FUEL PRICE SCHEDULE NO. 6984  
GASOLINE

CONTRACT NO.	ITEM NO.	FUEL/OIL TYPE	VENDOR	CHANGE	PRICE
3187093	5.0	E70	CITY WIDE BY TW	SPRAGUE ENERGY CORP.	+0.001 GAL. 2.6867 GAL.
3187093	2.0	PREM	CITY WIDE BY TW	SPRAGUE ENERGY CORP.	+0.520 GAL. 3.0140 GAL.
3187093	4.0	PREM	P/U	SPRAGUE ENERGY CORP.	+0.520 GAL. 2.9349 GAL.
3287257	6.1	PREM	CITY WIDE BY VEHICLE	SPRAGUE ENERGY CORP.	+0.520 GAL. 3.3535 GAL.
3187093	1.0	U.L.	CITY WIDE BY TW	SPRAGUE ENERGY CORP.	+0.503 GAL. 2.8810 GAL.
3187093	3.0	U.L.	P/U	SPRAGUE ENERGY CORP.	+0.503 GAL. 2.8049 GAL.
3287257	1.1	U.L.	MANH P/U BY VEHICLE	SPRAGUE ENERGY CORP.	+0.503 GAL. 3.2922 GAL.
3287257	2.1	U.L.	BX P/U BY VEHICLE	SPRAGUE ENERGY CORP.	+0.503 GAL. 3.1922 GAL.
3287257	3.1	U.L.	BR P/U BY VEHICLE	SPRAGUE ENERGY CORP.	+0.503 GAL. 3.1922 GAL.
3287257	4.1	U.L.	QNS P/U BY VEHICLE	SPRAGUE ENERGY CORP.	+0.503 GAL. 3.1922 GAL.
3287257	5.1	U.L.	S.I. P/U BY VEHICLE	SPRAGUE ENERGY CORP.	+0.503 GAL. 3.1922 GAL.

REMINDER FOR ALL AGENCIES:

Please Send Inspection Copy of Receiving Report for all Gasoline (E70, UL & PREM) Delivered By Tank Wagon to DMSS/ Bureau Of Quality Assurance (BQA), 1 Centre St., 18th Floor, NY, NY 10007.

HOUSING PRESERVATION & DEVELOPMENT

NOTICE

REQUEST FOR COMMENT REGARDING AN APPLICATION FOR A CERTIFICATION OF NO HARASSMENT

Notice Date: November 13, 2012

To: Occupants, Former Occupants, and Other Interested Parties

Table with 3 columns: Property: Address, Application #, Inquiry Period. Row 1: 225 Bowery, Manhattan a/k/a 223 1/2 -225 Bowery, 117/12, October 1, 2009 to Present

Table with 3 columns: Address, Apt/Unit, Date. Rows include 136 West 127th Street, Manhattan 118/12, 17 West 127th Street, Manhattan 121/12, 255 West 121st Street, Manhattan 122/12, 118 West 127th Street, Manhattan 123/12, 4 West 31st Street, Manhattan 124/12, a/k/a 4-10 West 31st Street, 104 East 10th Street, Manhattan 127/12, 563 Walton Avenue, Bronx 119/12

specified time period. Harassment is conduct by an owner that is intended to cause, or does cause, residents to leave or otherwise surrender any of their legal occupancy rights. It can include, but is not limited to, failure to provide essential services (such as heat, water, gas, or electricity), illegally locking out building residents, starting frivolous lawsuits, and using threats or physical force.

The owner of the building identified above has applied for a Certification of No Harassment. If you have any comments or evidence of harassment at this building, please notify HPD at CONH Unit, 100 Gold Street, 3rd Floor, New York, NY 10038 by letter postmarked not later than 30 days from the date of this notice or by an in-person statement made within the same period. To schedule an appointment for an in-person statement, please call (212) 863-5277, (212) 863-8211 or (212) 863-8298.

n13-20

Authority: SRO, Administrative Code §27-2093

Before the Department of Buildings can issue a permit for the alteration or demolition of a single room occupancy multiple dwelling, the owner must obtain a "Certification of No Harassment" from the Department of Housing Preservation and Development ("HPD") stating that there has not been harassment of the building's lawful occupants during a

CHANGES IN PERSONNEL

BOARD OF ELECTION POLL WORKERS FOR PERIOD ENDING 10/12/12

Table with 7 columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE. Lists names of poll workers and their details.

Table with 7 columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE. Continuation of poll worker list from the previous table.

TUTSON	EARL	C	9POLL	\$1.0000	APPOINTED	YES	01/01/12
TYLER	PRECIOUS		9POLL	\$1.0000	APPOINTED	YES	01/01/12
URICH	SUZANNE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
UTLEY	ANDRE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
UTSEY	SHANIECE	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
UVAROV	ALEKSAND		9POLL	\$1.0000	APPOINTED	YES	01/01/12
UZHCA	MARIA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VALDEZ	ANDY		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VALDEZ	HARRY	T	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VALENTIN	JULISE	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VALENZUELA DE A	ENGRACIA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VANDYKE	BRIAN	K	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VANHEYNINGEN	SEBASTIE	J	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VARGAS	ANTONIO	B	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VASQUEZ	ARMENIO		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VASQUEZ	DELIO	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VASQUEZ	JOSE	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VASQUEZ	MARIA	F	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VASQUEZ	MARLENE	R	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VAZQUEZ	LAURA	R	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VEGA	ANABEL		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VEGA	MIRIAM	Y	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VELAZQUEZ	KRISTIE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VELEZ	KEANU		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VELEZ	OLGA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VELEZ SR	ANGELO	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VENTURA	LESBIA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VEPREK	BRIAN		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VEKLER	MONA	J	9POLL	\$1.0000	APPOINTED	YES	01/01/12
VILLANUEVA	LIZET		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VILLAR	MYRON		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VIOLA	ANTHONY		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VIRELLA	JOSE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
VITALE	RENEE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WADE	SHARON	R	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WADE	SOKHNA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WALKER	CHARLES	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WALKER	GAYLE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WALKER	MARY	B	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WALKER	SHAKIM	E	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WALKER	SHATISHA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WALKER	VIVIAN	D	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WALTON	DAMARIS		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WANDA	DENEGAL	J	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WANZER	DWIGHT		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WARNER	GAIL	C	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WARREN	SHAQUANA	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WARREN	WILLIE	F	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHINGTON	ANTHONY	D	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHINGTON	FLORENCE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHINGTON	KENNETH		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHINGTON	MAKEDA	T	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHINGTON	MAUREEN		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHINGTON	NANCY	J	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHINGTON	SAMUEL	P	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHINGTON	SHARON	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WASHPON	DEBORAH	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WATSON	ABBY		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WATSON	SHIRLEY	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WEARING	ANTIONET	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WEAVER	NATASHA	F	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WEBB	EBONIE	Z	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WEBSTER	JAMES		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WEBSTER	JETANE	S	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WEEKS	DONNA	M	9POLL	\$1.0000	APPOINTED	YES	10/01/12
WEINSTEIN	MELANIE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WEIR	DALE	T	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WEISS	JUDITH	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WELCH	JOY	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WELLS	ALANA	J	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WELLS	SONIA	Y	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WERNAU	LISA	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WESTLAKE	PAUL	E	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHALEN	PAMELA	S	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHARWOOD	ALICIA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHIGHAM	JELENA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITE	JAYQUAN	C	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITE	KAYCEAN	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITE	LASCELLE	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITE	MAZIE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITE	NATASHA	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITE	SHAMIEL	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITE	STEFANIE	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITE	WILLIAM	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITELY	TISHANA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHITTY	ELAINE	D	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WHYTE	IMOGENE	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAM	EVA	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	AGNES	G	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	AKEEM	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	ANTHONY		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	ANTHONY	C	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	CHANCE	C	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	CHARISE	Y	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	CHRISTOP		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	DAWN	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	DEVANTE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	DOMINIQUE	C	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	DONAVAN	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	GREGORY		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	HENRY		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	JAMAIN	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	JARELL		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	JIMMIE	E	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	LEVERN		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	LINDA	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	MARY	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	MICHELLE	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	MORIN	H	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	PATRICIA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	SHARON		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	SHAWNTAY	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	TRACY	T	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMS	YVONNE	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAMSON	IZEL		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIAM	ROBERT	S	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIS	APRIL	R	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIS	ESSENCE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILLIS	ZOIA	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	BARBARA	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	CAROLYN		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	CHARNELE	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	DAVID	E	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	KATHERYN		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	LISA	D	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	NYSIK	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	STANLEY		9POLL	\$1.0000	APPOINTED	YES	01/01/12

WILSON	VALERIE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WILSON	WILLIAM		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WINSTON	JENNIFER		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WISE	IMANI		9POLL	\$1.0000	APPOINTED	YES	10/04/12
WITRYOL	FAITH		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WITT	EAGLE	B	9POLL	\$1.0000	APPOINTED	YES	09/28/12
WOLFE	ELENA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WOLFF	ARNOLD	J	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WOLFF	JANE	A	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WONG	LI MA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WOODEN	JENNIE	L	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WOODFORD	FREDERIC		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WRIGHT	DAHLIA	V	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WRIGHT	FRANCES	P	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WRIGHT	LENA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WRIGHT	SHARON	D	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WRIGHT	WILLIAM	M	9POLL	\$1.0000	APPOINTED	YES	01/01/12
WU	STEPHANI		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WU	YONG CHE		9POLL	\$1.0000	APPOINTED	YES	09/29/12
WYNN	JAYNE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
WYNN-WISE	CRYSTAL	R	9POLL	\$1.0000	APPOINTED	YES	01/01/12
YANCEY	CAPRICE	S	9POLL	\$1.0000	APPOINTED	YES	01/01/12
YANG	ELVA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
YENG	MANUELA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
YORKE	KEITH	G	9POLL	\$1.0000	APPOINTED	YES	01/01/12
YOUNG	HERMAN		9POLL	\$1.0000	APPOINTED	YES	01/01/12
YU	MAN KIT		9POLL	\$1.0000	APPOINTED	YES	01/01/12
ZABEGAYLO	IRINA		9POLL	\$1.0000	APPOINTED	YES	09/27/12
ZAMBRANA	GRISSEL		9POLL	\$1.0000	APPOINTED	YES	01/01/12
ZAPATA	JOHANSE		9POLL	\$1.0000	APPOINTED	YES	01/01/12
ZAPATA	SOFIA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
ZAPATA GIRALDO	CARLOTA		9POLL	\$1.0000	APPOINTED	YES	01/01/12
ZELINSKI	VICTORIA	A	9POLL	\$1.0000	APPOINTED	YES	09/28/12
ZHAO	JHUO LIN		9POLL	\$1.0000	APPOINTED	YES	01/01/12
ZHENJUN	WU		9POLL	\$1.0000	APPOINTED	YES	09/29/12
ZHOU	ZHUAN DI		9POLL	\$1.0000	APPOINTED	YES	01/01/12
ZINICOLA	DIANE		9POLL	\$1.0000	APPOINTED	YES	01/01/12

MANHATTAN COMMUNITY BOARD #1  
FOR PERIOD ENDING 10/12/12

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	
BROKMAN	ANDREW D	56057	\$33000.0000	RESIGNED	YES	09/13/12
LAGHER	EVAN	56057	\$33000.0000	APPOINTED	YES	10/01/12

COMMUNITY COLLEGE (CUNY)  
FOR PERIOD ENDING 10/12/12

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	
BLAKE	NICOLA	04687	\$44.1200	APPOINTED	YES	06/04/12
DAVIS	JAMES	04097	\$109			

## READER'S GUIDE

The City Record (CR) is published each business day and includes notices of proposed New York City procurement actions, contract awards, and other procurement-related information. Solicitation notices for most procurements valued at or above \$100,000 for information technology and for construction and construction related services, above \$50,000 for other services, and above \$25,000 for other goods are published for at least one day. Other types of procurements, such as sole source, require notice in The City Record for five consecutive days. Unless otherwise specified, the agencies and offices listed are open for business Monday through Friday from 9:00 A.M. to 5:00 P.M., except on legal holidays.

### NOTICE TO ALL NEW YORK CITY CONTRACTORS

The New York State Constitution ensures that all laborers, workers or mechanics employed by a contractor or subcontractor doing public work are to be paid the same wage rate that prevails in the trade where the public work is being done. Additionally, New York State Labor Law §§ 220 and 230 provide that a contractor or subcontractor doing public work in construction or building service must pay its employees no less than the prevailing wage. Section 6-109 (the Living Wage Law) of the New York City Administrative Code also provides for a "living wage", as well as prevailing wage, to be paid to workers employed by City contractors in certain occupations. The Comptroller of the City of New York is mandated to enforce prevailing wage. Contact the NYC Comptroller's Office at [www.comptroller.nyc.gov](http://www.comptroller.nyc.gov), and click on Prevailing Wage Schedules to view rates.

### CONSTRUCTION/CONSTRUCTION SERVICES OR CONSTRUCTION-RELATED SERVICES

The City of New York is committed to achieving excellence in the design and construction of its capital program, and building on the tradition of innovation in architecture and engineering that has contributed to the City's prestige as a global destination.

### VENDOR ENROLLMENT APPLICATION

New York City procures approximately \$17 billion worth of goods, services, construction and construction-related services every year. The NYC Procurement Policy Board Rules require that agencies primarily solicit from established mailing lists called bidder/proposer lists. Registration for these lists is free of charge. To register for these lists, prospective suppliers should fill out and submit the NYC-FMS Vendor Enrollment application, which can be found online at [www.nyc.gov/selltonyc](http://www.nyc.gov/selltonyc). To request a paper copy of the application, or if you are uncertain whether you have already submitted an application, call the Vendor Enrollment Center at (212) 857-1680.

### SELLING TO GOVERNMENT TRAINING WORKSHOP

New and experienced vendors are encouraged to register for a free training course on how to do business with New York City. "Selling to Government" workshops are conducted by the Department of Small Business Services at 110 William Street, New York, NY 10038. Sessions are convened on the second Tuesday of each month from 10:00 A.M. to 12:00 P.M. For more information, and to register, call (212) 618-8845 or visit [www.nyc.gov/html/sbs/nycbiz](http://www.nyc.gov/html/sbs/nycbiz) and click on Summary of Services, followed by Selling to Government.

### PRE-QUALIFIED LISTS

New York City procurement policy permits agencies to develop and solicit from pre-qualified lists of vendors, under prescribed circumstances. When an agency decides to develop a pre-qualified list, criteria for pre-qualification must be clearly explained in the solicitation and notice of the opportunity to pre-qualify for that solicitation must be published in at least five issues of the CR. Information and qualification questionnaires for inclusion on such lists may be obtained directly from the Agency Chief Contracting Officer at each agency (see Vendor Information Manual). A completed qualification questionnaire may be submitted to an Agency Chief Contracting Officer at any time, unless otherwise indicated, and action (approval or denial) shall be taken by the agency within 90 days from the date of submission. Any denial or revocation of pre-qualified status can be appealed to the Office of Administrative Trials and Hearings (OATH). Section 3-10 of the Procurement Policy Board Rules describes the criteria for the general use of pre-qualified lists. For information regarding specific pre-qualified lists, please visit [www.nyc.gov/selltonyc](http://www.nyc.gov/selltonyc).

### NON-MAYORAL ENTITIES

The following agencies are not subject to Procurement Policy Board Rules and do not follow all of the above procedures: City University, Department of Education, Metropolitan Transportation Authority, Health & Hospitals Corporation, and the Housing Authority. Suppliers interested in applying for inclusion on bidders lists for Non-Mayoral entities should contact these entities directly at the addresses given in the Vendor Information Manual.

### PUBLIC ACCESS CENTER

The Public Access Center is available to suppliers and the public as a central source for supplier-related information through on-line computer access. The Center is located at 253 Broadway, 9th floor, in lower Manhattan, and is open Monday through Friday from 9:30 A.M. to 5:00 P.M., except on legal holidays. For more information, contact the Mayor's Office of Contract Services at (212) 341-0933 or visit [www.nyc.gov/mocs](http://www.nyc.gov/mocs).

### ATTENTION: NEW YORK CITY MINORITY AND WOMEN-OWNED BUSINESS ENTERPRISES

Join the growing number of Minority and Women-Owned Business Enterprises (M/WBEs) that are competing for New York City's business. In order to become certified for the program, your company must substantiate that it: (1) is at least fifty-one percent (51%) owned, operated and controlled by a minority or woman and (2) is either located in New York City or has a significant tie to New York City's business community. To obtain a copy of the certification application and to learn more about this program, contact the Department of Small Business Services at (212) 513-6311 or visit [www.nyc.gov/sbs](http://www.nyc.gov/sbs) and click on M/WBE Certification and Access.

### PROMPT PAYMENT

It is the policy of the City of New York to pay its bills promptly. The Procurement Policy Board Rules generally require that the City pay its bills within 30 days after the receipt of a proper invoice. The City pays interest on all late invoices. However, there are certain types of payments that are not eligible for interest; these are listed in Section 4-06 of the Procurement Policy Board Rules. The Comptroller and OMB determine the interest rate on late payments twice a year: in January and in July.

### PROCUREMENT POLICY BOARD RULES

The Rules may also be accessed on the City's website at [www.nyc.gov/selltonyc](http://www.nyc.gov/selltonyc)

### COMMON ABBREVIATIONS USED IN THE CR

The CR contains many abbreviations. Listed below are simple explanations of some of the most common ones appearing in the CR:

ACCO	Agency Chief Contracting Officer
AMT	Amount of Contract
CSB	Competitive Sealed Bid including multi-step
CSP	Competitive Sealed Proposal including multi-step
CR	The City Record newspaper
DP	Demonstration Project
DUE	Bid/Proposal due date; bid opening date
EM	Emergency Procurement
FCRC	Franchise and Concession Review Committee
IFB	Invitation to Bid
IG	Intergovernmental Purchasing
LBE	Locally Based Business Enterprise
M/WBE	Minority/Women's Business Enterprise
NA	Negotiated Acquisition
OLB	Award to Other Than Lowest Responsive Bidder/Proposer
PIN	Procurement Identification Number
PPB	Procurement Policy Board
PQL	Pre-qualified Vendors List
RFEI	Request for Expressions of Interest
RFI	Request for Information
RFP	Request for Proposals
RFQ	Request for Qualifications
SS	Sole Source Procurement
ST/FED	Subject to State and/or Federal requirements

### KEY TO METHODS OF SOURCE SELECTION

The Procurement Policy Board (PPB) of the City of New York has by rule defined the appropriate methods of source selection for City procurement and reasons justifying their use. The CR procurement notices of many agencies include an abbreviated reference to the source selection method utilized. The following is a list of those methods and the abbreviations used:

CSB	Competitive Sealed Bidding including multi-step <i>Special Case Solicitations/Summary of Circumstances:</i>
CSP	Competitive Sealed Proposal including multi-step
CP/1	Specifications not sufficiently definite
CP/2	Judgement required in best interest of City
CP/3	Testing required to evaluate
CB/PQ/4	
CP/PQ/4	CSB or CSP from Pre-qualified Vendor List/ Advance qualification screening needed
DP	Demonstration Project
SS	Sole Source Procurement/only one source
RS	Procurement from a Required Source/ST/FED
NA	Negotiated Acquisition <i>For ongoing construction project only:</i>
NA/8	Compelling programmatic needs
NA/9	New contractor needed for changed/additional work
NA/10	Change in scope, essential to solicit one or limited number of contractors

NA/11	Immediate successor contractor required due to termination/default <i>For Legal services only:</i>
NA/12	Specialized legal devices needed; CSP not advantageous
WA	Solicitation Based on Waiver/Summary of Circumstances ( <i>Client Services/CSB or CSP only</i> )
WA1	Prevent loss of sudden outside funding
WA2	Existing contractor unavailable/immediate need
WA3	Unsuccessful efforts to contract/need continues
IG	Intergovernmental Purchasing (award only)
IG/F	Federal
IG/S	State
IG/O	Other
EM	Emergency Procurement (award only): An unforeseen danger to:
EM/A	Life
EM/B	Safety
EM/C	Property
EM/D	A necessary service
AC	Accelerated Procurement/markets with significant short-term price fluctuations
SCE	Service Contract Extension/insufficient time; necessary service; fair price <i>Award to Other Than Lowest Responsible &amp; Responsive Bidder or Proposer/Reason (award only)</i>
OLB/a	anti-apartheid preference
OLB/b	local vendor preference
OLB/c	recycled preference
OLB/d	other: (specify)

### HOW TO READ CR PROCUREMENT NOTICES

Procurement notices in the CR are arranged by alphabetically listed Agencies, and within Agency, by Division if any. The notices for each Agency (or Division) are further divided into three subsections: Solicitations, Awards; and Lists & Miscellaneous notices. Each of these subsections separately lists notices pertaining to Goods, Services, or Construction.

Notices of Public Hearings on Contract Awards appear at the end of the Procurement Section.

At the end of each Agency (or Division) listing is a paragraph giving the specific address to contact to secure, examine and/or to submit bid or proposal documents, forms, plans, specifications, and other information, as well as where bids will be publicly opened and read. This address should be used for the purpose specified unless a different one is given in the individual notice. In that event, the directions in the individual notice should be followed.

The following is a SAMPLE notice and an explanation of the notice format used by the CR.

## SAMPLE NOTICE:

### POLICE

#### DEPARTMENT OF YOUTH SERVICES

#### ■ SOLICITATIONS

*Services (Other Than Human Services)*

**BUS SERVICES FOR CITY YOUTH PROGRAM** – Competitive Sealed Bids – PIN# 056020000293 – DUE 04-21-03 AT 11:00 A.M.

*Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.*

*NYPD, Contract Administration Unit, 51 Chambers Street, Room 310, New York, NY 10007. Manuel Cruz (646) 610-5225.*

☛ m27-30

ITEM	EXPLANATION
POLICE DEPARTMENT	Name of contracting agency
DEPARTMENT OF YOUTH SERVICES	Name of contracting division
■ SOLICITATIONS	Type of Procurement action
<i>Services (Other Than Human Services)</i>	Category of procurement
BUS SERVICES FOR CITY YOUTH PROGRAM	Short Title
CSB	Method of source selection
PIN # 056020000293	Procurement identification number
DUE 04-21-03 AT 11:00 am	Bid submission due 4-21-03 by 11:00 am; bid opening date/time is the same.
<i>Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents; etc.</i>	Paragraph at the end of Agency Division listing providing Agency contact information
	NYPD, Contract Administration Unit 51 Chambers Street, Room 310 New York, NY 10007. Manuel Cruz (646) 610-5225.
☛	Indicates New Ad
m27-30	Date that notice appears in The City Record