



THE CITY RECORD

Official Journal of The City of New York

THE CITY RECORD
U.S.P.S. 0114-660

Printed on paper containing
40% post-consumer material

VOLUME CXL NUMBER 242

WEDNESDAY, DECEMBER 18, 2013

PRICE \$4.00

TABLE OF CONTENTS	PROPERTY DISPOSITION	Economic Development Corporation . . .3527	<i>Procurement</i>3528
	Law3526	<i>Contracts</i>3527	AGENCY RULES
PUBLIC HEARINGS & MEETINGS	Police3526	Education3527	Buildings3528
Brooklyn Borough President3525	PROCUREMENT	<i>Contracts and Purchasing</i>3527	SPECIAL MATERIALS
Bronx Borough President3525	Administration for Children's Services .3527	Fire3528	City Planning3530
City Planning3525	Aging3527	<i>Fiscal Division</i>3528	Comptroller3530
Community Boards3525	Citywide Administrative Services3527	Health and Hospitals Corporation3528	Housing Preservation and Development 3531
Consumer Affairs3525	<i>Office of Citywide Purchasing</i>3527	Parks and Recreation3528	Human Resources Administration3531
Environmental Protection3526	<i>Vendor Lists</i>3527	<i>Revenue and Concessions</i>3528	Parks and Recreation3531
Housing Authority3526	Design and Construction3527	School Construction Authority3528	Small Business Services3532
Transportation3526	<i>Contracts</i>3527		LATE NOTICE
			Transportation3532

THE CITY RECORD **MICHAEL R. BLOOMBERG, Mayor**

EDNA WELLS HANDY, Commissioner, Department of Citywide Administrative Services.
ELI BLACHMAN, Editor of The City Record.

Published Monday through Friday, except legal holidays by the Department of Citywide Administrative Services of the City of New York under Authority of Section 1066 of the New York City Charter.

Subscription—\$500 a year; daily, \$4.00 a copy (\$5.00 by mail) Periodicals Postage Paid at New York, N.Y.
 POSTMASTER: Send address changes to THE CITY RECORD, 1 Centre Street, 17th Floor, New York, N.Y. 10007 - 1602

Editorial Office 1 Centre Street, 17th Floor New York N.Y. 10007-1602 Telephone (212) 386-0055	Subscription Changes/Information 1 Centre Street, 17th Floor New York N.Y. 10007-1602 Telephone (212) 386-0055	The City of New York Home Page provides Internet access via the world wide web to THE DAILY CITY RECORD http://www.nyc.gov/cityrecord
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BOROUGH OF BROOKLYN

COMMUNITY BOARD NO. 18 - Monday, December 18, 2013 at 7:00 P.M., 2335 Bergen Avenue, Brooklyn, NY

An application by The Jewish Board of Family and Children's Services (JBFCS), under the auspices of the New York State Office for People With Development Disabilities (OPWDD) pursuant to Section 41.34 of the Mental Hygiene Law, to establish an Individualized Residential Alternative (IRA) at 621 Mayfair Drive South, corner of Strickland Avenue, a two-family house, for six (6) Intellectually Disabled individuals, four (4) men and two (2) women.

d12-18

PUBLIC HEARINGS AND MEETINGS

See Also: Procurement; Agency Rules

BROOKLYN BOROUGH PRESIDENT

MEETING

NOTICE IS HEREBY GIVEN that Brooklyn Borough President Marty Markowitz will hold a meeting of the Brooklyn Borough Board in the Court Room, Second Floor, Brooklyn Borough Hall, 209 Joralemon Street, Brooklyn, New York 11201, commencing at 12:00 P.M. on Wednesday, December 18, 2013.

The Borough Board meeting agenda is as follows:

1. Approval of Minutes of Borough Board Meetings held on July 9, 2013 and November 12, 2013.
2. Presentation and vote on the third phase of the Long Meadow Ballfield Restoration, presented by the Prospect Park Alliance.
3. Presentation by the New York City Economic Development Corporation and vote on the business terms of the disposition by lease of property located at Brooklyn Block 7071, Lots 231, 226, 142, 130, 76, 34, 32, 30, 28, and 27, as well as adjacent streetbeds on Highland View Avenue and a portion of West 22nd Street, to the New York City Land Development Corporation for assignment to Seaside Park LLC or an affiliated entity, for the development of the Seaside Park and Community Arts Center.

To request a sign language interpreter, or to request TTD services, call Mr. Kai Feder at (718) 802-3642 at least five business days before the day of the hearing.

d5-18

BRONX BOROUGH PRESIDENT

PUBLIC HEARINGS

A PUBLIC HEARING IS BEING CALLED by the President of the Borough of The Bronx, the Honorable Ruben Diaz Jr. to be held on Friday, December 20, 2013 at 10:00 A.M. in the office of the Borough President, 851 Grand Concourse, Room 206, the Bronx, New York 10451 on the following item:

CD #6 ULURP APPLICATION NO: C 140089 PPX - IN THE MATTER OF AN application submitted by the Department of Citywide Administrative Services, (DCAS), pursuant to Section 197-c of the New York City Charter, for the disposition of two (2) city-owned properties located on Block 3055, Lot 8, and Block 3113, Lot 8, pursuant to zoning.

MEMBERS OF THE PUBLIC WISHING TO SPEAK MAY REGISTER AT THE HEARING. PLEASE DIRECT ANY QUESTIONS CONCERNING THIS MATTER TO THE OFFICE OF THE BOROUGH PRESIDENT, (718) 590-6124.

d13-19

CITY PLANNING

PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN THAT RESOLUTIONS Have been adopted by the City Planning Commission Scheduling public hearings on the following matters to be held in Spector Hall, 22 Reade Street, New York, NY, on Wednesday, December 18, 2013 at 10:00 A.M.

BOROUGH OF QUEENS

No. 1
OCEAN VILLAGE

CD 14 **C 140077 HAQ**
IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD):

pursuant to Article 16 of the General Municipal Law of New York State for:

The designation of property located at 57-21 Rockaway Beach Boulevard (Block 15926, p/o Lot 200) as an Urban Development Action Area; and

a. an Urban Development Action Area Project for such area; and pursuant to Section 197-c of the New York City Charter for the disposition of such property to a developer to be selected by HPD;

to repair and rehabilitate the existing entrance way, planters, and landscaping.

No. 2

31-00 47TH AVENUE OFFICE SPACE

CD 2 **N 140215 PXQ**
IN THE MATTER OF a Notice of Intent to acquire office space submitted by the Department of Citywide Administrative Services, pursuant to Section 195 of the New York City Charter for use of property located at 31-00 47th Avenue (Block 281, Lot 1) (TLC and OATH offices).

BOROUGH OF THE BRONX

No. 3
1775 GRAND CONCOURSE OFFICE SPACE

CD 5 **N 140214 PXX**
IN THE MATTER OF a Notice of Intent to acquire office space submitted by the Department of Citywide Administrative Services, pursuant to Section 195 of the New York City Charter for use of property located at 1775 Grand Concourse (Block 2822, Lot 7501) (Law Department offices).

d5-18

COMMUNITY BOARDS

PUBLIC HEARINGS

PUBLIC NOTICE IS HEREBY GIVEN THAT the following matters have been scheduled for public hearing by Community Boards:

CONSUMER AFFAIRS

PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, PURSUANT TO LAW, that the New York City Department of Consumer Affairs will hold a Public Hearing on Wednesday, December 18, 2013, at 2:00 P.M., at 66 John Street, 11th floor, in the Borough of Manhattan, on the following petitions for sidewalk café revocable consent:

- 1) Dean's Rest. Corp.
349 Greenwich Street in the Borough of Manhattan (To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 2) MNY Holdings Associates, LLC
1152 First Avenue in the Borough of Manhattan (To continue to, maintain, and operate an enclosed sidewalk café for a term of two years.)
- 3) P.J. Coffee Shop Inc.
80 Clark Street in the Borough of Brooklyn (To continue to, maintain, and operate an enclosed sidewalk café for a term of two years.)
- 4) Blue Water Astoria LLC
31-29 Ditmars Boulevard in the Borough of Queens (To establish, maintain, and operate an enclosed sidewalk café for a term of two years.)
- 5) Ship Wrecked Bar & Grill, Inc.
149 Bleecker Street in the Borough of Manhattan (To establish, maintain, and operate an enclosed sidewalk café for a term of two years.)
- 6) Karavas Food Ltd.
162 West 4th Street in the Borough of Manhattan (To continue to, maintain, and operate an enclosed sidewalk café for a term of two years.)
- 7) M & R Mediterranean Corp.
304 East 6th Street in the Borough of Manhattan (To continue to, maintain, and operate an enclosed sidewalk café for a term of two years.)
- 8) E & E Restaurant 2, LLC
581 Second Avenue in the Borough of Manhattan (To establish, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 9) P & A 665 Restaurant Corp.
665 Ninth Avenue in the Borough of Manhattan (To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 10) J of K Corp.
427 Amsterdam Avenue in the Borough of Manhattan (To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 11) Graham Restaurant LLC
299-301 Graham Avenue in the Borough of Brooklyn (To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 12) Il Buco Corp.
47 Bond Street in the Borough of Manhattan (To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)

- 13) Gilli, Inc.
417 Amsterdam Avenue in the Borough of Manhattan
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 14) Genmark Restaurant Inc.
1453 York Avenue in the Borough of Manhattan
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 15) Desmo 916 Corp.
545 East 5th Street in the Borough of Manhattan
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 16) Brooklyn Heights Wine Bar LLC
50 Henry Street in the Borough of Brooklyn
(To continue to, maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 17) 136 West Broadway, Inc.
136 West Broadway in the Borough of Manhattan
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 18) AMGP Restaurant Corp.
2003 Emmons Avenue in the Borough of Brooklyn
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 19) J.J.M.A.P. Corp.
36-19 30th Avenue in the Borough of Queens
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)

- 20) Luma Rest. Inc.
1494 Second Avenue in the Borough of Manhattan
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 21) Paleros Inc.
37-01 30th Avenue in the Borough of Queens
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 22) Paneantico Bakery Café, Inc.
9124 3rd Avenue in the Borough of Brooklyn
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 23) PSSP NY Inc.
143 Mulberry Street in the Borough of Manhattan
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 24) PQ Chelsea, Inc.
124 Seventh Avenue in the Borough of Manhattan
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 25) The Original Vincent's Established 1904 Inc.
119 Mott Street in the Borough of Manhattan
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)
- 26) Tre-Giovani, Inc.
548 LaGuardia Place in the Borough of Manhattan
(To continue to maintain, and operate an unenclosed sidewalk café for a term of two years.)

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ENVIRONMENTAL PROTECTION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that, pursuant to Title 5, Chapter 3, Subchapter 3 of the Administrative Code of the City of New York, a public hearing will be held at 22 Reade Street, Borough of Manhattan on Wednesday, January 8, 2014, at 10:00 A.M. on the following:

REAL PROPERTY PUBLIC HEARING in the matter of the acquisition by the City of New York of fee simple (Fee) interests, or for properties being acquired in fee simple as part of the Greene County Flood Buyout Program (FBO) by the City of New York or the respective municipality, on the following real estate in the Counties of Delaware, Greene, Schoharie and Ulster for the purposes of preserving and preventing the contamination or pollution of the water supply of the City of New York:

NYC ID	County	Municipality	Type	Tax Lot ID	Acres (+/-)
8143	Delaware	Andes	Fee	279.-1-2.2	50.00
8648		Bovina	Fee	p/o 174.-1-12	99.04
3875		Harpersfield	Fee	52.-1-21	9.30
3875		Kortright	Fee	p/o 68.-3-6	88.30
3029		Middletown	Fee	p/o 305.-1-12.11	230.00
8510		Roxbury	Fee	134.-1-19.1	9.95
8667		Roxbury	Fee	199.-1-8	10.80
8637	Greene	Ashland	Fee	45.00-1-31.11	43.11
8579		Hunter	FBO	216.01-6-5	0.61
8580		Hunter	FBO	216.01-6-8	0.48
3699		Hunter	Fee	p/o 196.00-2-8	105.00
8293		Hunter	Fee	164.00-2-40	56.25
8539		Jewett	FBO	150.00-1-18	10.20
8581		Jewett	FBO	150.00-1-32	1.00
8536		Lexington	FBO	109.00-1-7	2.50
8536		Lexington	FBO	109.00-1-8	0.53
8582		Lexington	FBO	160.10-1-37	1.14
8583		Lexington	FBO	109.00-1-9	0.29
8633		Lexington	FBO	127.20-2-2	0.62
8584		Prattsville	FBO	74.14-1-28	12.00
8589		Prattsville	FBO	74.00-2-26	1.00
8590		Prattsville	FBO	91.00-2-16	1.20
3516		Windham	Fee	p/o 114.00-1-14	57.79
8730		Windham	Fee	60.00-4-39	15.60
8541		Windham	FBO	98.00-3-5.2	1.70
2364	Schoharie	Conesville	Fee	209.-2-19	37.90
8572		Gilboa	Fee	198.-1-16.122	1.99
724	Ulster	Olive	Fee	p/o 37.3-1-20.1	34.36
962		Olive	Fee	45.4-2-61.2	20.68

A copy of the Mayor's Preliminary Certificates of Adoption and maps of the real estate to be acquired are available for public inspection upon request. Please call (845) 340-7810.

☛ d18

HOUSING AUTHORITY

■ MEETING

The next Board Meeting of the New York City Housing Authority is scheduled for Wednesday, December 18, 2013 at 10:00 A.M. in the Board Room on the 12th Floor of 250 Broadway, New York, New York (unless otherwise noted). Copies of the Calendar are available on NYCHA's Website or can be picked up at the Office of the Corporate Secretary at 250 Broadway, 12th Floor, New York, New York, no earlier than 24 hours before the upcoming Board Meeting. Copies of the Minutes are also available on NYCHA's Website or can be picked up at the Office of the Corporate Secretary no earlier than 3:00 P.M. on the Thursday after the Board Meeting.

Any changes to the schedule will be posted here and on NYCHA's Website to the extent practicable at a reasonable time before the meeting.

The meeting is open to the public. Pre-registration at least 45 minutes before the scheduled Board Meeting is required by all speakers. Comments are limited to the items on the Calendar. Speaking time will be limited to three minutes. The public comment period will conclude upon all speakers being heard or at the expiration of 30 minutes allotted by law for public comment, whichever occurs first.

Any person requiring a reasonable accommodation in order to participate in the Board Meeting, should contact the Office of the Corporate Secretary at (212) 306-6088 no later than five business days before the Board Meeting.

For additional information, please visit NYCHA's Website or contact (212) 306-6088.

d9-18

TRANSPORTATION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, pursuant to law, that the following proposed revocable consents, have been scheduled for a public hearing by the New York City Department of Transportation. The hearing will be held at 55 Water Street, 9th Floor, Room 945 commencing at 2:00 P.M. on Wednesday, December 18, 2013. Interested parties can obtain copies of proposed agreements or request sign-language interpreters (with at least seven days prior notice) at 55 Water Street, 9th Floor SW, New York, NY 10041, or by calling (212) 839-6550.

#1 In the matter of a proposed revocable consent authorizing 5th Midtown LLC to continue to maintain and use two flagpoles on the north sidewalk of East 46th Street, east of Fifth Avenue, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2013 to June 30, 2023.

There shall be no compensation required for this revocable consent

the maintenance of a security deposit in the sum of \$5,000 and the insurance shall be in the amount of One Million Dollars (\$1,000,000) per occurrence, and Two Million Dollars (\$2,000,000) aggregate.

#2 In the matter of a proposed revocable consent authorizing Consolidated Edison Company of New York, Inc. to continue to maintain and use bollards and lampposts on the east sidewalk of Irving Place, between East 14th and East 15th Streets, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2013 to June 30, 2023 and provides among other terms and conditions for compensation payable to the City according to the following schedule:
For the period of July 1, 2013 to June 30, 2023 - \$1,300/annum.

the maintenance of a security deposit in the sum of \$3,000 and the insurance shall be in the amount of One Million Dollars (\$1,000,000) per occurrence, and Two Million Dollars (\$2,000,000) aggregate.

#3 In the matter of a proposed revocable consent authorizing DIFT, LLC to construct, maintain and use overhead building lights over the north sidewalk of Union Square East, west of East 15th Street, and over the west sidewalk of East 15th Street, north of Union Square East, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from the date of Approval by the Mayor to June 30, 2024 and provides among other terms and conditions for compensation payable to the City according to the following schedule:

From the Approval Date to June 30, 2024 - \$1,825/annum.

the maintenance of a security deposit in the sum of \$5,000 and the insurance shall be the amount of One Million Dollars (1,000,000) per occurrence, and two Million Dollars (\$2,000,000) aggregate.

#4 In the matter of a proposed revocable consent authorizing Frank & Walter Eberhart L.P. #1 to continue to maintain and use a fenced-in area, on the north sidewalk of east 81st Street, between First and Second Avenues, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2013 to June 30, 2023 and provides among other terms and conditions for compensation payable to the City according to the following schedule:

For the period from July 1, 2013 to June 30, 2023 - \$237/annum.

The maintenance of a security deposit in the sum of \$1,500 and the insurance shall be the amount of One Million Dollars (\$1,000,000) per occurrence, and Two Million Dollars (\$2,000,000) aggregate.

#5 In the matter of a proposed revocable consent authorizing Michael Chaney and Larissa A. Kirschner to construct, maintain and use a fenced-in area on the south sidewalk of West 23rd Street, between Eighth Avenue and Ninth Avenue, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from the date of Approval by the Mayor to June 30, 2024 and provides among other terms and conditions for compensation payable to the City according to the following schedule:

From the Approval Date to June 30, 2024 - \$307/annum.

the maintenance of a security deposit in the sum of \$5,000 and the insurance shall be in the amount of One Million Dollars (\$1,000,000) per occurrence, and Two Million Dollars (\$2,000,000) aggregate.

n27-d18

PROPERTY DISPOSITION

LAW

■ NOTICE

NOTICE IS HEREBY GIVEN THAT A REAL PROPERTY ACQUISITION AND DISPOSITION PUBLIC HEARING, in accordance with Section 1266-c of the New York Public Authorities Law, will be held on Monday, December 23, 2013 commencing at 10:00 A.M. at 22 Reade Street, 2nd Floor Conference Room, in the Borough of Manhattan, in the matter of the addition of a special transit land use transit easement to the Agreement of Lease dated June 1, 1953 (as extended, supplemented, amended and renewed) between the City of New York, as landlord, and the New York City Transit Authority, as tenant. Said easement will be located on Block 1330, Lot 15 (f/k/a part of Lot 13) in the Borough of Manhattan, City and State of New York.

Individuals requesting Sign Language interpreters should contact the Mayor's Office of Contract Services, Public Hearings Unit, 253 Broadway, Room 915, New York, NY 10007, (212) 788-7490, no later than SEVEN (7) BUSINESS DAYS PRIOR TO THE PUBLIC HEARING. TDD users should call Verizon relay services.

n22-d23

POLICE

OWNERS ARE WANTED BY THE PROPERTY CLERK DIVISION OF THE NEW YORK CITY POLICE DEPARTMENT.

The following listed property is in the custody, of the Property Clerk Division without claimants.

Recovered, lost, abandoned property, property obtained from prisoners, emotionally disturbed, intoxicated and deceased persons; and property obtained from persons incapable of caring for themselves.

Motor vehicles, boats, bicycles, business machines, cameras, calculating machines, electrical and optical property, furniture, furs, handbags, hardware, jewelry, photographic equipment, radios, robes, sound systems, surgical and musical instruments, tools, wearing apparel, communications equipment, computers, and other miscellaneous articles.

INQUIRIES
Inquiries relating to such property should be made in the Borough concerned, at the following office of the Property Clerk.

- FOR MOTOR VEHICLES
(All Boroughs):
- * Springfield Gardens Auto Pound, 174-20 North Boundary Road, Queens, NY 11430, (718) 553-9555
 - * Erie Basin Auto Pound, 700 Columbia Street, Brooklyn, NY 11231, (718) 246-2030

FOR ALL OTHER PROPERTY
* Manhattan - 1 Police Plaza, New York, NY 10038, (646) 610-5906.

- * **Brooklyn - 84th Precinct, 301 Gold Street, Brooklyn, NY 11201, (718) 875-6675.**
- * **Bronx Property Clerk - 215 East 161 Street, Bronx, NY 10451, (718) 590-2806.**
- * **Queens Property Clerk - 47-07 Pearson Place, Long Island City, NY 11101, (718) 433-2678.**
- * **Staten Island Property Clerk - 1 Edgewater Plaza, Staten Island, NY 10301, (718) 876-8484.**

j1-d31

PROCUREMENT

“Compete To Win” More Contracts! Thanks to a new City initiative - “Compete to Win” - the NYC Department of Small Business Services offers a new set of FREE services to help create more opportunities for minority and women-owned businesses to compete, connect and grow their business with the City. With NYC Construction Loan, Technical Assistance, NYC Construction Mentorship, Bond Readiness, and NYC Teaming services, the City will be able to help even more small businesses than before.

- **Win More Contracts at nyc.gov/competetowin**

“The City of New York is committed to achieving excellence in the design and construction of its capital program, and building on the tradition of innovation in architecture and engineering that has contributed to the City’s prestige as a global destination. The contracting opportunities for construction/construction services and construction-related services that appear in the individual agency listings below reflect that commitment to excellence.”

HHS ACCELERATOR

To respond to human services Requests for Proposals (RFPs) released Fall 2013 and later, vendors must first complete and submit an electronic prequalification application using the City's Health and Human Services (HHS) Accelerator System. The HHS Accelerator System is a web-based system maintained by the City of New York for use by its human services Agencies to manage procurement. To establish this, the City of New York is using the innovative procurement method, as permitted and in accordance with Section 3-12 of the Procurement Policy Board Rules of the City of New York ("PPB Rules"). The new process will remove redundancy by capturing information about boards, filings, policies, and general service experience centrally. As a result, specific proposals for funding will be more focused on program design, scope, and budget.

Important information about the new method

- Prequalification applications are required every three years
- Documents related to annual corporate filings must be submitted on an annual basis to remain eligible to compete
- Prequalification applications will be reviewed to validate compliance with corporate filings, organizational capacity, and relevant service experience
- Approved organizations will be eligible to compete and would submit electronic proposals through the system.

RFPs to be managed by HHS Accelerator are listed on the NYC Procurement Roadmap located at <http://www.nyc.gov/html/hhsaccelerator/html/roadmap/roadmap.shtml>. All current and prospective vendors should frequently review information listed on roadmap to take full advantage of upcoming opportunities for funding.

Participating NYC Agencies

HHS Accelerator, led by the Deputy Mayor for Health and Human Services, is governed by an Executive Steering Committee of Agency Heads who represent the following NYC Client and Community-based Services Agencies: Administration for Children's Services (ACS) Department for the Aging (DFTA) Department of Corrections (DOC) Department of Health and Mental Hygiene (DOHMH) Department of Homeless Services (DHS) Department of Probation (DOP) Department of Small Business Services (SBS) Department of Youth and Community Development (DYCD) Housing and Preservation Department (HPD) Human Resources Administration (HRA) Office of the Criminal Justice Coordinator (CJC)

To sign up for training on the new system, and for additional information about HHS Accelerator, including background materials, user guides and video tutorials, please visit www.nyc.gov/hhsaccelerator.

ADMINISTRATION FOR CHILDREN'S SERVICES

■ SOLICITATIONS

Human / Client Services

NON-SECURE DETENTION GROUP HOMES – Negotiated Acquisition – Judgment required in evaluating proposals - PIN# 06813N0006 – DUE 06-30-15 AT 2:00 P.M. – The Administration for Children's Services, Division of Youth and Family Justice is soliciting applications from organizations interested in operating non-secure detention group homes in New York City. This is an open-ended solicitation.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Administration for Children's Services, 150 William Street, 9th Floor, New York, NY 10038.
Michael Walker (212) 341-3617; Fax: (917) 551-7239;
michael.walker@dca.state.ny.us

o31-a20

■ AWARDS

Human / Client Services

CHILD CARE SERVICES – BP/City Council Discretionary – PIN# 06814L0030001 – AMT: \$233,811.00 – TO: Queen County Educators for Tomorrow, Inc., 109-45 207th Street, Queens Village, NY 11429.

● **INTENSIVE PREVENTIVE AND AFTERCARE SERVICES** – Renewal – PIN# 06806P0006CNVR001 – AMT: \$107,411.00 – TO: The Family Center, Inc., 315 West 36th Street, New York, NY 10018.

d18

AGING

■ INTENT TO AWARD

Human / Client Services

AGING IN NEW YORK FUND – Sole Source – Available only from a single source - PIN# 12514S0002 – DUE 12-19-13 AT 10:00 A.M. – The NYC Department for the Aging (DFTA) intends to enter into a sole source contract with the Aging in New York Fund, Inc. (ANYF) to manage TimeBanksNYC (TBNYC). TBNYC is a citywide program formed in partnership between DFTA and ANYF that provides a no-cost forum whereby the community and program participants can voluntarily exchange services with one another. The contract is anticipated to be from 1/1/14-12/31/14 with options to renew for a total of two additional years.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Department for the Aging, 2 Lafayette Street, Room 400, New York, NY 10007. Betty Lee (212) 442-1112;
Fax: (212) 442-0994; blee@aging.nyc.gov

d12-18

CITYWIDE ADMINISTRATIVE SERVICES

OFFICE OF CITYWIDE PURCHASING

■ SOLICITATIONS

Services (Other Than Human Services)

PUBLIC SURPLUS ONLINE AUCTION – Other – PIN# 0000000000 – DUE 12-31-14.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Department of Citywide Administrative Services, 66-26 Metropolitan Avenue, Queens Village, NY 11379.
Donald Lepore (718) 417-2152; Fax: (212) 313-3135;
dlepore@dcas.nyc.gov

s6-f25

■ AWARDS

Goods

LIGHTING SYSTEM FOR CENTER FOR PERFORMANCE RESEARCH - DCA – Competitive Sealed Bids – PIN# 8571300485 – AMT: \$153,015.00 – TO: Production Advantage, Inc., P.O. Box 1700, Williston, VT 05495-1700.

d18

WATER METERS, SINGLE-JET, BRAND SPECIFIC – Competitive Sealed Bids – PIN# 8571300241 – AMT: \$13,677,500.00 – TO: Metron-Farnier, LLC, 5665 Airport Boulevard, Boulder, CO 80301.

- **CLAY, BALLFIELD (RE-AD)** – Competitive Sealed Bids – PIN# 8571300453 – AMT: \$758,000.50 – TO: Custom Clay, Inc., 85 Oak Drive, Syosset, NY 11791.
- **DINNERS, KOSHER, GLATT, PASSOVER - DOC, SHELF STABLE** – Competitive Sealed Bids – PIN# 8571300419 – AMT: \$1,416,290.32 – TO: Golden Platter Foods, Inc., 37 Tompkins Point Road, Newark, NJ 07114.

d18

■ VENDOR LISTS

Goods

EQUIPMENT FOR DEPARTMENT OF SANITATION – In accordance with PPB Rules, Section 2.05(c)(3), an acceptable brands list will be established for the following equipment for the Department of Sanitation:

- A. Collection Truck Bodies
- B. Collection Truck Cab Chassis
- C. Major Component Parts (Engine, Transmission, etc.)

Applications for consideration of equipment products for inclusion on the acceptable brands list are available from: Mr. Edward Andersen, Procurement Analyst, Department of Citywide Administrative Services, Office of Citywide Procurement, 1 Centre Street, 18th Floor, New York, NY 10007. (212) 669-8509.

j2-d31

■ INTENT TO AWARD

Services (Other Than Human Services)

X-RAY (AS AND E) MACHINE MAINTENANCE, SERVICE, REPAIR, AND PARTS – Sole Source – Available only from a single source - PIN# 85614S0001 – DUE 12-26-13 AT 10:00 A.M. – This request is to provide parts, maintenance, and repairs for all American Science and Engineering, Inc. ("AS and E") X-Ray Machines throughout the City of New York for the Department of Citywide Administrative Services ("DCAS"). DCAS intends to enter into a Sole Source negotiation with AS and E for the above noted services.

Any firm which believes that it can also provide the service and is an authorized technician to provide service to these AS and E machines, is invited to express an interest by letter, which must be received no later than 10:00 A.M. on Thursday, December 26, 2013 to the attention of John K. Bernabe, Contract Manager, Office of Citywide Purchasing.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Department of Citywide Administrative Services, 1 Centre Street, 18th Floor North, New York, New York 10007. John Bernabe (212) 386-0426; Fax: (646) 500-6374;
jbernabe@dcas.nyc.gov

d18-24

DESIGN & CONSTRUCTION

CONTRACTS

■ SOLICITATIONS

Construction / Construction Services

NEW BUILDING CONSTRUCTION – Request for Qualifications – PIN# NEWCONSTRUCT2013 – DUE 01-14-14 AT 4:00 P.M.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Department of Design and Construction, 30-30 Thomson Avenue, 1st Floor, L.I.C., NY 11101.
Melanie Sanchez (718) 391-3430; Fax: (718) 391-2615;
SanchezMe@ddc.nyc.gov

d17-23

ECONOMIC DEVELOPMENT CORPORATION

CONTRACTS

■ SOLICITATIONS

Goods & Services

MITIGATION BANKING, CONSULTANT SERVICES RFEI – Request for Information – PIN# 5330-0 – DUE 02-14-14 AT 4:00 P.M. – The New York City Economic Development Corporation ("NYCEDC") is issuing this Request for Expressions of Interest ("RFEI") on behalf of the City of New York to solicit proposals from experienced and qualified parties regarding NYCEDC's anticipated approach for retaining a contractor/developer who would perform various services in connection with the implementation of the first wetland mitigation banking project in the City. The purpose of this RFEI is to provide interested parties with information that enables them to prepare and submit a proposal.

In accordance with the mitigation bank establishment process defined in the Clean Water Act, NYCEDC has been working closely with an Interagency Review Team co-chaired by the United States Army Corps of Engineers ("USACE") and the New York State Department of Environmental Conservation ("NYSDEC") and comprised of other federal and state regulatory agencies to develop the project, including the preparation of the project's design, plans, and documents required for the review and approval of various regulatory agencies. Through the RFEI process NYCEDC seeks to explore potential transaction structures in which NYCEDC would retain a party pursuant to a separate request for proposals ("RFP") to perform various services under a Project Implementation Agreement ("PIA") and otherwise implement the project in accordance with NYCEDC's obligations under applicable laws as the project "Sponsor," on behalf of the City of New York. It is expected that such services would include the provision of project financing, construction, monitoring and maintenance, and credit marketing and brokerage services.

An optional informational session will be held on January 14, 2014 at 10:00 A.M. at NYCEDC. Those who wish to attend should RSVP by email to MARSHES@nycedc.com on or before January 10, 2014.

Respondents may submit questions and/or request clarifications from NYCEDC no later than 4:00 P.M. on January 21, 2014. For all questions that do not pertain to the subject matter of this RFEI please contact NYCEDC's Contracts Hotline at (212) 312-3969. Answers to all questions will be posted by Friday, January 31, 2014, to www.nycedc.com/RFP.

Please submit four (4) copies and one (1) electronic version of your proposal.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Economic Development Corporation, 110 William Street, 4th Floor, New York, NY 10038.
Maryann Catalano (212) 312-3969; Fax: (212) 312-3918;
MARSHES@nycedc.com

d18

EDUCATION

CONTRACTS AND PURCHASING

■ SOLICITATIONS

Services (Other Than Human Services)

SCHOLARSHIPS FOR SPECIAL EDUCATIONS AND RELATED SERVICES – Request for Proposals – PIN# R1019040 – DUE 01-27-14 AT 1:00 P.M. – The New York City Department of Education (NYCDOE) on behalf of the Division of Human Resource and Talent - HR School Support - and the office of Scholarship and Incentive Programs releases this Request for Proposals (RFP) seeking proposals from New York State accredited graduate colleges/universities to participate in the NYCDOE's Scholarship Program. Vendors must offer Master's and/or Doctoral degree programs in any of or all the various areas/disciplines of Special Education and its related services. It is anticipated that no more than 20 contracts will be awarded. Services will commence in the Fall of 2014. The contract term is 5 years. If you cannot download this RFP, please send an e-mail to VendorHotline@schools.nyc.gov with the RFP Number and title in the subject line of your e-mail. For all questions related to this RFP, please send an e-mail to psimms@schools.nyc.gov with the RFP number and title in the subject line of your e-mail.

The New York City Department of Education (DOE) strives to give all businesses, including Minority and Women-Owned Business Enterprises (M/WBEs), an equal opportunity to compete for DOE procurements. The DOE's mission is to provide equal access to procurement opportunities for all qualified vendors, including M/WBEs, from all segments of the community. The DOE works to enhance the ability of M/WBEs to compete for contracts. DOE is committed to

ensuring that M/WBEs fully participate in the procurement process.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Department of Education, 65 Court Street, Room 1201, Brooklyn, NY 11201. Vendor Hotline (718) 935-2300; vendorhotline@schools.nyc.gov

d18

FIRE

SOLICITATIONS

Services (Other Than Human Services)

MAINTENANCE AND TECHNICAL SUPPORT SERVICES FOR THE GEOGRAPHIC INFORMATION SYSTEM-BASED SITING AND DEPLOYMENT SOFTWARE PROGRAM – Sole Source – Available only from a single source - PIN# 057140001134 – DUE 01-02-14 AT 4:00 P.M. – The Fire Department intends to enter into sole source negotiations with Deccan International to provide ongoing Maintenance and Technical Support Services for proprietary software to support the Geographic Information System-Based Siting and Deployment Software Program. Any firm that believes it can provide these services is invited to do so in writing. Written requests shall be sent to 9 MetroTech Center, Brooklyn, NY 11201, Room 5S-01-K. Attn: K. Legrand, tel: (718) 999-1231.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Fire Department, 9 MetroTech Center, 5th Floor, Brooklyn, NY 11201. Kristina LeGrand (718) 999-1231; legrandkm@fdny.nyc.gov.

d17-23

FISCAL DIVISION

SOLICITATIONS

Services (Other Than Human Services)

SYSTEM MAINTENANCE, TECHNICAL SUPPORT AND ENHANCEMENTS FOR IMAGEWORK TECHNOLOGIES SYSTEMS – Sole Source – Available only from a single source - PIN# 057140001231 – DUE 01-02-14 AT 4:00 P.M. – The Fire Department intends to enter into sole source negotiations with ImageWork Technologies Corp., to provide ongoing system maintenance, technical support and enhancements for ImageWork Technologies Systems. Any firm that believes it can provide these services is invited to do so in writing. Written requests shall be sent to the address below. Attn: M. Smith, tel: (718) 999-2845.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Fire Department, 9 MetroTech Center, 5W-18K, Brooklyn, NY 11201. Tetyana Sydoruk (718) 999-2333; Fax: (718) 999-0177; contracts@fdny.nyc.gov

d17-23

HEALTH AND HOSPITALS CORPORATION

The New York City Health and Hospitals Corporation is regularly soliciting bids for supplies and equipment at its Central Purchasing Offices, 346 Broadway, New York City, Room 516, for its Hospitals and Diagnostic and Treatment Centers. All interested parties are welcome to review the bids that are posted in Room 516 weekdays between 9:00 a.m. and 4:30 p.m. For information regarding bids and the bidding process, please call (212) 442-4018.

j1-d31

PARKS AND RECREATION

SOLICITATIONS

Goods & Services

BIDS FOR OPERATION OF MOBILE FOOD CONCESSIONS AT BATTERY PARK – Public Bid – PIN# CWB2014C – DUE 01-21-14 AT 11:00 A.M. – In accordance with Section 1-12 of the Concession Rules of the City of New York, the New York City Department of Parks and Recreation ("Parks") is issuing, as of the date of this notice, a Request for Bids for the operation of up to five (5) mobile concessions at Battery Park, Manhattan. Hard copies of the RFB can be obtained, at no cost, commencing on Thursday, December 12, 2013 through Tuesday, January 21, 2014 at 11:00 A.M. between the hours of 9:00 A.M. and 5:00 P.M., excluding weekends and holidays, at the Revenue Division of the New York City Department of Parks and Recreation, which is located at 830 Fifth Avenue, Room 407, New York, NY 10065. All bids submitted in response to this RFB must be submitted no later Tuesday, January 21, 2014 at 11:00 A.M.

The RFB is also available for download, commencing on December 12, 2013 through January 21, 2014 at 11:00 A.M. on Parks' website. To download the RFB, visit www.nyc.gov/parks/businessopportunities, click on the link for "Concessions Opportunities at Parks" and, after logging in, click on the "download" link that appears adjacent to the RFB's description.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Parks and Recreation, The Arsenal, 830 Fifth Avenue, Room 407, NY, NY 10065. Glenn Kaalund, Mark Feinstein (212) 360-1397; Fax: (212) 360-3434; glenn.kaalund@parks.nyc.gov

d12-26

REQUEST FOR BIDS FOR MOBILE FOOD CONCESSION PERMITS AT VARIOUS PARKS, CITYWIDE – Public Bid – PIN# CWB2014B – DUE 01-21-14 AT 11:00 A.M. – In accordance with Section 1-12 of the Concession Rules of the City of New York, the New York City Department of Parks and Recreation ("Parks") is issuing, as of the date of this notice, a Request for Bids for the sale of food from mobile food units at various locations, Citywide.

Hard copies of the RFB can be obtained, at no cost, commencing on Thursday, December 12, 2013 through Tuesday, January 21, 2014 at 11:00 A.M. between the hours of 9:00 A.M. and 5:00 P.M., excluding weekends and holidays, at the Revenue Division of the New York City Department of Parks and Recreation, which is located at 830 Fifth Avenue, Room 407, New York, NY 10065. All bids submitted in response to this RFB must be submitted no later Tuesday, January 21, 2014 at 11:00 A.M.

The RFB is also available for download, commencing on December 12, 2013 through January 21, 2014 at 11:00 A.M. on Parks' website. To download the RFB, visit www.nyc.gov/parks/businessopportunities, click on the link for "Concessions Opportunities at Parks" and, after logging in, click on the "download" link that appears adjacent to the RFB's description.

For more information or to request a copy of the RFB, contact Glenn Kaalund, Project Manager, at (212) 360-1397 or via email at glenn.kaalund@parks.nyc.gov

TELECOMMUNICATION DEVICE FOR THE DEAF (TDD)
212-504-4115

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Parks and Recreation, The Arsenal, 830 Fifth Avenue, Room 407, NY, NY 10065. Glenn Kaalund, Mark Feinstein (212) 360-1397; Fax: (212) 360-3434; glenn.kaalund@parks.nyc.gov; deborah.richardson@parks.nyc.gov

d12-26

REVENUE AND CONCESSIONS

SOLICITATIONS

Services (Other Than Human Services)

RENOVATION, OPERATION AND MAINTENANCE OF RIDING STABLES – Competitive Sealed Proposals – Judgment required in evaluating proposals - PIN# X92-D-ST-2013 – DUE 02-03-14 AT 3:00 P.M. – At Van Cortlandt Park, in the Bronx. There will be a recommended site visit on Wednesday, January 8, 2014 at 11:00 A.M. We will be meeting in the parking lot. If you are considering responding to this RFP, please make every effort to attend this recommended site visit.

TELECOMMUNICATION DEVICE FOR THE DEAF (TDD)
212-504-4115

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Parks and Recreation, The Arsenal-Central Park, 830 Fifth Avenue, Room 407, New York, NY 10021. Charlotte Hall (212) 360-3407; Fax: (212) 360-3434; charlotte.hall@parks.nyc.gov

d9-20

SCHOOL CONSTRUCTION AUTHORITY

PROCUREMENT

SOLICITATIONS

Construction / Construction Services

ROOF REPLACEMENT – Competitive Sealed Bids – PIN# SCA14-14478D-1 – DUE 12-30-13 AT 11:00 A.M. – Townsend Harris HS (Queens). Project Range: \$1,860,000.00 – \$1,955,000.00. Non-refundable Bid Document Charge: \$100.00, certified check or money order. Make payable to the New York City School Construction Authority. Accepting Major Credit Cards. Bidders must be pre-qualified by the SCA.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
School Construction Authority, 30-30 Thomson Avenue, L.I.C., NY 11101. Iris Vega (718) 472-8292; Fax: (718) 472-8290; ivega@nycsca.org

d18

AGENCY RULES

BUILDINGS

NOTICE

NOTICE OF ADOPTION OF RULE

NOTICE IS HEREBY GIVEN, pursuant to the authority vested in the Commissioner of the Department of Buildings by Section 643 of the New York City Charter and in accordance with Section 1043 of the Charter, that the Department of Buildings hereby adopts the amendments to subdivision j of section 102-01 of chapter 100 of Title 1 of the Official Compilation of the Rules of the City of New York, regarding the classification of violations for project information panels and construction site signs.

This rule was first published on October 9, 2013 and a public hearing thereon was held on November 14, 2013.

Dated: December 10, 2013
New York, New York

/s/
Robert D. LiMandri
Commissioner

STATEMENT OF BASIS AND PURPOSE

This rule amendment is promulgated pursuant to the authority of the Commissioner of Buildings under sections 643 and 1043(a) of the New York City Charter and sections 28-201.2, 28-201.2.1, and 28-202.1 of the New York City Administrative Code.

On July 1, 2013, the Mayor signed Local Law 47 of 2013. This law requires contractors and building owners to consolidate required construction signage and permits into a single new standard in order to provide information that is more useful to the public and minimize the visual clutter of signage at construction sites.

The law repeals existing Section 3301.9 of the New York City Building Code, pertaining to required signage, and replaces it with a new Section 3301.9, detailing requirements for signs to be posted at construction or demolition sites.

The law also amends Section 3307.6.4 of the Building Code to require sidewalk sheds erected after July 1, 2013 to be painted hunter green and adds that same requirement for fences in Section 3307.7.2.

In order to enforce the new requirements under Sections 3301.9, 3307.1 and 3307.7, the rule modifies the following existing violations:

- 1 RCNY 27-03/Section 3307.1.1 (Building Code): "Prohibited sign on sidewalk shed or construction fence" will now reference only Section 3307.1.1 and read "Prohibited Outdoor Advertising Company sign on sidewalk shed or construction fence."
- Section 28-105.11 of the Administrative Code: "Failure to post permit for work at premises" will now read "Failure to post or properly post permit for work at premises."
- Section 3301.9 (Building Code)/Section 27-1009(c) (Admin Code): "Failure to provide/post sign(s) at job site pursuant to subsection" will delete the reference to Section 27-1009(c) and will now read "Project Information Panel/Sidewalk Shed Parapet Panel/Construction Sign not provided or not in compliance with section."
- Section 3307.6 (Building Code)/Section 27-1021 (Admin Code): "Sidewalk shed does not meet code specifications" will delete the references to Section 27-1021 and Building Code Section 3307.6, will now reference Section 3307.1 of the Building Code, and will read "Pedestrian protection does not meet code specifications."
- Section 3307.7 (Building Code)/Section 27-1021(c) (Admin Code): "Job site fence not constructed pursuant to subsection" will delete the reference to Section 27-1021(c) and will now read "Job site fence not constructed or maintained pursuant to subsection."

In order to enforce the requirement that sidewalk sheds be hunter green in Section 3307.6.4 of the Building Code and to enforce the prohibition on the placement of unlawful signs on protective structures set out in Section 3707.1.1 of the Building Code, the rule amendment adds the following new violations:

- A class 2 violation of Section 3307.1.1 of the Building Code: "Posting of unlawful signs, information, pictorial representation, business or advertising messages on protective structures."
- A class 2 violation of Section 3307.6.4 of the Building Code: "Sidewalk shed does not meet color specification."

In order to effectively enforce the requirement under Section 3307.3 of the Building Code, that construction and demolition sites have pedestrian protection for sidewalks and walkways, the rule makes the following additional changes:

- Section 3307.3.1 (Building Code)/27-1021(a) (Admin Code): This charge is being deleted and will be replaced by the new Section 3307.3 charge listed below.
- A Class 1 violation of Section 3307.3 of the Building Code: "Failure to provide pedestrian protection for sidewalks and walkways." This charge replaces and expands the current charge under Section 3307.3.1/Section 27-1021(a), which is being deleted. While this change is not strictly necessary to implement Local Law 47, it is being made because the current charge only addresses the failure to provide sidewalk shed protection. However, there may be instances where there is a failure to provide other types of pedestrian protection (not just sidewalk sheds) and this expanded charge will allow the Department to address that.

New matter is underlined. Matter in brackets is deleted.

Subdivision (j) of section 102-01 of Title 1 of the Rules of the City of New York is amended by adding, in numerical order, new entries relating to Sections BC 3307.1.1, BC 3307.3 and BC 3307.6.4 of the New York City Building Code, by amending the entries relating to Sections 28-105.11 of the New York City Administrative Code and BC 3301.9, BC 3307.6 and BC 3307.7 of the New York City Building Code and 1 RCNY 27-03, and by deleting the entry for BC 3307.3.1/AC 27-1021(a), as follows:

Section of Law	Classification	Violation Description
28-105.11	Class 2	Failure to post or properly post permit for work at premises
BC 3301.9 [& 27-1009 (c)]	Class 2	[Failure to provide/post sign(s) at the job site pursuant to subsection] <u>Project Information Panel/Sidewalk Shed Parapet Panel/Construction Sign not provided or not in compliance with section</u>
[BC 3307.6 & 27-1021(c)] BC 3307.1	Class 2	[Sidewalk shed] <u>Pedestrian protection does not meet code specifications</u>
[1 RCNY 27-03] BC 3307.1.1	Class 1	Prohibited <u>Outdoor Advertising Company sign on sidewalk shed or construction fence</u>
BC 3307.1.1	Class 2	<u>Posting of unlawful signs, information, pictorial representation, business or advertising messages on protective structures</u>
BC 3307.3	Class 1	<u>Failure to provide pedestrian protection for sidewalks and walkways</u>
[BC 3307.3.1 & 27-1021 (a)]	[Class 2]	[Failure to provide sidewalk shed where required]
BC 3307.6.4	Class 2	<u>Sidewalk shed does not meet color specification</u>
BC 3307.7 [& 27-1021 (c)]	Class 2	Job site fence not constructed or maintained pursuant to subsection

• d18

NOTICE OF ADOPTION OF RULE

NOTICE IS HEREBY GIVEN, pursuant to the authority vested in the Commissioner of the Department of Buildings by Section 643 of the New York City Charter and in accordance with Section 1043 of the Charter, that the Department of Buildings hereby adopts the addition of Section 3301-01 to Chapter 3300 of Title 1 of the Official Compilation of the Rules of the City of New York, regarding construction site signs.

This rule was first published on October 9, 2013 and a public hearing thereon was held on November 14, 2013.

Dated: December 10, 2013 /s/
New York, New York Robert D. LiMandri
Commissioner

Statement of Basis and Purpose of Rule

The following rule is promulgated pursuant to the authority of the Commissioner of Buildings under Sections 643 and 1043 of the New York City Charter and Section 3301.9 of the New York City Building Code ("BC").

The Building Code today requires that numerous signs and permits be posted along a construction site fence in order to provide project and safety contact information for the public. Local Law 47 of 2013, which was signed by Mayor Bloomberg on July 1, 2013, simplifies these requirements by consolidating various signs into one uniform sign to minimize the visual impact of construction sites on the urban landscape. Local Law 47 of 2013 also authorizes the Department to modify by rule the Section 3301.9 specifications for project information panels, where those panels are located at government-owned sites or sites with government funding. In accordance with this authorization, this rule modifies some specifications for project information panels located at government-owned sites and at sites with government funding. In accordance with the authorization provided in BC section 3301.9.2.7, this rule establishes standards for department acceptance of a program that ensures best construction site management practices are employed to minimize construction impact on the surrounding communities and to promote community relations. This program will be developed and administered by a party that is independent of the contractor and is in addition to the contractor and owner's responsibility to comply with all health and safety requirements in the building code. The program will be designed to monitor certain activities at construction sites and to work with the community. The rule also sets forth the basis and process for removal of the department's acceptance logo and for the removal of the program's name or logo from the sidewalk shed parapet panel located at a particular site or sites.

Chapter 3300 of Title 1 of the Rules of the City of New York is amended by adding new Section 3301-01, to read as follows:

§ 3301-01 Construction site signs.

- (a) **References.** See Sections 3307 and 3301.9 of the New York City Building Code (BC).
- (b) **Definitions.** For the purposes of this section, the following terms have the following meanings:
 - (1) **Best construction site management program.** A plan designed to help reduce construction impact on the surrounding community by monitoring certain activities at construction sites. This program shall be developed and implemented at one or more sites by a party who is independent of the contractor.
 - (2) **Contractor.** A general contractor or, for a demolition site, the demolition contractor.
 - (3) **Department's acceptance logo.** A logo provided by the Department that indicates the Department has accepted the best construction site management program and that may be displayed on

the sidewalk shed parapet panel along with the program name or logo at a site utilizing an accepted best construction site management program.

- (4) **Designated responsible party.** The person in charge of implementing the best construction site management program and authorized to receive notices from the Department. This party shall be designated by the person, corporation or other legal entity operating the program.
- (5) **Project information panel.** A project information panel required to be posted on a construction fence as set forth in BC Section 3301.9.1.
- (6) **Sidewalk shed parapet panel.** A sidewalk shed parapet panel required to be posted on a sidewalk shed as set forth in BC Section 3301.9.2.
- (7) **Site.** A construction or demolition site.

(c) **Project information panels at government-owned sites and at sites with government funding.** Project information panels at government-owned sites and at sites with government funding must conform to all requirements set forth in BC Section 3301.9 except as provided in this section.

- (1) **Content of project information panels at government-owned sites and at sites with government funding.** Project information panels at government-owned sites and at sites with government funding must include the following information (see Figures 1, 2, and 3):

- (i) A rendering, elevation drawing, site plan, or zoning diagram of the building exterior that does not contain logos or commercially recognizable symbols;

Exception: A rendering, elevation drawing, site plan or zoning diagram of the building exterior is not required for demolition projects.

- (ii) A title line stating "Work in Progress," and specifying the nature of the project;
- (iii) Anticipated project completion date;
- (iv) The name of the government entity owning the site and/or funding the project;
- (v) Website address to contact for project information;
- (vi) The corporate name and telephone number of the contractor;
- (vii) The statement, in both English and Spanish, "TO ANONYMOUSLY REPORT UNSAFE CONDITIONS AT THIS WORK SITE, CALL 311"; and
- (viii) A copy of the primary project permit, with accompanying text "To see other permits issued on this property, visit: www.nyc.gov/buildings." The permit shall be laminated or encased in a plastic covering to protect it from the elements or shall be printed directly onto the project information panel.

In addition to the above requirements, the name(s) of government official(s) may be incorporated into the panel in accordance with Figures 1, 2 and 3.

- (2) **Specifications for project information panels at government-owned sites and at sites with government funding.** Project information panels shall be 6 feet (1829 mm) wide and 4 feet (1219 mm) high, with the content required by paragraph (1) of this subdivision arranged in accordance with Figures 1, 2 and 3, as applicable. The content required by subparagraphs (ii) through (vii) of paragraph (1) of this subdivision shall be written in the Calibri font or similar sans serif font style, with letters a minimum of 1 inch (25 mm) high, as measured by the upper case character. Such letters shall be white, on a blue background, with such blue color of a shade matching Pantone 296, or RGB 15, 43, 84, or CMYK 100, 88, 38, 35.

Exceptions:

- (i) The dimensions for a project information panel posted in conjunction with a demolition project shall be 2 feet 4 inches (711 mm) wide and 4 feet (1219 mm) high, in accordance with Figure 1.
- (ii) For construction sites with a street frontage less than 60 feet (18 288 mm), the dimensions for a project information panel, other than that posted in conjunction with a demolition project, shall be 55 inches (1397 mm) wide and 36.5 inches (927 mm) high, in accordance with Figure 3.

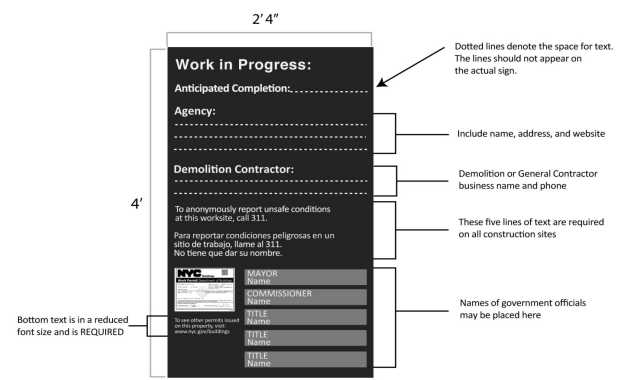


FIGURE 1 FENCE PROJECT INFORMATION PANEL TEXT DETAIL



FIGURE 2 FENCE PROJECT INFORMATION PANEL LAYOUT

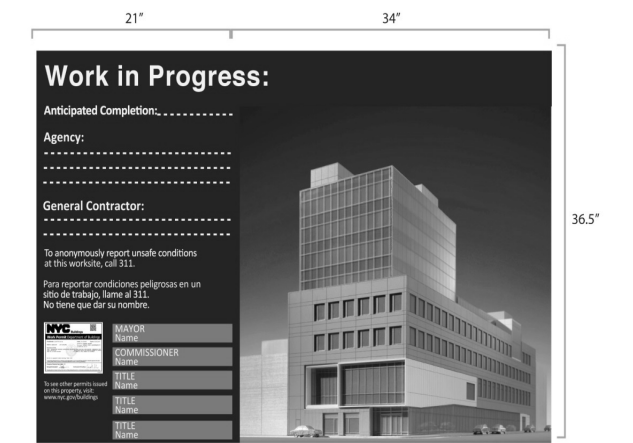


FIGURE 3 FENCE PROJECT INFORMATION PANEL LAYOUT FOR SMALL LOTS

(d) **Best construction site management program.**

- (1) **Scope.** This section outlines the requirements for Department-accepted best construction site management programs and the duties of the designated responsible party. Unless otherwise authorized under the Administrative Code or Department rules, only Department-accepted best construction site management programs may be identified on a sidewalk shed parapet panel.
- (2) **Department authority.** The Department may accept one or more best construction site management programs pursuant to the authorization set forth in BC 3301.9.2.7.
- (3) **Application and acceptance.**
 - (i) Application for acceptance shall be made on forms to be furnished by the Department and shall contain such information as the Department shall prescribe, including, but not limited to, the name, address and contact information of the person, corporation or other legal entity operating the program and the name, address and contact information for the designated responsible party.
 - (ii) The Department may accept a best construction site management program if the Department receives a completed application that demonstrates to the Department's satisfaction that the program is designed to ensure that its participating work sites are well-managed, clean and responsive to community concerns. The plan must include, at a minimum, the duties listed in paragraph (4) of this subdivision.
 - (iii) Applications must include a certification by the program's designated responsible party that such plan will be implemented at all times at each of the program's participating sites.
- (4) **Duties of the designated responsible party.**

- (i) The designated responsible party will monitor the contractor and the site to ensure the maintenance of publicly accessible areas within or surrounding the site and site operations, including, but not limited to, the following:
 - (A) Maintain free of any construction debris, or rubbish, materials and equipment;
 - (B) Maintain all areas and surfaces such that they are neat, clean and free of damage, illegal signage, graffiti and sharp objects;
 - (C) Maintain free of snow and ice on sidewalks and snow and ice that poses potential danger to the public.
- (ii) The designated responsible party will monitor the contractor and the site to ensure that the community impact is minimized, which includes, but is not limited to, the following areas:
 - (A) Installation of enhanced netting systems and sidewalk protections.
 - (B) Reduction or shielding the public from noise, vibration, dust and noxious substances;
 - (C) Protection of street trees, plants, sidewalk amenities and furniture; and
 - (D) Mitigation of nuisance and environmental complaints.
- (iii) The designated responsible party will promote community relations, including, but not limited to, the following:
 - (A) Establish a method to receive and provide responses to complaints or questions and to provide timely updates about on-going construction operations, including project scope and expected duration of the project;
 - (B) Provide notification to the respective Community Board prior to affixing the best construction site management program name or logo on a sidewalk shed parapet panel at a participating site; and
 - (C) For new buildings, alterations or demolitions of major buildings, as that term is defined in Chapter 33 of the New York city building code, provide live project updates to the respective community board within thirty (30) days of a site joining a best construction site management program and every six months thereafter.
- (iv) The designated responsible party will conduct periodic reviews of its participating sites to verify program compliance. Such reviews must be conducted more frequently if so directed by the Department.
- (v) The designated responsible party will maintain the following records until construction is complete and make them available to the Department upon request:
 - (A) Current list of the participating site addresses, contractor name, address and contact number and the owner name and address;
 - (B) Details of each review with respect to any program requirements set forth in paragraph (4) of this subdivision and any actions resulting therefrom; and

- (C) Details of complaint resolution for each complaint, including mitigation strategies.
- (vi) The designated responsible party will develop a process for:
 - (A) Notifying the Department of any changes to the best construction site management program, plan or the designated responsible party within ten days of such change; and
 - (B) Notifying the contractor and owner if the best construction site management program is no longer accepted by the Department or if an order has been issued by the Commissioner instructing that the program's name or logo and the Department's acceptance logo must be immediately removed from the sign.

(e) Revocation.

- (1) **Failure to comply with duties.** Following notice and an opportunity to be heard, the Department may revoke acceptance of a best construction site management program and order removal of the program's name or logo and Department acceptance logo from the sidewalk shed parapet panel at a particular site or at all the program's sites for failure to comply with the duties set forth in paragraph (4) of subdivision (d) of this section and the plan described in the accepted best construction site management program application.
- (2) **Failure to ensure compliance with plan.** Following notice and an opportunity to be heard, the Department may order removal of the program's name or logo and Department acceptance logo from the sidewalk shed parapet panel at a particular site where the best construction site management program fails to ensure that the participating work site is well-managed, clean and responsive to community concerns.
- (3) **Removal of logos.** If the program's name or logo and the Department's acceptance logo are not removed from the sidewalk shed parapet panel within 10 days of the order, the Department may cover the program's name or logo and the Department acceptance logo, at the owner's expense.
- (4) **Continuation of program without logos.** Revocation of the Department's program acceptance or order to remove the program name or logo and the Department's acceptance logo at a particular site, shall not affect the ability of the best construction site management program to continue its mission without inclusion of its name or logo on the sidewalk shed parapet panel and without reference to Department program acceptance.

• d18

SPECIAL MATERIALS

CITY PLANNING

■ NOTICE

NEGATIVE DECLARATION

Project Identification
 CEQR No. 14DCP077M
 ULURP Nos. N140191ZRM;
 N140192ZCM; N140194ZCM
 SEQRA Classification: Type I

Lead Agency
 City Planning Commission
 22 Reade Street
 New York, NY 10007
 Contact: Robert Dobruskin
 (212) 720-3423

Name, Description and Location of Proposal:

Manhattan West
 BOP West 31st Street LLC and Brookfield Properties W 33rd Co, LP (together, the "applicant") are proposing several actions, including a text amendment and certifications, pursuant to Section 93-00 of the Special Hudson Yards District (HY) relating to the public access requirements of the site, parking regulations, and an addition of a restriction on floor area transfers. Specifically the text amendment would modify Sections 93-70, 93-72, 93-73, and 93-731 of the New York City Zoning Resolution (ZR), relating to the public access requirements for the Ninth Avenue Rail Yard (the "Development Site," Block 729, Lots 50, 60) and 450 West 33rd Street (the "450 Site," Block 729, Lots 1, 15) (together, the "project area"), located on the block bounded by West 33rd Street to the north, West 31st Street to the south, Ninth Avenue to the east, and Tenth Avenue to the west, excluding former Lot 63, in the Hudson Yards neighborhood of Manhattan, Community District 4.

The proposed actions are (1) a text amendment to modify (i) Sections 93-70, 93-72, 93-73, and 93-731 of the New York City Zoning Resolution, relating to the public access requirements for the Development Site and the 450 Site, (ii) Section 93-821 and 93-822 relating to the parking regulations for the Development Site, and (iii) Section 93-221 to restrict transfer of floor area between subdistricts, and (2) two certifications^[1] pursuant to Section 93-122 to allow residential development on the Development Site and pursuant to Section 93-122(b) to permit the residential development on the Development Site in connection with a phased development. The proposed text amendment would facilitate the development of up to 27,190 square feet (sf) of proposed public access area on the project area, which would be part of the larger "Manhattan West" project. While the proposed actions are required to facilitate the development of the proposed public access areas, no discretionary actions are required to implement the rest of the Manhattan West Project, which would include office, retail, and residential space, accessory parking; the upgrade and renovation of the building on the 450 Site; and 1.57 acres (68,535 sf) of public access areas, including spaces required by the existing zoning, as well as three additional as-of-right spaces.

The site was identified as a development site in the Hudson Yards Rezoning, which was the subject of Uniform Land Use Review Procedure (ULURP) applications approved by the City Planning Commission (CPC) on November 23, 2004 and analyzed in the No. 7 Subway Extension—Hudson Yards Rezoning and Development Program Final Generic Environmental Impact Statement (FGEIS) completed on January 1, 2005 (the 2005 FGEIS). The Special Hudson Yards District was created to promote the transit-oriented redevelopment of the Hudson Yards Area as a mixed-use community with new commercial and residential space, as well as a substantial amount of new open space. The project area is located within the Farley Corridor Subdistrict B of the Special Hudson Yards District. There are existing (E) designations on the site for Hazardous Materials, Air Quality and Noise which would not be altered as a result of the proposed actions.

In order to assess the impacts associated with the proposed actions, a Reasonable Worst Case Development Scenario was established. The proposed actions would result in the development of the same amount of office, retail, residential space, and parking as in the No Action Scenario. The proposed actions would result in the addition of 0.48 to 0.62 acres of public access areas. Compared to the No Action condition, the proposed project would result in the same 24,115-sf platform over Dyer Avenue, 4,000-sf passageway along West 31st Street within the 450 Site, and 1,800-sf podium at the intersection of Tenth Avenue and West 31st Street and the same amount of parking with the same entrance and exit. The public access areas that would be added in the With Action Scenario would be a 10,080-sf entry plaza at the corner of Ninth Avenue and West 33rd Street; a 41,382-sf to 47,800-sf open-to-the-sky central plaza connecting the Dyer Avenue platform to Ninth Avenue, a 4,500-sf event space, and possibly a freestanding retail pavilion; a 7,480-sf "art plaza" south of the entry plaza extending to West 31st Street and an approximately 450-sf area connecting the Dyer Avenue platform to West 31st Street. The connection to West 31st Street would consist of a new stair and elevator which would connect the Dyer Avenue platform with the sidewalk at West 31st Street. The proposed amendments relating to parking would not change the overall amount of parking permitted and the proposed amendments relating to and transfer of floor area would not allow any additional floor area to be developed on the Development Site.

The analysis year for the proposed actions is 2020.

Statement of No Significant Effect:

The Environmental Assessment and Review Division of the Department of City Planning, on behalf of the City Planning Commission, has completed its technical review of the Environmental Assessment Statement, dated November 27, 2013, prepared in connection with the ULURP Application (Nos. N140191ZRM; N140192ZCM; N140194ZCM). The City Planning Commission has determined that the proposed action will have no significant effect on the quality of the environment.

[1] The proposed certifications are not discretionary actions and are not subject to CEQR.

• d18

COMPTROLLER

■ NOTICE

NOTICE OF ADVANCE PAYMENT OF AWARDS PURSUANT TO THE STATUTES IN SUCH cases made and provided, notice is hereby given that the Comptroller of the City of New York, will be ready to pay, at 1 Centre Street, Room 629, New York, NY 10007, on March 15, 2014 to the person or persons legally entitled an amount as certified to the Comptroller by the Corporation Counsel on damage parcels, as follows:

Damage Parcel No.	Block	Lot
1	15652	11
2	15652	13
3	15652	14
5	15652	16
6	15652	17
10	15652	24
16	15654	26
17	15654	29
18	15654	31
19	15654	33

Acquired in the proceeding, entitled: CHANDLER STREET subject to any liens and encumbrances of record on such property. The amount advanced shall cease to bear interest on the specified date above.

JOHN C. LIU
Comptroller

d17-31

HOUSING PRESERVATION & DEVELOPMENT

NOTICE

REQUEST FOR COMMENT REGARDING AN APPLICATION FOR A CERTIFICATION OF NO HARASSMENT

Notice Date: December 12, 2013

To: Occupants, Former Occupants, and Other Interested Parties

Property: Address	Application#	Inquiry Period
109 West 45th Street, Manhattan a/k/a 109-113 W. 45th St.	116/13	November 1, 2010 to Present
49 East 126th Street, Manhattan	117/13	November 1, 2010 to Present
219 West 71st Street, Manhattan	118/13	November 1, 2010 to Present
535 West 147th Street, Manhattan	120/13	November 4, 2010 to Present
240 West 132nd Street, Manhattan	123/13	November 6, 2010 to Present
59 West 46th Street, Manhattan	125/13	November 8, 2010 to Present
2064 5th Avenue, Manhattan	126/13	November 8, 2010 to Present
1701 Broadway, Manhattan	127/13	November 13, 2010 to Present
209 West 138th Street, Manhattan	130/13	November 22, 2010 to Present
420 Jefferson Avenue, Brooklyn	119/13	November 1, 2010 to Present
106 Lefferts Place, Brooklyn	124/13	November 7, 2010 to Present
704 Park Place, Brooklyn	128/13	November 18, 2010 to Present
377 Jefferson Avenue, Brooklyn	129/13	November 18, 2010 to Present
885 Sterling Place, Brooklyn	132/13	November 26, 2010 to Present
190 Beach 118th Street, Queens	131/13	November 22, 2010 to Present

Authority: SRO, Administrative Code §27-2093

Before the Department of Buildings can issue a permit for the alteration or demolition of a single room occupancy multiple dwelling, the owner must obtain a "Certification of No Harassment" from the Department of Housing Preservation and Development ("HPD") stating that there has not been harassment of the building's lawful occupants during a specified time period. Harassment is conduct by an owner that is intended to cause, or does cause, residents to leave or otherwise surrender any of their legal occupancy rights. It can include, but is not limited to, failure to provide essential services (such as heat, water, gas, or electricity), illegally locking out building residents, starting frivolous lawsuits, and using threats or physical force.

The owner of the building identified above has applied for a Certification of No Harassment. If you have any comments or evidence of harassment at this building, please notify HPD at **CONH Unit, 100 Gold Street, 6th Floor, New York, NY 10038** by letter postmarked not later than 30 days from the date of this notice or by an in-person statement made within the same period. To schedule an appointment for an in-person statement, please call **(212) 863-5277 or (212) 863-8211**.

d12-20

CEQR Type I Negative Declaration - Stammtisch Project, Brooklyn N.Y.

The project sponsor, Stammtisch HDFC, is requesting construction funding from HPD in connection with the rehabilitation of 11 existing residential buildings and the development of one new residential building on 12 scattered sites in the Bushwick neighborhood of the borough of Brooklyn, New York City. The addresses of the project sites are as follows (all in Brooklyn): 1344 Willoughby Avenue, 1351 Greene Avenue, 1560 DeKalb Avenue, 195 Stockholm Street, 26 Morgan Avenue, 1116 Willoughby Avenue, 314 Troutman Street, 279 Wyckoff Avenue, 64 Bleecker Street, 299 Wyckoff Avenue, 27 Granite Street, and 1285 Greene Avenue. The building located at 1344 Willoughby Avenue is located within the boundaries of the National Register-listed Willoughby-Suydam Historic District. This proposal is therefore considered a Type I action under SEQRA.

The proposed action would facilitate substantial rehabilitation at eleven sites and new construction on one vacant site (1285 Green Avenue). The scope of rehabilitation activities includes the replacement of all major systems (sanitary and storm system, gas system, heating and distribution system) as well as new kitchens, bathrooms, roofs, windows and stairs. Interior walls would be removed as necessary to reconfigure existing layouts. The eleven improved properties currently contain a total of 59 dwelling units. Under the proposed action, a net decrease of 9 units would occur and a total of 50 dwelling units would be provided across all twelve sites, including the new construction site. The proposed project will include measures related to hazardous materials remediation that would be incorporated into the Regulatory Agreement between HPD and the project sponsor to ensure that there are no significant adverse impacts.

d18

HUMAN RESOURCES ADMINISTRATION

NOTICE

The 2014-2015 Biennial Temporary Assistance and Supplemental Nutrition Assistance Employment Plan for the City of New York for the Period January 1, 2014, through December 31, 2015, mandated by Social Services Law Sec. 333 and 18 N.Y.C.R.R. Sec. 385.10 is available for review and comment until the close of business on January 17, 2014. The plan can be obtained by writing to the New York City Human Resources Administration, 180 Water Street, Room 2017, New York, New York, 10038, Attn.: Andrew Mandell, Assistant Deputy Commissioner, Office of Policy, Procedures, and Training, Family Independence Administration, by email to mandella@hra.nyc.gov or from HRA's Internet homepage <http://www.nyc.gov/html/hra/html/home/home.shtml>.

Persons wishing to comment on the 2014-2015 Biennial Temporary Assistance and Supplemental Nutrition Assistance Program Employment Plan should do so in writing to Mr. Mandell at the above address, either by mail or email.

d18-19

PARKS AND RECREATION

OFFICE OF MANAGEMENT AND BUDGET

NOTICE

New York City Economic Development Corporation (NYCEDC) New York City Department of Parks and Recreation (DPR)

COMMUNITY DEVELOPMENT BLOCK GRANT – DISASTER RECOVERY PROGRAM

Final Notice and Public Explanation of a Proposed Activity in a 100-Year Floodplain

To: All interested Agencies, Groups, and Individuals

This publication gives notice that New York City has conducted an evaluation of the proposed Rockaway Beach Boardwalk reconstruction and related improvements, as required by Executive Orders (EO) 11988 and 11990, in accordance with HUD regulations 24 CFR 55.20 Subpart C Procedures for Making Determinations on Floodplain Management and Protection of Wetlands, respectively. These evaluations are made to determine the potential effects that proposed activities in the floodplain and wetland associated with the proposed project will have on the human environment. New York City will receive federal Community Development Block Grant-Disaster Recovery (CDBG-DR) funding from HUD to execute the reconstruction of the Rockaway Beach Boardwalk and related improvements.

The City has considered the following alternatives to be taken to minimize adverse impacts and to restore and preserve natural and beneficial values of its floodplains:

Action Outside the Floodplain: As the Rockaway Beach Boardwalk is a major public open space in the Rockaways Peninsula and an integral component of Rockaway Beach, there is no practicable alternative to locate it outside the floodplain.

Proposed Action in the Floodplain: The project site is located within the 100-year floodplain, and New York City proposes to use CDBG-DR funds to reconstruct the boardwalk between Beach 20th and Beach 126th Streets and to improve its future storm resiliency by raising the overall elevation to account for both revised 100-year flood elevations and predicted future sea level rise. Further, the proposed reconstruction would incorporate a sand-retaining wall underneath the boardwalk that would prevent sand migration and help to protect the adjacent community. The sand-retaining wall would span the length of the boardwalk and would retain the volume of sand extending from new dunes currently being constructed by the United States Army Corps of Engineers (USACE) to the sand-retaining wall under the boardwalk. The wall would also restrict blowing sand from passing under the boardwalk from the beach to the inland area. The CDBG-DR funds would also be used to provide structured access to the beach between Beach 126th and Beach 149th Streets over the new USACE dunes and to restore and enhance existing dunes between Beach 9th and Beach 20th Streets, including constructing at-grade access through the dunes. Overall, the proposed project would restore a damaged recreational resource while increasing the resiliency of the boardwalk against future storms, enhance beach access, and help protect newly created dunes.

No Action: The No Action Alternative would not support PlaNYC's goals to increase the sustainability and resiliency of open space resources, and would provide less park user accessibility and enjoyment of the unique open space resource of the beaches on the Rockaway Peninsula. The No Action Alternative is also inconsistent with New York City's Special Initiative for Rebuilding and Resiliency (SIRR), which identifies reconstruction of the Rockaway Beach Boardwalk as a key rebuilding project. Under the No Action Alternative, the boardwalk would not be reconstructed between Beach 20th and 126th Streets, structures across the USACE dune between Beach 126th Street and Beach 149th Street would not be constructed, and the existing dunes between Beach 20th and Beach 9th Streets would not be restored.

Original Height Alternative: Under this alternative, the boardwalk would be rebuilt at its original height with no raising of the elevation or the inclusion of resiliency features. While the Original Height Alternative would be designed and constructed to be more resilient to future storms than the former boardwalk, the alternative would be less consistent with the goals and objectives of PlaNYC and the SIRR than the proposed project, because it would not be raised in height to accommodate future sea level rise.

No Sand-Retaining Wall Alternative: Under this alternative, the boardwalk would be rebuilt as under the proposed project except that there would be no sand-retaining wall constructed under the boardwalk. While the No-Sand Retaining Wall Alternative would provide the same resiliency to future storms as the proposed project, it would not retain the infill sand under the boardwalk and, therefore, would not protect the adjacent communities by helping to protect newly created dunes or preventing sand migration over adjacent roadways, homes, and open space areas.

This **FINAL NOTICE FOR PUBLIC REVIEW OF A PROPOSAL TO SUPPORT ACTIVITY IN A 100-YEAR FLOODPLAIN** is required by Section 2(a)(4) of EOs 11988 and 11990, respectively for Floodplain Management and Protection of Wetlands and is implemented by HUD regulations found at 24 CFR 55.20 Subpart C Procedures for Making Determinations on Floodplain Management. The 8-step Decision Making Process includes public notices and the examination of practicable alternatives to building in the floodplain or wetland. The City proposes to use CDBG-DR funds to reconstruct the Rockaway Boardwalk, provide structured access to the beach over new USACE dunes, and restore and enhance existing dunes located within the 100-year floodplain.

Additional project information including floodplain maps of the project site are contained in the Environmental Review Record and Environmental Assessment currently on file with Calvin Johnson, Assistant Director CDBG-DR, 255 Greenwich Street, 8th Floor, New York, New York 10007 and may be examined from 10:00 A.M. to 5:00 P.M. This posting can be found by using this link: <http://www.nyc.gov/builditback> and then clicking on "Reports and Public Notices." The City is interested in alternatives and public perceptions of possible adverse effects that could result from the project as well as potential mitigation measures.

All interested persons, groups, and agencies are invited to submit written comments regarding the proposed use of federal funds to support the reconstruction of the Rockaway Boardwalk in a floodplain. Written comments should be sent to OMB at 255 Greenwich Street, 8th Floor, New York, New York 10007, Attention: Calvin Johnson, Assistant Director CDBG-DR or via email at CDBGDR-enviro@omb.nyc.gov. The minimum 7 calendar day comment period will begin the day after publication and end on the 8th day after publication. All comments should be received by OMB on or before December 21, 2013.

City of New York, Office of Management and Budget,
Mark Page, Director
Date: December 13, 2013

d13-20

REVENUE AND CONCESSIONS

NOTICE

In accordance with Section 1-14 of the Concession Rules of the City of New York ("Concession Rules"), the New York City Department of Parks and Recreation (Parks) intends to enter into negotiations with only Super Value Inc. for a license agreement for the operation and maintenance of two gasoline service stations on the Hutchinson River Parkway (Northbound and Southbound), near the Westchester Avenue Exit, Bronx.

The concession will have a short term and will commence on August 27, 2013 (retroactive to the expiration of the previous license agreement) and expire on April 30, 2015. The concession will be operated pursuant to a license issued by Parks; no leasehold or other proprietary right will be offered. As compensation to the City, Parks requires a monthly fee of at least \$17,900.00.

At this time, it is neither practicable nor advantageous to award this concession by competitive sealed proposals or competitive sealed bids due to the existence of a time-sensitive situation where a concession must be awarded quickly or significant revenues will be lost. The existing concession agreement expired in August 2013. Without a negotiated short-term concession, this facility will remain vacant since Parks does not have the capability or the resources to operate, maintain or secure the gasoline service stations. Service to the public will be interrupted and significant revenue to the City will be lost in concession fees. An RFP for this concession was originally issued on October 5, 2012 with the intent of making an award prior to the expiration of the then existing concession agreement; however, Parks is unable to make an award pursuant to that RFP because material information regarding ownership of the underground storage tanks, gasoline pumps and dispensers that are currently on the premises came to Parks' attention subsequent to the close of the RFP process.

Parks has determined that it is in the City's best interest to negotiate only with the previous concessionaire, Super Value Inc., because they own the underground storage tanks, gasoline pumps and dispensers and they are currently occupying and operating the premises and have been since their license expired. As part of the negotiated concession, Super Value Inc. will be required to remove the existing underground gasoline storage tanks, gasoline pumps and dispensers, restore the premises and undertake any necessary environmental remediation of the premises before the end of the term. This negotiated concession is meant to act as a short-term solution to bridge the gap until a new competitive RFP solicitation, evaluation, and award process have concluded and to allow time for the existing underground storage tanks, pumps and dispensers to be removed from the premises before the start of any longer term concession.

Therefore, pursuant to the Concession Rules and with the approval of the Director of the Mayor's Office of Contract Services, Parks will negotiate only with Super Value Inc. However, if you want to express interest in the proposed concession or obtain additional information concerning the proposer concession, please contact Lauren Standke, Project Manager for the Revenue Division, at (212) 360-3495 or via e-mail at Lauren.Standke@parks.nyc.gov by December 30, 2013 for instructions and information. Where applicable, Parks may condition the award of this concession upon the successful completion of VENDEX Questionnaires (Vendor and Principal Questionnaires) and review of that information by the Department of Investigation. In addition, any person or entity with at least a 10% ownership interest in the submitting vendor (including a parent company), may be required to complete VENDEX Questionnaires (Principal Questionnaire for any person and Vendor Questionnaire for any entity with at least a 10% ownership interest in the submitting vendor).

This concession has been determined not to be a major concession as defined by Chapter 7 of the Rules of the City Planning Commission.

Please note that the concession award is subject to applicable provisions of federal, State, and local laws and executive orders requiring affirmative action and equal employment opportunity.

The New York City Comptroller is charged with the audit of concession agreements in New York City. Any person or entity that believes that there has been unfairness, favoritism or impropriety in the proposal process should inform the Comptroller's Office of Contract Administration, 1 Centre Street, Room 835, New York, New York 10007. This office may be reached at (212) 669-2323.

d13-19

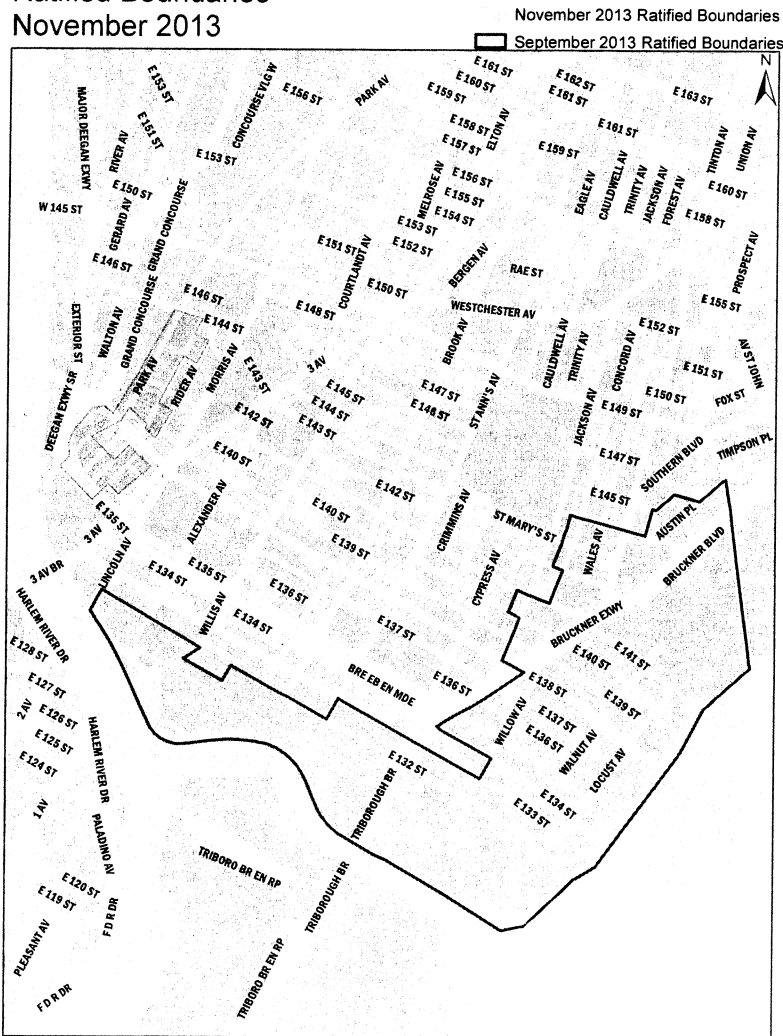
SMALL BUSINESS SERVICES

NOTICE

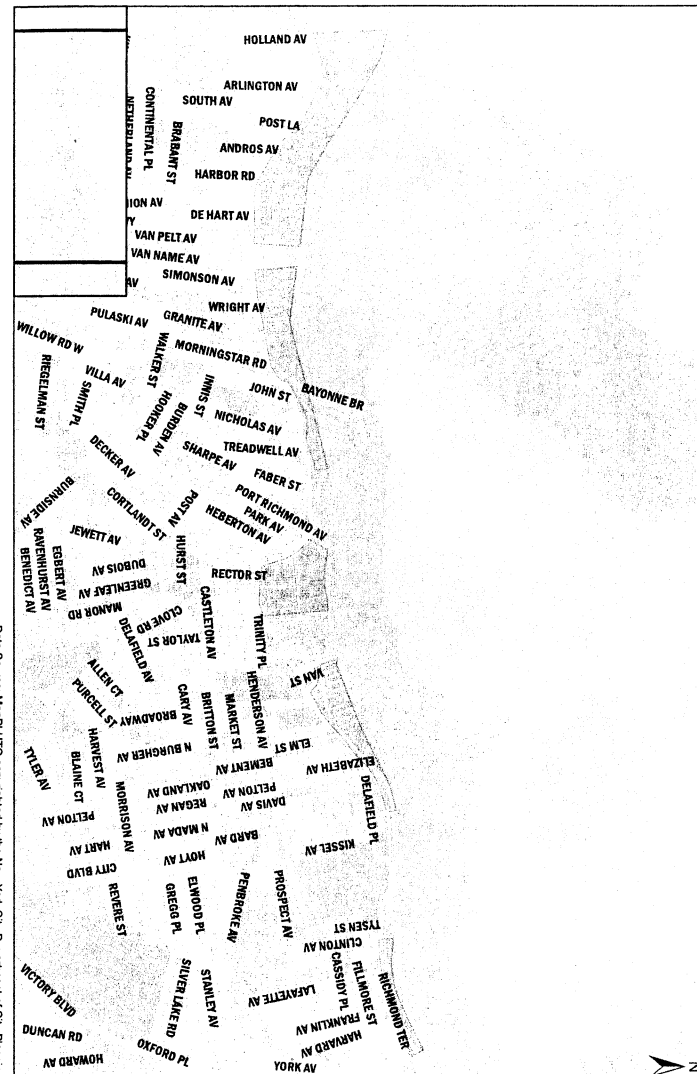
IBZ Public Notice of Ratified Maps
Industrial Business Zone Boundary Commission
The New York City Industrial Business Zone Boundary Commission was convened on November 21, 2013 at 9:00 A.M. at 110 William Street, 4th Floor, Conference Room 4A/B.

INSERT 3 MAPS

Port Morris Industrial Business Zone
Ratified Boundaries
November 2013



Data Source: MapPLUTO copyrighted by the New York City Department of City Planning
Prepared by New York City Economic Development Corporation (MGIS Unit) 11/21/2013

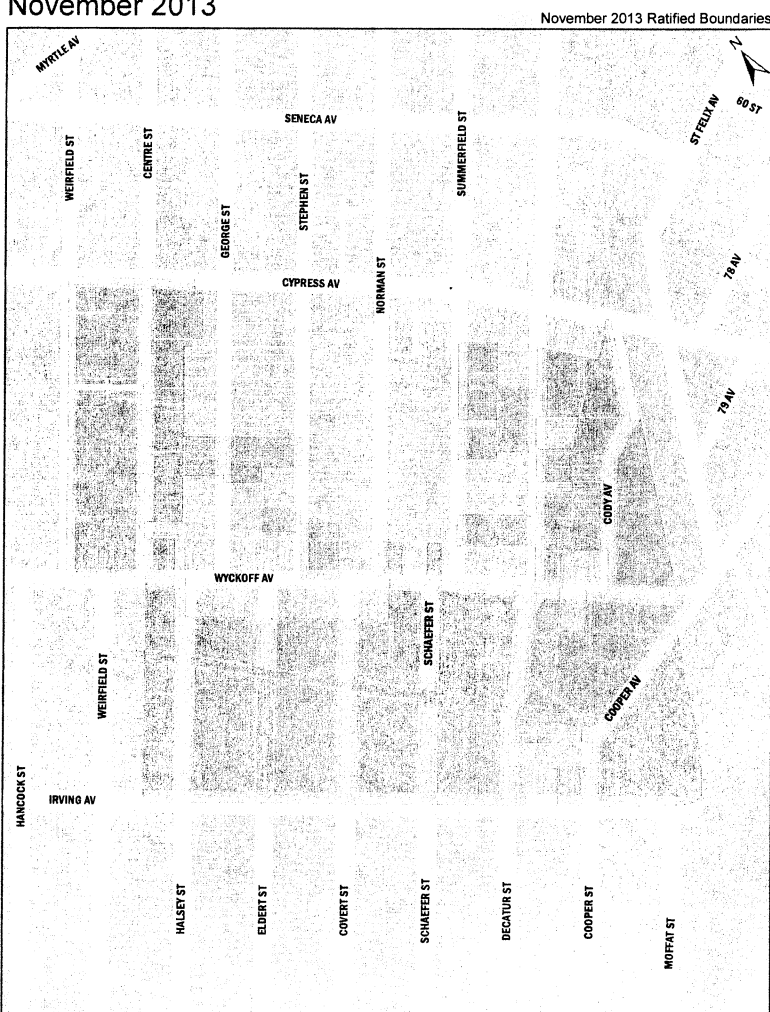


Staten Island Industrial Business Zone North Shore
Ratified Boundaries
November 2013
November 2013 Ratified Boundaries

Data Source: MapPLUTO copyrighted by the New York City Department of City Planning
Prepared by New York City Economic Development Corporation (MGIS Unit) 11/23/2013

d17-18

Ridgewood Industrial Business Zone
Ratified Boundaries
November 2013



Data Source: MapPLUTO copyrighted by the New York City Department of City Planning
Prepared by New York City Economic Development Corporation (MGIS Unit) 11/21/2013

LATE NOTICE

TRANSPORTATION

BRIDGES
SOLICITATIONS

Construction / Construction Services

INTERIM REHABILITATION OF TRANS-MANHATTAN EXPRESSWAY CONNECTOR RAMP, MANHATTAN - Competitive Sealed Bids - PIN# 84113MNR762 - DUE 01-22-14 AT 11:00 A.M. - A deposit of \$50.00 is required for the specification book and a deposit \$50.00 is required for drawings set in the form of a Certified Check or Money Order payable to: New York City Department of Transportation.

This Project is Federally aided and is subject to the provision of Title 23, U.S. code, as amended, and applicable New York State Statutes. In compliance with these provisions the minimum wages to be paid to laborers and mechanics are included in wage schedules that are set out in the bid proposal.

Disadvantaged Business Enterprises (DBE) will be afforded full opportunity to submit bids and the City of New York hereby notifies all bidders that it will affirmatively ensure that any contract entered into pursuant to this advertisement will be awarded to the lowest responsible bidder without discrimination on the basis of race, color, sex, sexual orientation, national origin, age or place of residence.

Non-compliance with the 7 day submittal requirement, the stipulations of Schedule "H" or submittal of bids in which any of the prices for lump sum or unit items are significantly unbalanced to the potential detriment of the Department may be cause for a determination of non-responsiveness and the rejection of the bid. The award of this contract is subject to the approval of the New York State Department of Transportation and the Federal Highway Administration.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/ blueprints; other information; and for opening and reading of bids at date and time specified above.
Department of Transportation, Office of the Agency Chief Contracting Officer, Contract Management Unit, 55 Water Street, Ground Floor, New York, NY 10041.
Bid Window (212) 839-9435.

d18